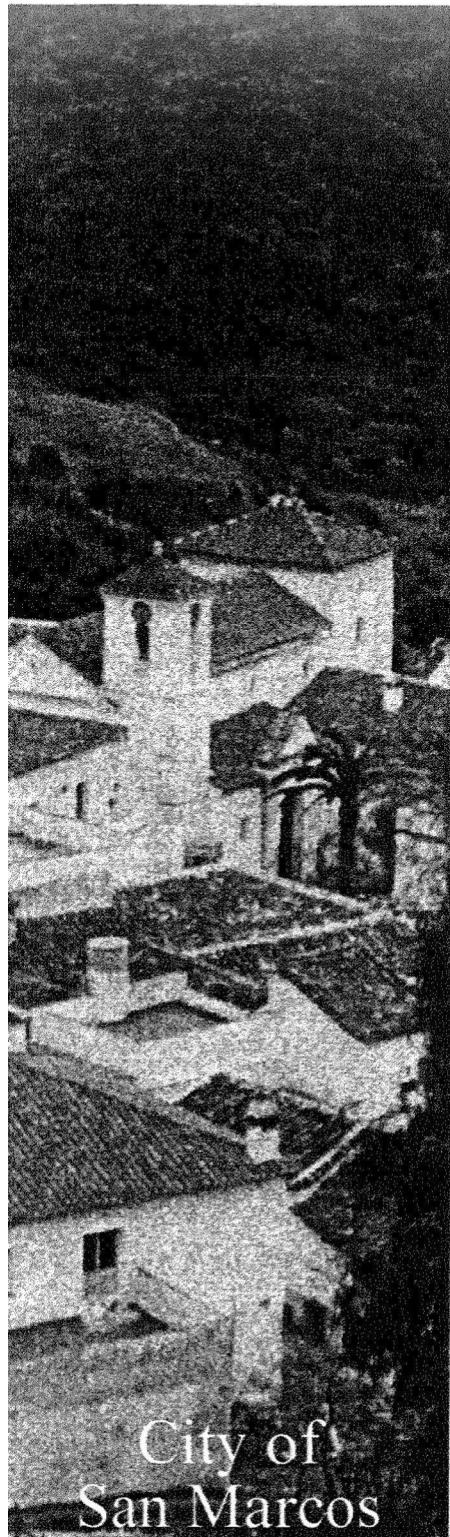


SAN ELIJO HILLS

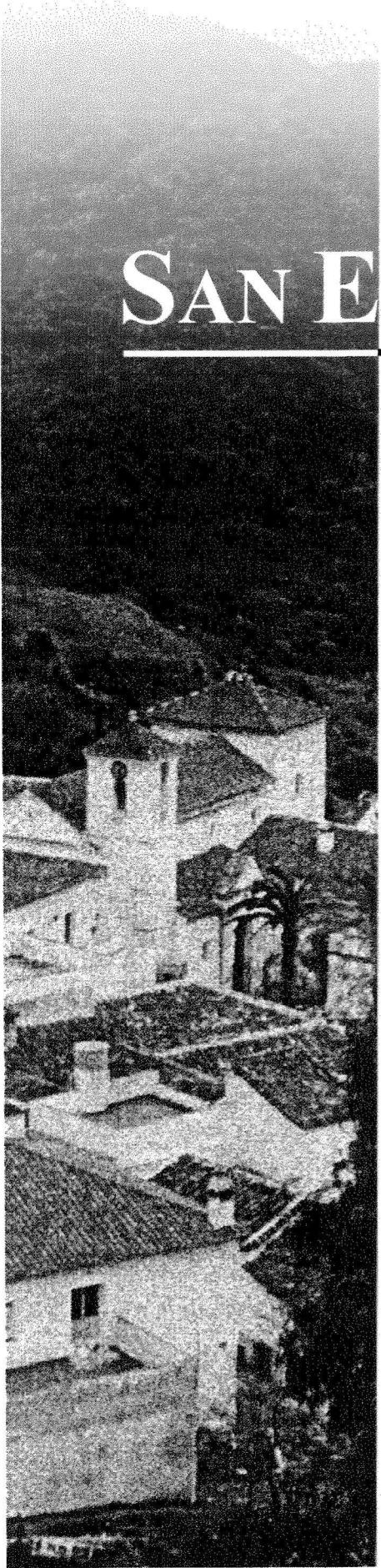
Specific Plan Amendment

Formerly Amended June 2011
Administratively Amended August 2018



City of
San Marcos

SP89-18 (10M)



SAN ELIJO HILLS

*Specific Plan Amendment
SP89-18 (10M)*

Formerly Amended June, 2011

Administratively Amended August, 2018

SAN ELIJO HILLS SPECIFIC PLAN AMENDMENT SP 89-18 (10 M)

Adopted by the San Marcos City Council
June 2011

Prepared for
City of San Marcos
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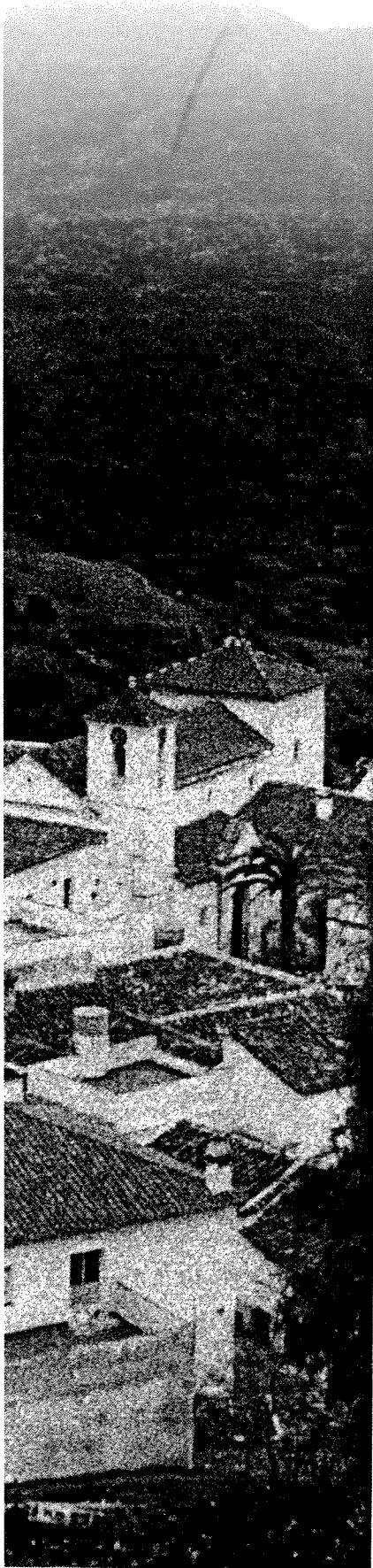
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SECTION I

Introduction



I. Introduction

A. Purpose

The San Elijo Hills property will be developed in accordance with this Specific Plan, which consists of map and text. The map addresses land uses and circulation. The text further describes the allowable uses, development regulations, design guidelines, and implementation of the project. This Specific Plan is adopted by the City Council of the City of San Marcos and establishes development regulations and standards for the San Elijo Hills site. The Specific Plan will only focus on development regulatory procedures, which vary from existing procedures. Existing city policies and ordinances apply to development within the San Elijo Hills unless specifically discussed in this text and graphics or the project's Development Agreement/Owner Participation Agreement. Should there be a conflict between this plan and existing city ordinances, the provisions of the Specific Plan shall prevail. Preparation of a Specific Plan is a requirement of the SPA zoning classification. The San Elijo Hills Specific Plan shall constitute zoning for all land covered by this plan. All conditions of this plan are imposed as a condition of this zoning approval, which is described in Chapter V. Chapter VI, describes the procedures required to amend this document.

B. Authorization

The authority for adoption of the San Elijo Hills Specific Plan originates from the State Government Code Sections 65450-65457 and Section 20.250 of the San Marcos Zoning Ordinance.

C. Scope

The San Elijo Hills Specific Plan includes approximately 2,000 acres. Exhibit III:1 (Page III:3) Overall Concept Plan delineates the project's overall concept. The project's objectives and a description of the overall concept is provided in Chapter III. Exhibit III:2 (Page III:4) is the Master Land Use Plan and Land Use Summary. The land use map divides the Specific Plan area into 37 Planning Areas and illustrates the intended circulation system. The Land Use Summary describes the acreage, land use, and allowable dwelling unit range for each of the Planning Areas. A maximum density of 3,466 residential dwelling units are permitted within the Specific Plan area. Residential product types may include custom estate homes, single-family detached homes, zero lot line, patio homes, cluster single family, townhomes, duplexes, income qualifying rental housing and other multi-family dwellings. The overall Specific Plan density for San Elijo Hills shall not exceed 1.75 dwelling units per gross acre. The conceptual lotting plan is illustrated on Exhibit III:3(Page III:5).

Along with the variety of residential opportunities, the Specific Plan also provides for a fire station, three potential school sites; two sites available for day care, recreation facilities, church or private school uses; a 15.7 acre town center that includes a neighborhood commercial center to serve the community; a 22-acre neighborhood park site, a network of open space corridors, an inter-linking trails system and a regional park.

Approximately 1,050 acres or 52 percent of the site will be devoted to open space.

The Circulation Plan for San Elijo Hills is described in Chapter III. The plan provides for both pedestrian and vehicular circulation. An extensive trail system has been designed to provide pedestrian access throughout San Elijo Hills. The trails will become an integral part of the San Marcos regional trail system.

Earlier major modifications approved for the San Elijo Hills Project by the Specific Plan Amendment process include the design of San Elijo Road (Questhaven Road) into a new alignment largely within the project boundaries and away from the Elfin Forest community, the deletion of the 300-room resort hotel, the addition of a density bonus including income qualifying housing based on Government Code section 65915, the deletion of the 18-hole golf course, the addition of an elementary school site, the deletion of the swim and tennis facility, the relocation of the neighborhood park, the widening of wildlife corridors, the reduction in grading quantities, the elimination of earthwork fill into most of the major drainages, the addition of neighborhood oriented mini parks, the addition of a neighborhood commercial retail center, the addition of an institutional site for location of church(es), a day care center, private school, recreation site or similar uses, the addition of estate housing onto the former hotel site, the relocation of a water reservoir tank site to a more suitable location, the addition of another water tank site, the relocation of the Neighborhood Park site (Planning Area G4) from the southeasterly side of San Elijo Road to the northwesterly side of San Elijo Road between Elfin Forest Road and School House Way, an increase in the gross area of the Neighborhood Park site (Planning Area G4) from 17 to 22 acres, the location of a middle school site on the former elementary school site in Planning Area G1, an increase in the gross area of the middle school site (Planning Area G1) from 10 to 20 acres, the allowance, on 25% of lots 50 feet and wider, of a second detached garage with dimensions of 12x16 when the requirements for two off street parking spaces are met, the allowance of a Casita as defined and restricted herein, the reorganization of development phases, and the clarification of Land Use language for Planning Area H3.

Modifications approved by the Amendment adopted by Council September 9, 2003 include:

- Change of Land Use Designation:
C2 from neighborhood commercial to mixed use
F1 from community services/institutional to multifamily
G2 from residential to community services/institutional (school)
H2 to include a portion of mixed use
- Adjustment of planning area yield counts:
C1 from 91 to 162
C2 from 0 to 81
C3 from 172 to 204
E1 from 113 to 77
F1 from 0 to 129
G2 from 190 to 0
H3 from 330 to 243

- Update of architectural guidelines.
- Provision to allow Area V-2 to be converted to a residential site at the multifamily, cluster detached/attached or single-family detached category if the site is not to be developed by the School District as a school.
- Incorporation of Collective Parking Standards that will regulate parking in the Town Center (Area C-2).
- Addition of definitions for Live/Work, Shopkeeper, and Mixed Use.
- Increase acreage of Lot Q from 234 acres to 239.

Modifications approved by Amendment to SP 89-18 (2004 MOD) and adopted by City Council under Ordinance No. 2005-1245 include:

1. Modification of standards for the Estate Home category that provides for architectural massing, scale and articulation rather than split pads to approximate the line of existing topography.
2. Relocation of the Fire Station within Planning Area S.
3. Additional lighting standards for portions of Planning Areas O, S and T.
4. Additional landscape criteria and restrictions for portions of Planning Areas O, S and T.
5. Modification of Planning Area O site plan to minimize visual impacts to the northerly viewshed.

Modifications approved by Amendment to SP 89-18 (10M) and adopted by City Council under Ordinance No. 2011-1349, include:

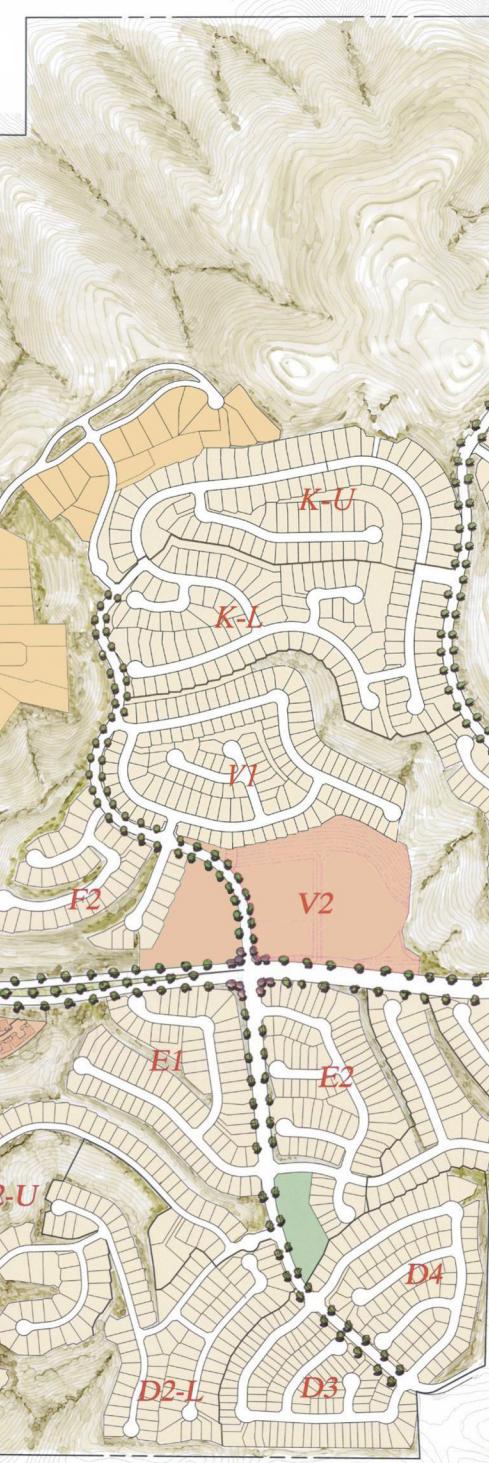
- Provision of a “drive-thru” for a bank or financial institution (limited to APN: 223-820-10) Drive-thru’s for other uses are not permitted elsewhere within the Town Center.

The San Elijo Hills Specific Plan Amendment process will also include further environmental impact analysis to determine if any new impacts will be associated with the implementation of the project.

Additionally, all plans, concepts, guidelines and regulations shall conform with the applicable mitigation measures and the mitigation Monitoring and Reporting Program contained in the Subsequent Environmental Impact Report.

Planning Area O and T (SP 89-18 2004 MOD)

1. Modify Architectural Standards to provide additional criteria to assure that flat pad construction is substantially equal to split pad construction.
2. Additional lighting restrictions near the ridgeline.
3. Additional landscape restrictions and standards near the ridgeline.



Planning Area S (SP 89-18 2004 MOD)

1. Relocate Fire Station to north side of San Elijo Road.



RESIDENTIAL

- ESTATE
- SINGLE FAMILY
- MULTI-FAMILY

COMMERCIAL

- COMMERCIAL/MIXED USE

PROJECT AMENITIES

- SCHOOL/PARK/ACTIVE OPEN SPACE
- INSTITUTIONAL/MIXED USE



PLANNING AREA C-2

DRIVE-THRU FOR BANK OR FINANCIAL INSTITUTION
(LIMITED TO APN 223-800-10 ONLY). DRIVE THRU'S
FOR OTHER USES ARE NOT PERMITTED ELSEWHERE
WITHIN THE TOWN CENTER

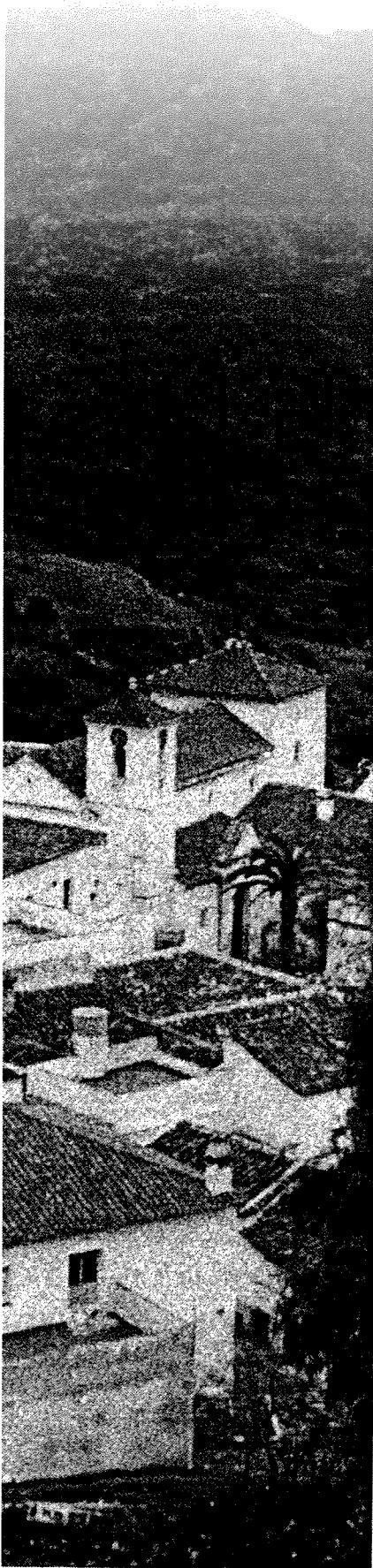
Summary of Specific Plan Amendment

San Elijo Hills Specific Plan Amendment

Exhibit I:1 Page I:4

SECTION II

Site Description



II. SITE DESCRIPTION

A. Location & Access

San Elijo Hills encompasses a total of approximately 2,000 acres in the southernmost part of the City of San Marcos. Exhibit II:1 is a map, which illustrates the regional context of the site and locates it within the City. The property lies east of Rancho Santa Fe Road and, for the most part, north of San Elijo Road (Questhaven Road), one and one-half miles east of Carlsbad and five miles west of Escondido, between the Interstate 5 and Interstate 15 freeways.

To the north of the site is the Lake San Marcos neighborhood. It is a large, planned residential community centered around Lake San Marcos and includes two golf courses, hotel, small businesses, and at least one service station.

Avocado groves adjoin the site along the northwestern boundary of the property. These groves make up a large portion of adjacent properties. East of the groves is Discovery Park and the Discovery Hills community.

South of Lake San Marcos dam, adjacent to the western edge of the site, is an abandoned rock quarry and sand and gravel pit. This area is now part of the approved University Commons specific plan. University Commons adjoins the western boundary of San Elijo Hills.

The former San Marcos Sanitary Landfill lies south of San Elijo Road adjacent to the southern property boundary. Immediately west of the landfill is the North County Waste Recovery Facility known as "NCRRA". Further discussion of the landfill is referred to in Section III.H.

Torres Landscaping and Elfin Forest Nursery are located adjacent to the property in the southeastern corner of the site. The nursery has a large area under cultivation and stores a variety of building materials. Custom homes on large parcels also occur in this area.

The semi-rural community of Elfin Forest, in the County unincorporated area, is situated approximately .5 miles southerly of the project generally along Elfin Forest Road and south to Escondido Creek. This area includes estates, small plant nurseries and groves and homes with paddocks and equestrian oriented facilities.

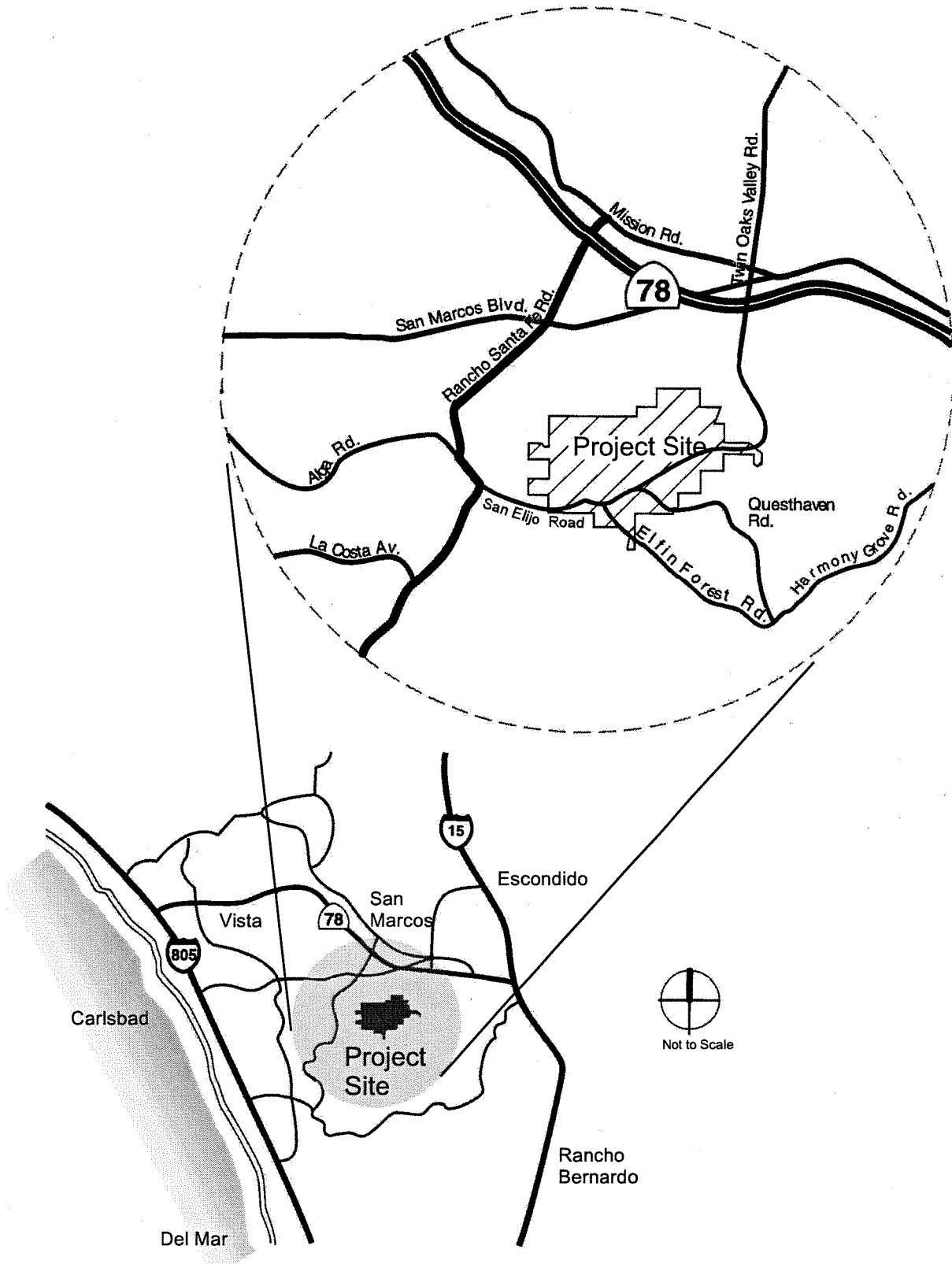
South Coast Materials is situated to the northeast of the property and operates an asphalt batch plant. They also have extensive gravel production and rock quarry facilities. The San Diego County Department of Environmental Health states that no hazardous materials have been reported on-site.

The Questhaven/La Costa Meadows Industrial Park is located east of Rancho Santa Fe Road near the intersection of San Elijo Road approximately one-half mile from the western property boundary. Numerous office and light manufacturing businesses are located within tilt-up concrete buildings.

The remainder of adjacent properties consists of large and small residential lots and homes, and vacant property. In terms of the San

Marcos General Plan, the San Elijo Hills Specific Plan is located within the Questhaven/La Costa Meadows and Barham/Discovery Community Plans. Current San Marcos General Plan and San Diego County General Plan land use designations in the vicinity of San Elijo Hills are shown on Exhibit II:2. The Barham/Discovery Community Plan designates the northerly portion of the project site as Estate Residential, 1-2 DU per acre. Adjacent land use designations also include rural residential 2-4 DU per acre and Single Family Detached 2-4 DU per acre. The objectives and policies section of the Barham/Discovery Community Plan designates nearby hillsides exceeding 20 percent slope as agricultural with Residential densities of one dwelling unit per acre. The plan encourages special design and placement of rural and estate lots within the community boundaries. Approximately 215 acres of the project area falls within the Barham/Discovery Community Plan. Much of this area is over 20 percent slope. The Specific Plan allows the development proposed for the Barham/Discovery portion of the project to be clustered into Planning Area R, which includes the flatter and lower elevation areas. Although the proposed development of Planning Area R does not exceed the Community Plan Density criteria of 85 percent of allowable density (i.e., 215 acres x .85 = 182 homes), the development proposal is proposing lot sizes (minimum 5,000 sq. ft. and 10,000 sq. ft.) which are more akin to the adjacent development in the Discovery Hills community rather than one half acre lots and larger.

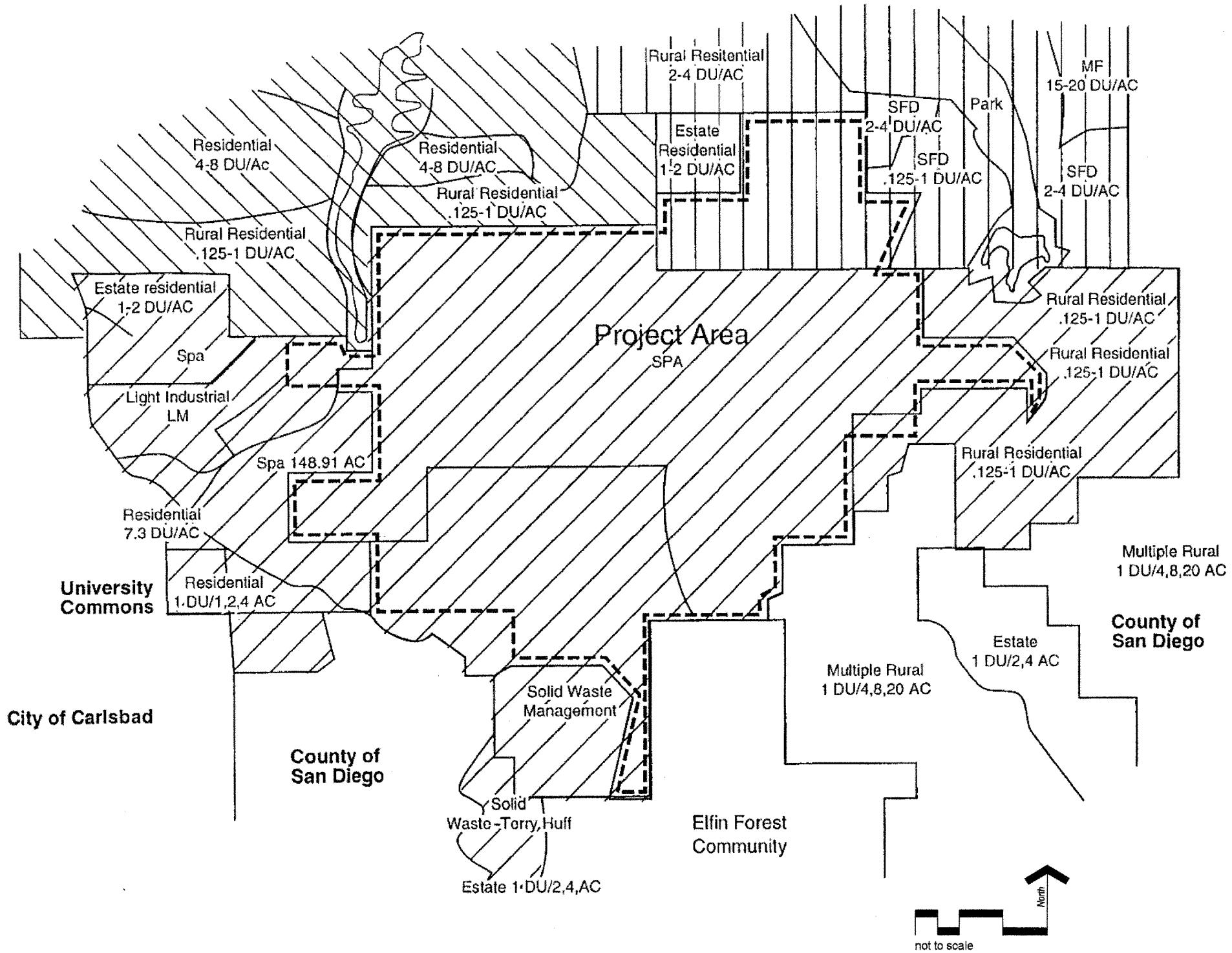
The Questhaven/La Costa Meadows Community Plan has very strict guidelines regarding the restriction of development from the primary ridgeline and the preservation of the ridgeline silhouette as viewed from Highway 78. However, grading at the ridgeline will occur for the construction of San Elijo Road southerly over the ridgeline as contemplated by the circulation element of the General Plan and for the construction of Regional Park improvements in Planning Area Q. Grading and silhouette impacts previously occurred as part of the microwave tower project at the westerly end of Cerro de las Posas. The project proponent is proposing limited development including grading along the lower ridgeline in Planning Area S just west of the point where San Elijo Road will cross the ridgeline. Homes in Planning Area S, which would be visible to Highway 78, would be restricted to one story and the use of earth tones to blend into the natural hillsides. In addition, no grading fill slopes in Planning Area S visible to Highway 78 will be allowed, daylight cuts for development areas would be allowed. In Planning Areas O and T, it is possible that small portions of development may be visible through view "windows" over saddles in the ridgeline. However, custom lot grading and individual lot development standards, through development CC&Rs will minimize any visual impacts. A General Plan Amendment has been approved to accommodate the project as proposed. Conformance of this Specific Plan with the Questhaven/La Costa Meadows and Barham/Discovery Community Plans is described in Chapter VII.



Brian L. Thompson, A.S.L.A.
Landscape Architect

trans tech
Kaufman Meeks Inc.
GraphicAccess
Planning & Graphics Support

Location Map
San Elijo Hills Specific Plan Amendment
Exhibit II:1 Page II:3



General Plan Designations

San Elijo Hills Specific Plan Amendment

B. Natural Features

The topography of the San Elijo Hills site is typically rugged with steep hillsides and deep drainages. The exception is in the southern area of the property having gentler slopes and less overall relief than other parts of the site. The property's overall highest points are at the summit of Double Peak, 1,644 feet above sea level and Cerro de las Posas, 1,320 feet above sea level. The low point is approximately 450 feet above sea level located on San Marcos Creek near the southwestern corner of the property. The overall topographic relief across the property is about 1,194 feet. Exhibit II:3 is a map depicting the topography of the project site.

The on-site vegetation is dominated by disturbed vegetation, mixed-chaparral and black sage dominated coastal sage scrub plant communities, with small groves of eucalyptus trees and some scrub oak trees throughout the site. In 1991 a grading permit was issued which allowed for the clearing of approximately 500 acres within the proposed development area and the construction of desilting basins and other erosion control devices.

The entire site is located within the Carlsbad Hydrographic Unit. Two major waterways, San Marcos Creek and Escondido Creek, drain the property. San Marcos Creek lies west of the property and flows out of Lake San Marcos in a westerly direction. Escondido Creek lies south of the site and flows in a southwesterly direction. Both streams make up part of the Carlsbad Hydrographic Unit.

On-site developments include several man-made structures as discussed in the following paragraphs.

The Second and Fifth San Diego Aqueducts run underground from the northwest corner of the site across the property and leaves the property near Elfin Forest Road and the intersection of the property boundary. The San Diego County Water Authority operates and maintains the aqueducts in conjunction with the Metropolitan Water District, which is responsible for importing and distributing water from the Colorado River and Northern California to its member agencies.

The San Diego Gas and Electric Company (SDG&E) owns two transmission lines within 150-foot easements that cross in the southwestern corner of the site and along the southern boundary. An access road runs parallel to both easements. SDG&E has indicated that it does not have transformers or equipment associated with these transmission lines on the property.

A modest single-family residence referred to as the "Old Hacienda" is located on top of Double Peak. This home has been extensively vandalized and will likely need to be razed at a later point in time if it is beyond repair.

Two microwave towers are located on the Cerro de las Posas ridge in the northwest corner of the property. San Diego County owns and operates these facilities, which are used to relay telephone and radio communications.

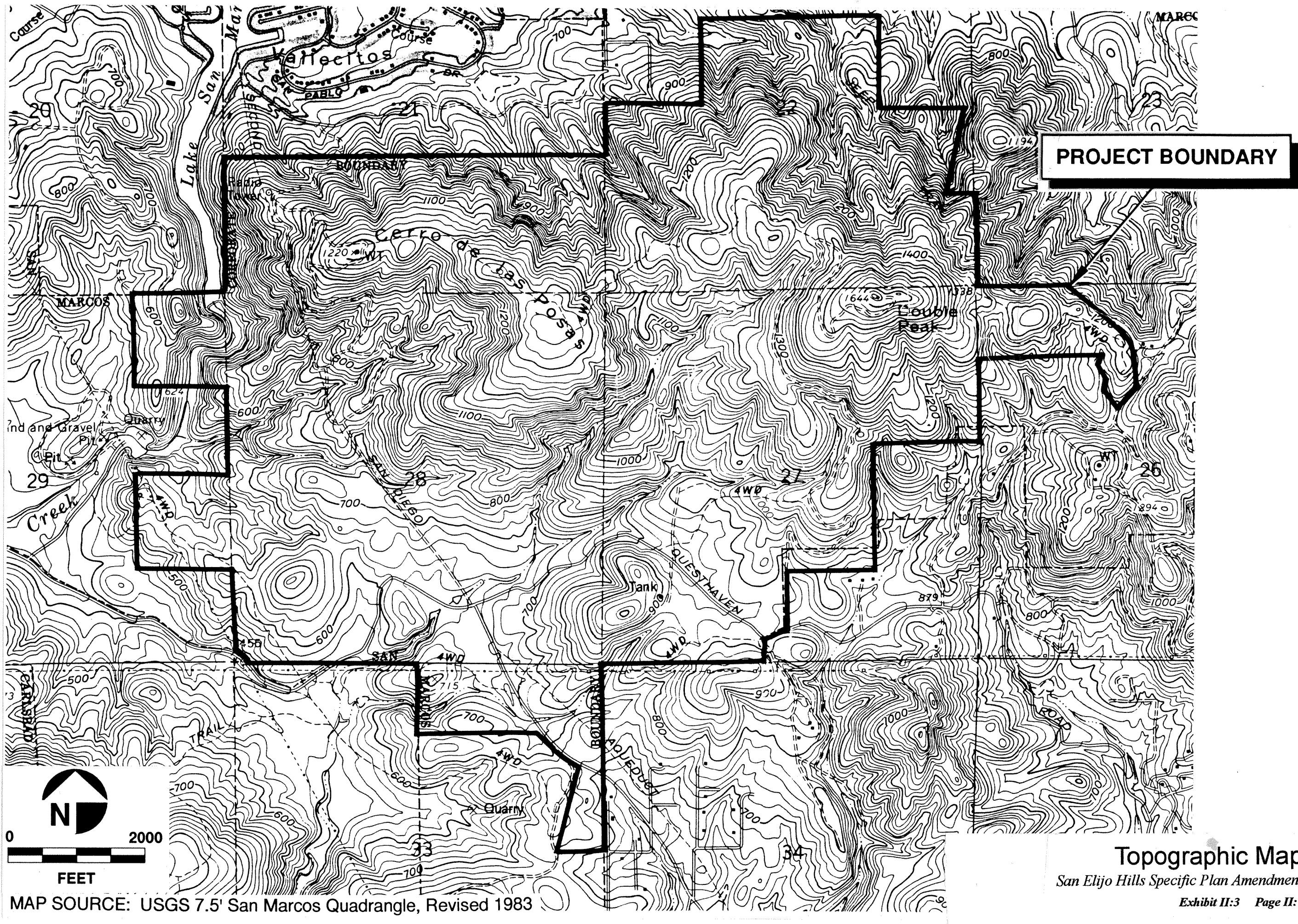
Two water reservoirs and related water mains exist on the property. One near the northern boundary is a 7-million gallon tank. Just south of San Elijo Road is a 1-million gallon reservoir. Both reservoirs are owned and maintained by the Vallecitos Water District. Immediately north of the San Elijo Road/Elfin Forest Road intersection is a small cinder block pump house, which also serves as a chlorination facility for Vallecitos Water District in association with water deliveries from the aqueduct.

A cement, surface-water collection basin (a possible fire cistern) is located in the southeastern corner of the property. As previously mentioned, several desilting basins have been constructed onsite and in addition, just north of San Elijo Road, the county conducted an operation to obtain and transport clay for the landfill liner.

In addition to these developments, the site has numerous unimproved roads and trails. Questhaven and Elfin Forest Roads are paved roads that cross the southern portion of the property.

Exhibits II:4, II:5 and II:6 provide a summary analysis of the opportunities and constraints presented by the property. Project design has responded to a number of these factors:

- Access
- Drainage/Wildlife Corridors
- Steep Slopes
- Visually Sensitive Ridgelines and Areas
- Pedestrian/Equestrian Trail System
- Archeology
- Utility Corridors
- Geology
- View Opportunities
- Adjacent Land Uses

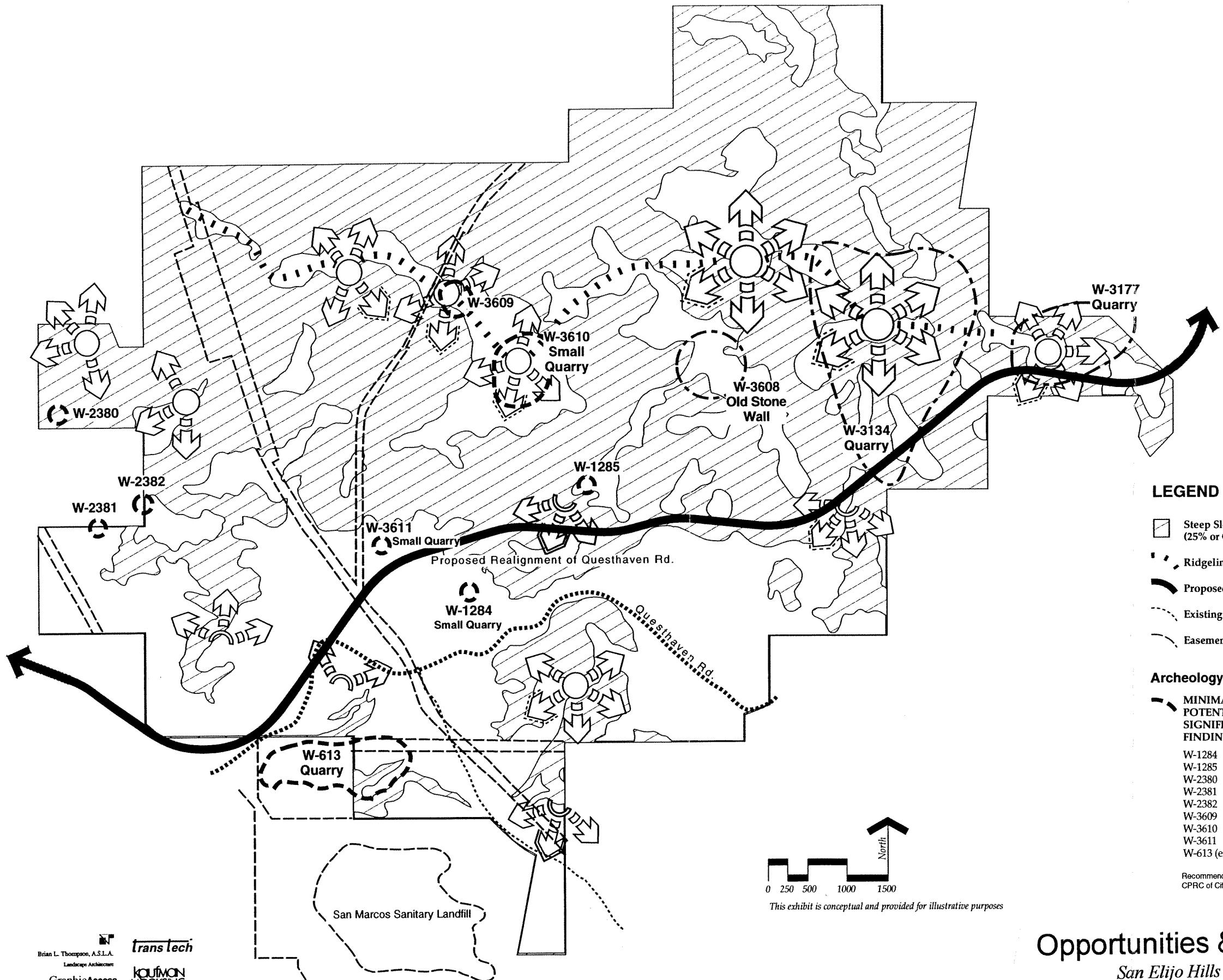


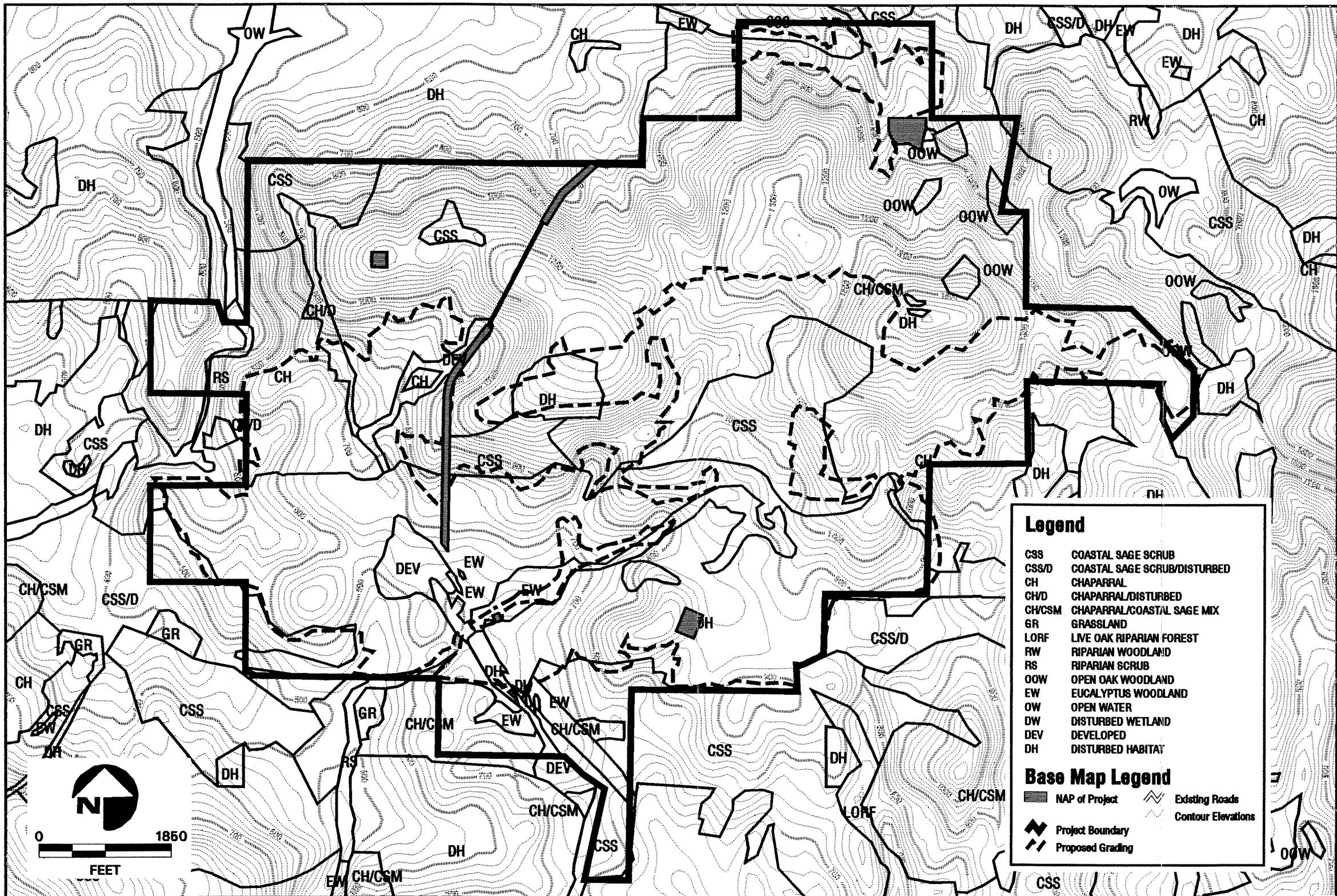
Topographic Map

San Elijo Hills Specific Plan Amendment

Exhibit II:3 Page II:7

MAP SOURCE: USGS 7.5' San Marcos Quadrangle, Revised 1983

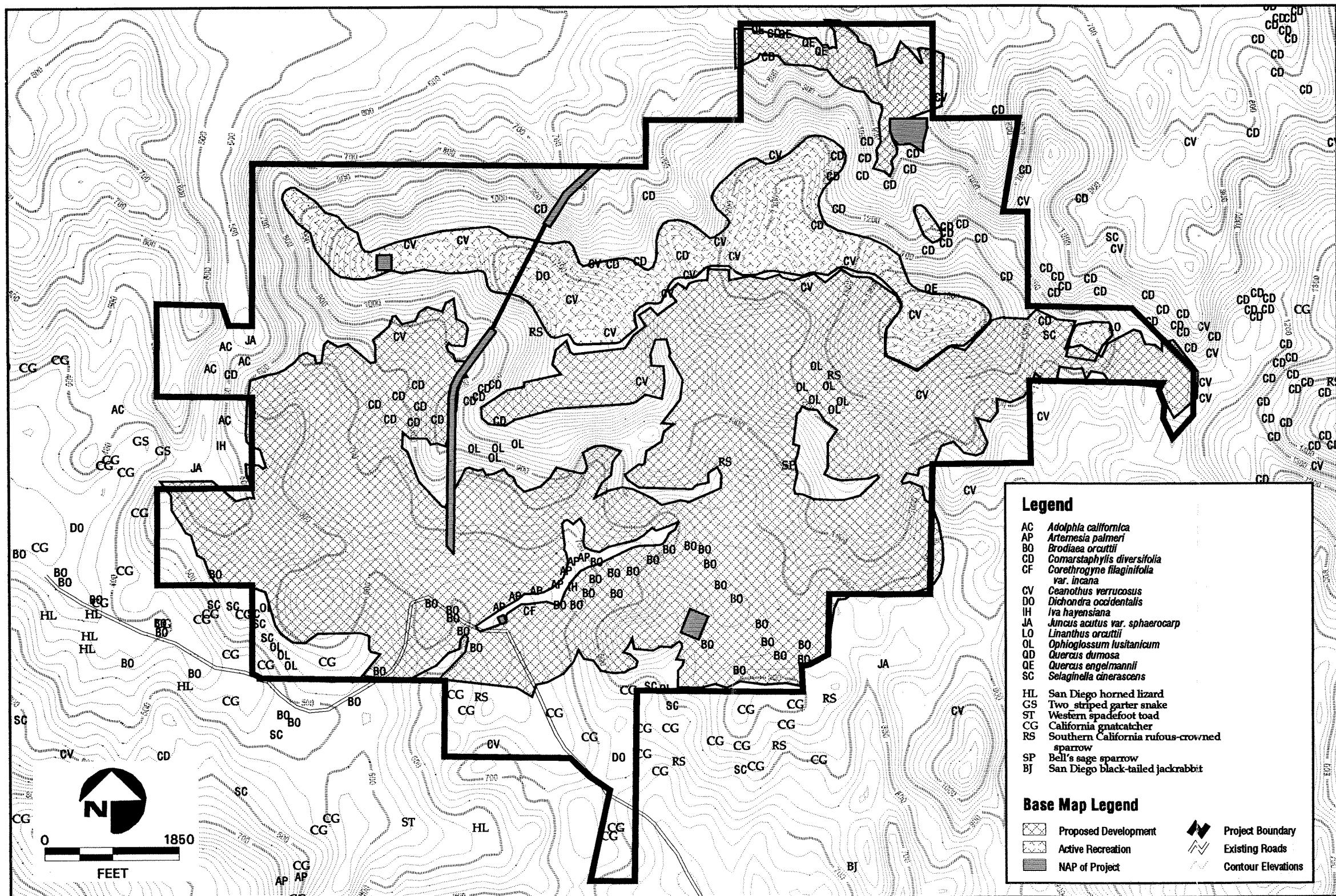




Opportunities & Constraints II

San Elijo Hills Specific Plan Amendment

Exhibit II:5 Page II:9



Source: Ogden

Opportunities & Constraints III

San Elijo Hills Specific Plan Amendment

Exhibit II:6 Page II:10

SECTION III

Development Plan Description



III. DEVELOPMENT PLAN DESCRIPTION

A. Project Objectives

The following goals have been established to guide the development of this Specific Plan. All development within the San Elijo Hills Specific Plan area and any future amendments to the Specific Plan shall comply with these goals:

1. All planning efforts should be responsive to the opportunities and constraints presented by the site. An in-depth analysis of soil conditions, slopes, biology, archaeology and viewsheds has been conducted prior to initial design efforts and are contained in the subsequent EIR.
2. Preserve the major environmental resources and topographic character of the Specific Plan area.
3. Minimize negative impacts to San Elijo Hills caused by the San Marcos Landfill.
4. Provide an open space system, which will act as a community amenity, allow for wildlife corridors and provide both active and passive recreation areas for local and regional use.
5. Develop a project that can be implemented in a manner consistent with the goals of The City of San Marcos General Plan.
6. Develop a master planned residential community with a maximum development potential of approximately 3,466 dwelling units at an overall maximum density of 1.75 dwelling units per gross acre.
7. Create a total residential community featuring a variety of product types and densities, which will appeal to first-time buyers, move-up families, empty-nesters, and others. Provide retail commercial shopping opportunities for residents and nearby homeowners.
8. Provide community development standards which will regulate the nature and appearance of all development within San Elijo Hills to meet architectural and aesthetic standards that supplement existing city-wide zoning and development regulations.
9. Implement a comprehensive design program, which will guide the aesthetic values of San Elijo Hills including landform alterations, architecture, entries and signage.
10. Prepare a comprehensive landscape program, which provides visual continuity throughout each planning area and reduces any adverse effects of grading.
11. Ensure that all public facilities and services are available to serve the planned development of San Elijo Hills and meet or exceed applicable City standards and requirements prior to or concurrent with development.

12. San Elijo Hills shall be a well-planned, orderly community. Covenants, conditions and restrictions (CC&Rs) shall be prepared for each residential planning area, which will ensure attractive, well-maintained neighborhoods.
13. Implement a maintenance program, which will ensure the proper care of all common landscape areas, private streets and open space areas.
14. Consolidate and minimize grading impacts by utilizing terraced building pads, contour grading techniques and similar methods.

B. Overall Concept

The San Elijo Hills Specific Plan evolved after thorough environmental analysis and market research. The resulting land plan meets the goals and objectives of the City of San Marcos.

The Plan is structured around a number of town planning principles that date back to the 1920s and 1930s. The goal of these principles is to emphasize connectiveness, walkability, diversity and ecological sensitivity.

At the core of the Plan is a Town Center. The Town Center consists of Planning Areas C1, C2, G1, G2, G4 and H2. When combined, these Planning Areas provide for the needs of the community by featuring a blend of shopping, restaurant, civic, institutional, educational, recreational, entertainment, personal services and residential opportunities. Over time, it is intended that the Town Center become the social core and a recognizable identity for San Elijo Hills.

Within the greater master plan, thirty-one residential neighborhoods offer a full range of housing types including estate, single family detached, single family attached, and multifamily.

A school campus, located in the Town Center, includes an elementary and middle school. A third school site is available in Planning Area V2 at the option of the school district.

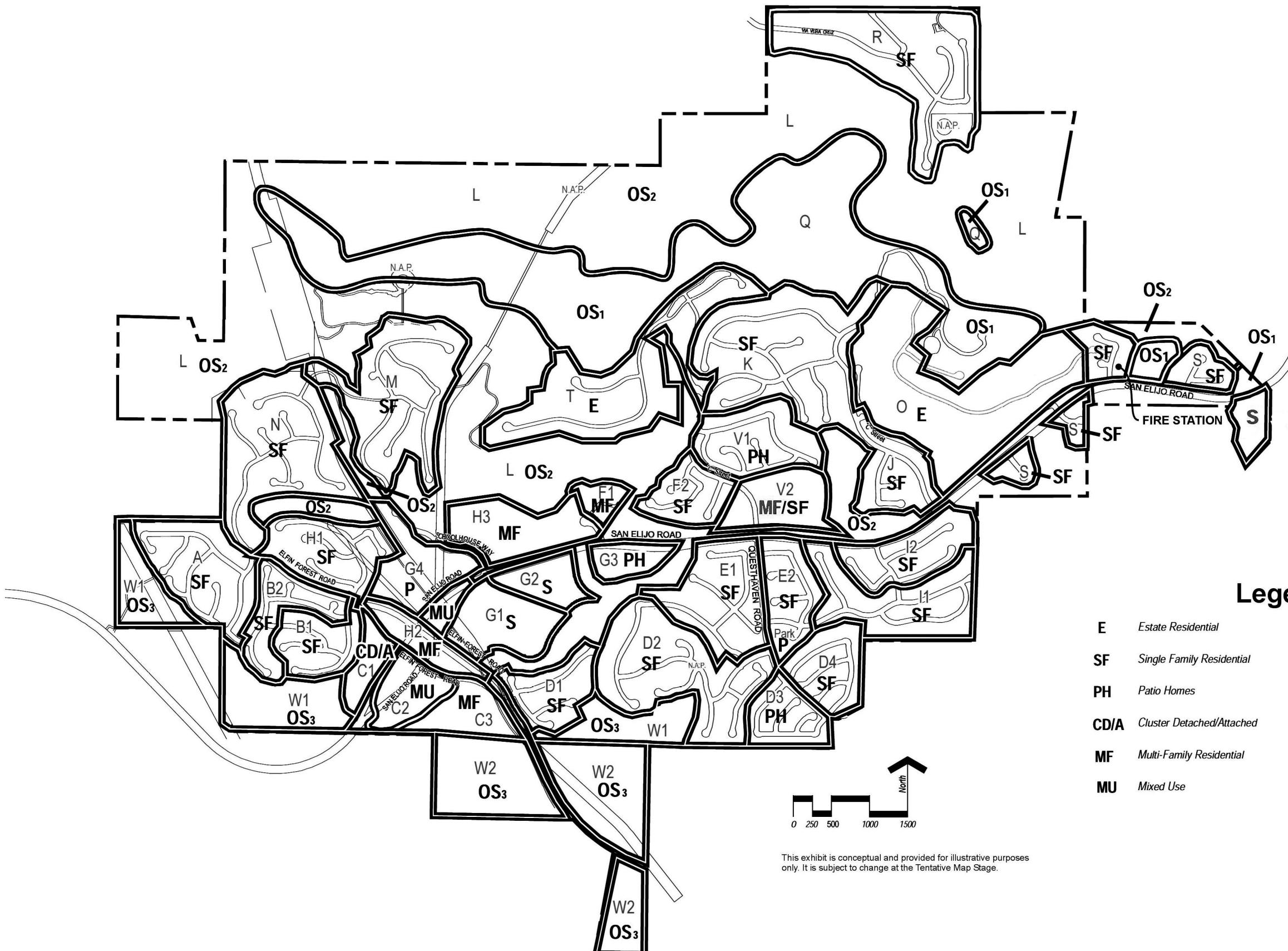
A 22-acre neighborhood parks site is one element of an overall open space infrastructure that preserves over 50 percent of the site. Included in this program are additional park sites, tot lots, manufactured open space, natural open space, and wildlife corridors.

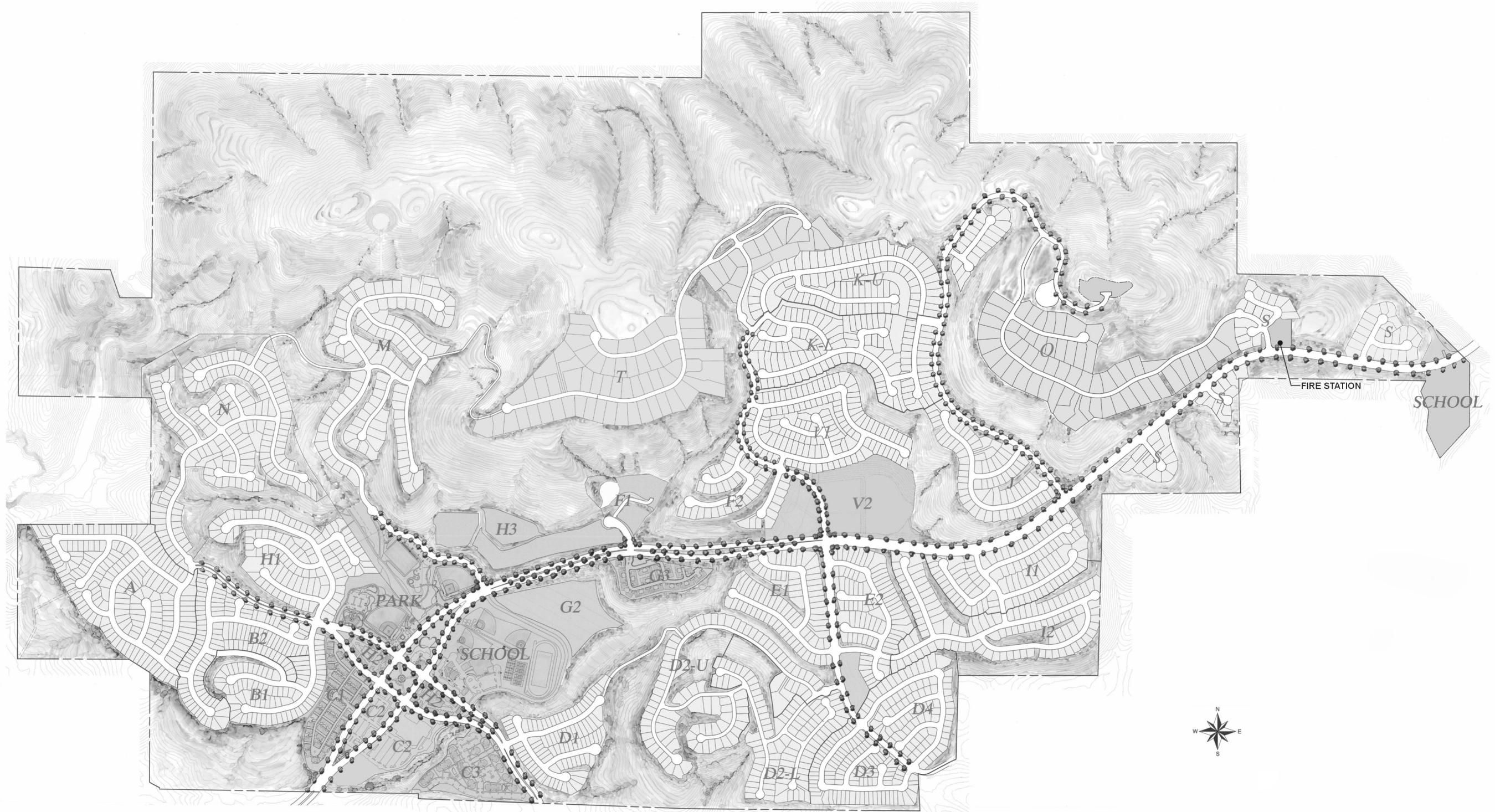
Regional serving roadway improvements form the backbone of the community's transportation system. In addition to a one-way couplet roadway in the Town Center, neighborhood streets are designed and sized to encourage traffic calming and provide pedestrians with a sense of compatibility. The entire community is linked by an extensive pedestrian pathway system that radiates out from the Town Center.



NOTE: THIS DRAWING IS FOR ILLUSTRATIVE PURPOSES
ONLY AND IS SUBJECT TO REVISION.

Overall Concept Plan
San Elijo Hills Specific Plan Amendment
Exhibit III:1 Page III:3





Conceptual Lotting Plan
San Elijo Hills Specific Plan Amendment
Exhibit III.3 Page III.5

C. Land Use Description

The development plan for San Elijo Hills promotes a balanced community in terms of its economic range and its housing, shopping, institutional and recreational opportunities. It should be noted that this plan is a general representation of the lot patterns and road locations. The submittal of a Master Tentative Subdivision Map followed by individual Final Subdivision Maps will further define the Specific Plan design and concepts without requiring further Specific Plan amendments.

The Specific Plan provides five land use designations: residential, mixed use, community services/institutional, temporary and open space. The residential land use designation includes the categories of: Estate, Single-Family Detached, Patio, Cluster Detached/Attached and Multifamily. The mixed-use land use designation includes portions of residential, commercial and community services/institutional land use. A qualitative description of each land use and category is provided below. More specific details including land use regulations and design guidelines are presented in Chapters IV and V.

1. Residential

The San Elijo Hills Specific Plan provides for a potential development of 3,466 dwelling units. Five residential categories have been designated by the Master Land Use Plan to offer a variety of housing opportunities.

Estate - Planning Areas O and T accommodate estate homes on the Master Land Use Plan. These areas total approximately 134 acres or 7 percent of the Specific Plan area. This classification is intended as an estate home land use category. Minimum lot sizes are 20,000 square feet. The Estate category allows for custom homes. The Specific Plan anticipates a development yield of approximately 139 estate homes.

Single-Family Detached - Planning Areas A, B-1, B-2, D-1, D-2, D-4, E-1, E-2, F-2, H-1, I-1, I-2, J, K, M, N, R and S allow for the development of single-family detached homes. These areas include about 638 acres or 32 percent of San Elijo Hills. The Single-Family Detached category will accommodate detached product types including wide and shallow, zero lot line and traditional subdivisions. It is anticipated that minimum lot sizes will range from 4,000 square feet to 10,000 square feet. The Specific Plan anticipates a development yield of approximately 1997 single-family detached homes.

Should the Planning Area V2 school site be determined to be unnecessary by the School District, the site can be converted to residential use at any one of the single-family detached categories. However, the overall project wide dwelling unit count of 3,466 cannot be exceeded.

Patio - Planning Areas D-3 and V-1 accommodate single family detached patio homes. These areas account for approximately 43 acres or approximately 2 percent of the Specific Plan area.

Product types allowed under this category include patio homes, zero lot line, and duplexes. The Patio classification is expected to accommodate first time homebuyers as well as the empty nester market niche. The Specific Plan anticipates a development yield of approximately 228 patio homes. Depending on market conditions at the time of development, these planning areas may be developed at lower than proposed densities using any one of the single family detached land use categories. In addition, Planning Areas H-2 and V-1 may be developed as Cluster Detached/Attached; however, the overall project wide dwelling unit count of 3,466 cannot be exceeded. Should the Planning Area V2 school site be determined to be unnecessary by the School District, the site can be converted to residential use at the Patio land use category. However, the overall project-wide dwelling unit count of 3,466 cannot be exceeded.

Cluster Detached/Attached - Planning Areas C-1 and G-3 allow the development of detached single-family or attached dwellings. These areas total approximately 19 acres or less than 1 percent of the San Elijo Hills land area. The Cluster Detached/Attached category may include clustered single family, townhomes, stacked flats, duplex or condominiums. The Cluster Detached/Attached category includes a relatively new residential product type, which is a response to the trend away from attached condominiums and towards affordable detached homes on small lots or detached condominiums. The Specific Plan also allows for Patio or Single Family Detached residential development as an alternative permitted land use in these planning areas. The Specific Plan allows a development yield of approximately 380 Cluster Detached/Attached homes. Subject to market conditions at the time of development, Planning Areas H-2, and V-1 may be developed under the Cluster Detached/Attached category. Should the Planning Area V2 school site be determined to be unnecessary by the School District, the site can be converted to residential use at the Cluster Detached/Attached category. However, the overall project-wide dwelling unit count of 3,466 cannot be exceeded.

Multifamily - Planning Areas C-3, F-1, H-2 and H-3 are designated as Multifamily. These areas consist of approximately 63 acres or approximately three percent of the total project area. This category of housing is expected to consist of garden style apartments in stacked flat configuration of two and three-story buildings as well as for sale or rental townhomes and condominiums. The Specific Plan allows a development yield of approximately 637 multifamily units. Areas C-3 and F-1 are anticipated to accommodate the income qualifying requirements of the project. Based on a stipulated settlement of a lawsuit filed which challenged the validity of the City's general plan, shortly after the original approval of the project, ten percent of the maximum density of the original overall project (272 units) is required to be offered to renters qualifying with incomes defined as very low income. In return for the commitment for this housing the project was granted a density bonus of twenty-five percent as

part of the stipulated settlement. The development of these neighborhoods will occur in conjunction with the development of the initial phases of the project.

Should the Planning Area V2 school site be determined to be unnecessary by the School District, the site can be converted to residential use at the Multifamily category. However, the overall project wide dwelling unit count of 3,466 cannot be exceeded.

2. Mixed Use

In addition to the development of 3,466 residential dwelling units, the San Elijo Hills Specific Plan and related entitlement documents also entitle commercial and community services/institutional uses. The Mixed Use land use designation enables a combination of specific portions of those previously approved uses within Planning Area C-2 and a portion of Planning Area H-2.

The Mixed Use portion of these Planning Areas include about 16 acres or approximately 1 percent of San Elijo Hills. The Mixed Use designation accommodates residential opportunities included within the Cluster Detached/Attached and Multifamily categories. It is anticipated that a mixture of for sale or rental units, town homes, condominiums and/or apartments will be provided. The Specific Plan allows a residential development yield of approximately 85 units in the mixed use portion of these planning areas. These 85 units are included in the project's current 3,466-unit cap.

Commercial opportunities are anticipated to be focused primarily in Area C-2, but might also include portions of H-2. Potential uses include a grocery store, drug store, hardware store, restaurants, dry cleaners, automobile service station and shops with community serving retail uses. The exact uses and mix will be developed as market conditions dictate in conjunction with overall project phasing. Community services/institutional uses are anticipated to include a church and related support facilities, a post office as well as other community service oriented facilities. The exact uses and mix will be developed in accordance with community needs. Permitted uses for Planning Areas C2 and H2 are detailed in Chapter V.

3. Community Services/Institutional

A total of about 59 acres of San Elijo Hills are considered for community services/institutional uses. Land use categories within this designation include:

School Sites - Planning Areas G-1, G-2 and S encompass approximately 52 acres and are designated as school sites. The developer shall enter into a school mitigation agreement to provide the necessary school facilities.

Fire Station - A minimum 1.0-acre fire station site is located in Planning Area S near San Elijo Road. The fire station will be operated by the San Marcos Fire Department.

Water Reservoir - three storage reservoir sites, which will include 3-5 new water tank reservoirs and pumping facilities, will be provided to serve the development.

Institutional – A portion of the approximately 2.5 acre site known as C-2 is set aside for church, day care, private school, post office or similar uses.

4. Temporary

Temporary land uses are described in Chapter IV.

5. Open Space

Preservation of open space is an important facet of the land use plan. In addition to natural open space and enhanced landscaping within residential areas, five planning areas are exclusively devoted to open space and include approximately 1,050 acres. The San Elijo Hills open space program consists of natural canyons, hillsides, utility corridors, wildlife preserves, parks, private project related recreational opportunities, trails, and landscaped parkways located throughout the community. A master landscape maintenance district will be created and operated by the Master Association and/or annexation to the lighting/landscaping district or as otherwise determined by the City for maintenance of designated open space areas.

Tot Lots - Tot lots or mini parks are an allowed use within residential neighborhoods.

Native Open Space - Planning Areas L, W-1 and W-2 will contribute approximately 785 acres of native open space to the San Elijo Hills open space program. With the exceptions of streets, minor slope grading, trails and utility corridors these areas will remain essentially unchanged. Planning Area L together with Planning Areas W-1 and W-2 and a portion of Q will provide for the establishment of a portion of the City's Biological Reserve Management Plan (BRMP) which in turn is part of the regionally significant Native Communities Conservation Plan (NCCP) which will link to similar programs to provide connectivity of biologically significant habitat throughout the county.

Neighborhood Park – The project provides 37 acres of neighborhood park, 22 acres of which is located in Planning Area G4, and 15 acres of which is located throughout the project, providing both active and passive recreation areas per the City of San Marcos Parks Master Plan for residents of San Elijo Hills and other nearby neighborhoods. The park was relocated from Planning Area X in the original Specific Plan (now part of W-2) due to a condemnation action by the County for a buffer for the San Marcos Landfill.

Wildlife Corridors - Planning areas W-1 and W-2 are part of the natural open space and are exclusively reserved as wildlife corridor preserves. The corridors will be combined with an adjacent off-site designated corridor directly to the west and south to form significant, uninterrupted regional linkages. The wildlife corridors include approximately 132 acres. In addition to the designated wildlife corridor areas, several Planning Areas including L, Q and G-4 will contribute open space, which will allow birds and other animals to move freely through the project area.

Active Recreational/Regional Park - Approximately 239 acres located around Double Peak and Cerro de las Posas in Planning Area Q is designated for recreational use including that of a regional park. The regional park and private open space area of Planning Areas Q and L together will appear visually as a large open space reserve from most San Marcos viewpoints to the north and west of San Elijo Hills. The park will connect to a major multi-use trail near the ridgeline and will be linked to the wider city/regional trail network. If the old hacienda located at Double Peak can be rebuilt it could serve as a residence for park personnel and may also act as a resting point for hikers. It is anticipated that some flatter portions of Planning Area Q would serve as sites for active recreation and regional park improvements. In addition, the flatter ridge top portions of Cerro de las Posas could provide for the following uses subject to a major use permit and appropriate environmental review: equestrian facilities, golf course, clubhouse, conference center.

D. Circulation

The objective of the circulation plan for the San Elijo Hills Specific Plan is to establish roadway design standards and a pedestrian trail system, which will support the creation of a balanced transportation system.

1. Vehicular Circulation System

The project site is located approximately two miles south of State Route 78 (SR-78), which is a six lane, east-west freeway linking Interstate 5 and Interstate 15. State Route 78 currently accommodates approximately 80,000 average daily trips near the site.

San Elijo Road, formerly known as Questhaven Road, which provides primary access to San Elijo Hills from Rancho Santa Fe Road, is currently a two-lane road running along the south and east sides of the site. San Elijo Road is proposed to be realigned and designated as a four-lane major arterial road with a right-of-way of 84 to 105 feet from Rancho Santa Fe Road to the San Elijo Hills project boundary. San Elijo Road, upon entering the project, changes into a two-lane (one-way), divided highway with a right-of-way of 65 feet in each direction. The divided roadway (couplet) continues through the project for approximately one-half mile. Thereafter, it reverts to a four-lane major arterial and continues to Twin Oaks Valley Road. Twin Oaks Valley Road, as proposed, is

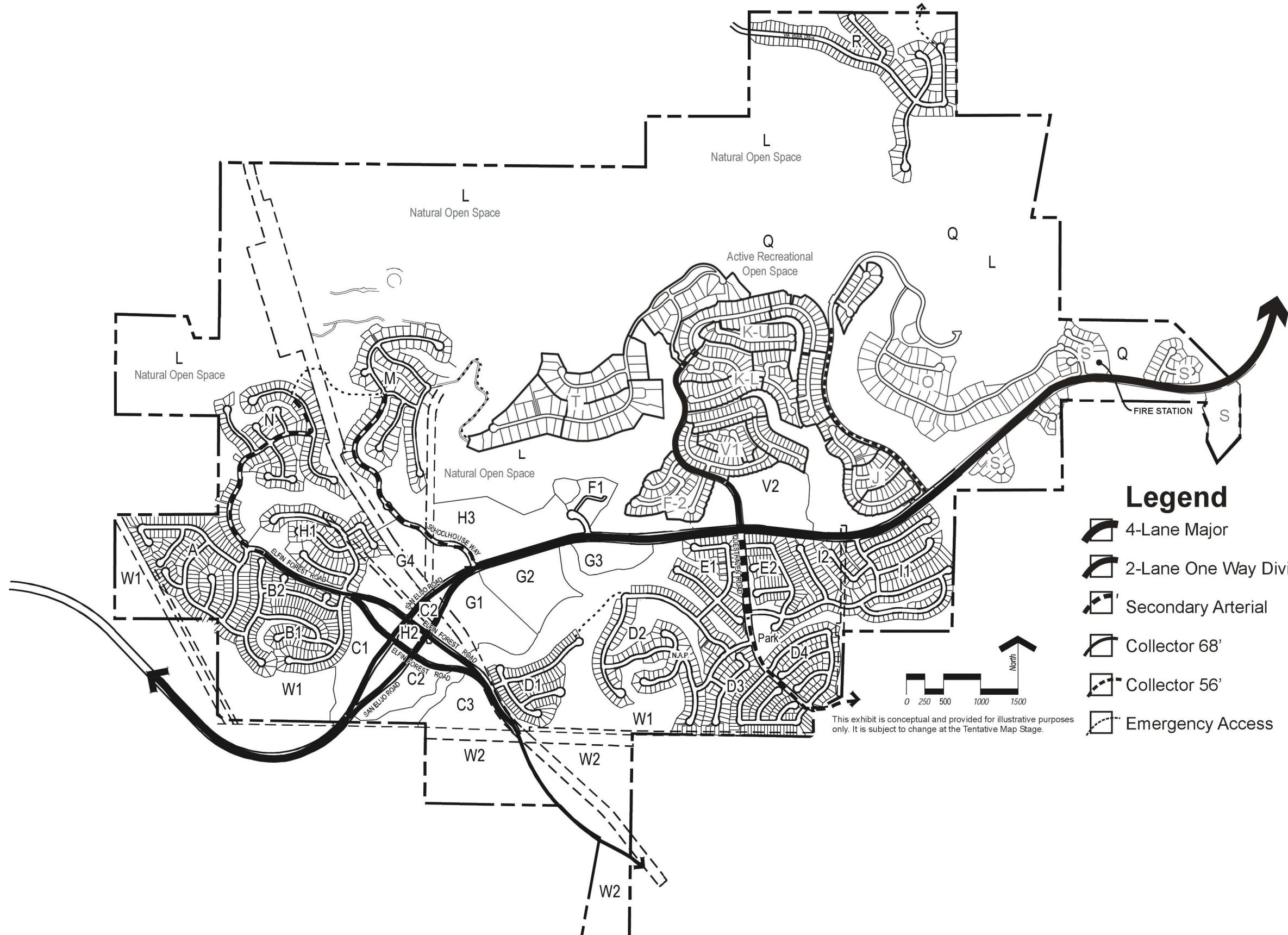
to be extended from its existing terminus to San Elijo Road. The purpose of this extension is to provide a through connection to Rancho Santa Fe Road and a more balanced traffic circulation system for the southern portion of the city. The San Elijo Hills Vehicular Circulation Plan is shown on Exhibit III:4.

At the southwest end of the property the project takes access from San Elijo Road and via the realignment of Elfin Forest Road and its extension into the project. Elfin Forest Road will provide access to the western neighborhoods of San Elijo Hills (Planning Areas A, B-1, B-2, C-1, C-2, D-1, H-1 and H-2) and is proposed as a collector street with 68 feet of right-of-way until it separates into a two-lane, one-way, divided roadway with a right-of-way of 63 feet. This divided roadway (couplet) continues through the project for approximately one-half mile, after which it returns to a 68-foot collector and continues until it tees into "G" Street. Elfin Forest Road will be the primary access for Phase I of the project and will also serve as secondary access to Planning Areas N and M via Street "G" and an internal loop to "B" Street to the east.

Continuing easterly along San Elijo Road, the next primary access will be the intersection with Schoolhouse Way. Beginning at San Elijo Road, Schoolhouse Way continues northerly and provides access to Planning Areas H-3, and M. Schoolhouse Way northerly of San Elijo Road is proposed as a 60-foot collector.

The central portion of the San Elijo Hills will take primary access from San Elijo Road via "C" Street and Questhaven Road. Street "C" will be a 68-foot and 60-foot collector providing a loop circulation system to the central Planning Areas lying northerly of San Elijo Road. The Planning Areas served by "C" Street will be Planning Areas F, J, K, T and V. Questhaven Road will be a secondary arterial and a 60-foot collector street. This street will provide access to the central planning areas lying southerly of San Elijo Road. Questhaven Road will also provide the ultimate connection to Old Questhaven Road, to serve the property east of the project.

The remaining planning areas along San Elijo Road will take access off San Elijo Road via 60-foot collector and local streets. Some of these access points will be allowed median breaks or full intersections and others may be restricted to right in and right out only, depending upon intersection spacing and other design criteria.



Vehicular Circulation Plan
San Elijo Hills Specific Plan Amendment
 Exhibit III:4 Page III:12

- a) **Four lane major arterial (San Elijo Road Offsite)**
Right-of-Way: 84' - 101'
Curb-to-Curb Distance: 64'-76'
Median: 6-12'
Design Speed: 50 mph
Maximum Grade: 9%
Minimum Intersection Spacing: 1,200'
Parking: Not allowed
- b) **Four lane major arterial (San Elijo Road Onsite)**
Right-of-Way: 84' - 105'
Curb-to-Curb Distance: 64'-76'
Median: 6'-12'
Design Speed: 50 mph
Maximum Grade: 7% (may be increased to 9% with City Engineer approval)
Minimum Intersection Spacing: 1,200'
Parking: Not allowed
- c) **Secondary arterial Queshaven Road**
Right-of-Way: 84' (98' with median)
Curb-to-Curb Distance: 64' (78' with median)
Median: 14'
Design Speed: 40 mph
Maximum Grade: 10%
Minimum Intersection Spacing: 600' – Offset T's": 300'
Parking: Not allowed
- d) **Collector 68' "C" Street, Elfin Forest Road**
Right-of-Way: 68' (82' with median)
Curb-to-Curb Distance: 48' (62' width median)
Median: 14'
Design Speed: 30 mph
Maximum Grade: 10%
Minimum Intersection Spacing: 600' – Offset "T's": 300'
Parking: Not allowed
- e) **Two-lane, one-way divided road (couplet) San Elijo Road, Elfin Forest Road**
Right-of-Way: 65'
Curb-to-Curb Distance: 45'
Median: 0'
Design Speed: 35 mph
Maximum Grade: 9%
Minimum Intersection Spacing: 250' – Offset "T's": 125'
Parking: Allowed

- f) **Collector (median optional)**
Right-of-Way: 60' (74' with median)
Curb-to-Curb Distance: 40' (54' with median)
Median: 14'
Design Speed: 30 mph
Maximum Grade: 12%
Minimum Intersection Spacing: 300' – Offset "T's": 150'
Parking: May be restricted
- g) **56' Collector**
Right-of-Way: 56'
Curb-to-Curb Distance: 36'
Median: 0'
Design Speed: 30 mph
Maximum Grade: 12%
Minimum Intersection Spacing: 300'
Offset "T's": 150'
Parking: May be restricted
- h) **Local streets**
Right-of-Way: 50' - 54'
Curb-to-Curb Distance: 34'
Median: 0'
Design Speed: 25 mph
Maximum Grade: 14%
Minimum Intersection Spacing: 150'
Parking: Allowed
- i) **Cul-de-sac streets**
Right-of-Way: 54'
Curb-to-Curb Distance: 34' (40' radius bulb)
Cul-de-sac Curb Return Radius: 50'
Median: 0'
Design Speed: 20 mph
Maximum Grade: 14%
Parking: Allowed
- j) **Hillside streets**
Right-of-Way: 43'-50'
Curb-to-Curb Distance: 29'-34'
Design Speed: 25 mph
Maximum Grade: 15%
Minimum Intersection Spacing: 150'
Parking: One side only

k) Private streets
Right-of-Way: 38'
Curb-to-Curb Distance: 24'-28'
Design Speed: 20-25 mph
Maximum Grade: 14%
Minimum Intersection Spacing: 200'
Parking: One side only

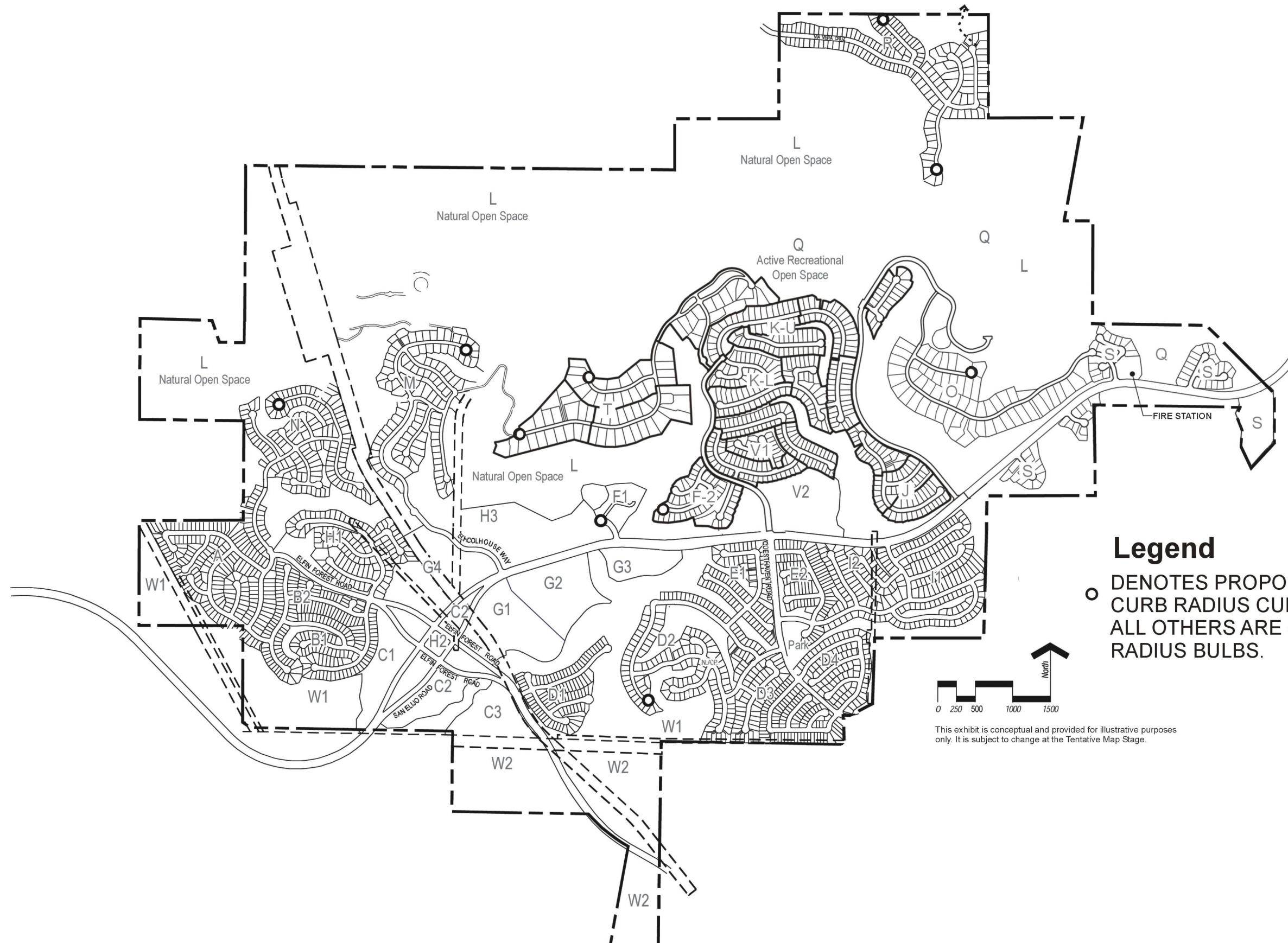
2. Multi-Use Trail System

The Multi-Use Trail System is illustrated by Exhibit III-11. The trail near the top of the major ridgeline will be enhanced and linked at both the east and west ends to a future countywide trail system. The trail will generally parallel the ridgeline, however the trail alignment may deviate at points to provide switchbacks to meet optimum gradients and to take advantage of overlook areas.

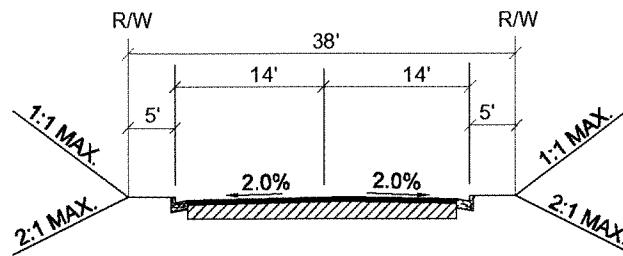
The existing hacienda located along the ridge has been heavily vandalized and may be beyond repair. However, if it can be preserved, it may serve as a rest stop, ranger station, or viewpoint for hikers. The trail system will provide a useful open space amenity not only for those people living in the project, but also for the general public within the surrounding region.

3. Trail System Design Criteria

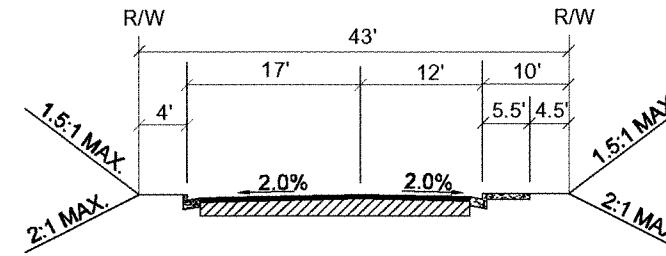
There are various trail treatments that occur within the project. Trail location, typical trail design criteria, and trail phasing, are shown on Exhibits III-11, III-12, and III-13.



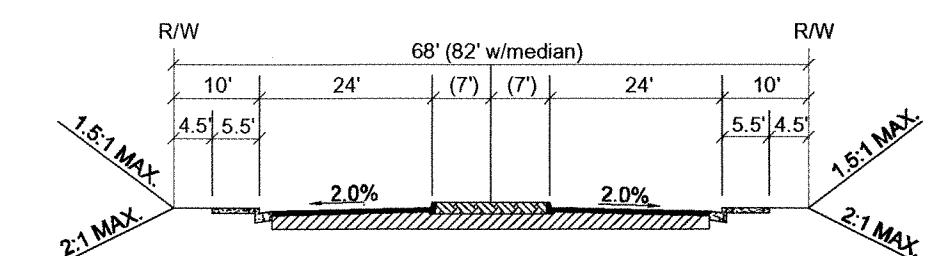
Cul-De-Sac Exhibit
San Elijo Hills Specific Plan Amendment
 Exhibit III:5 Page III:16



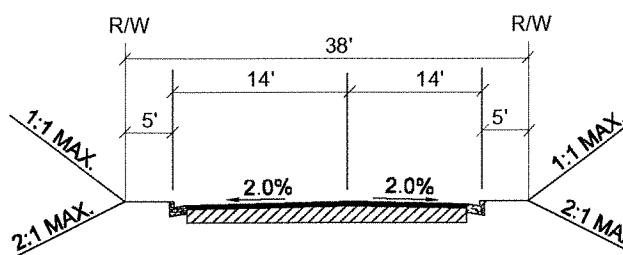
Private Streets (not loaded)



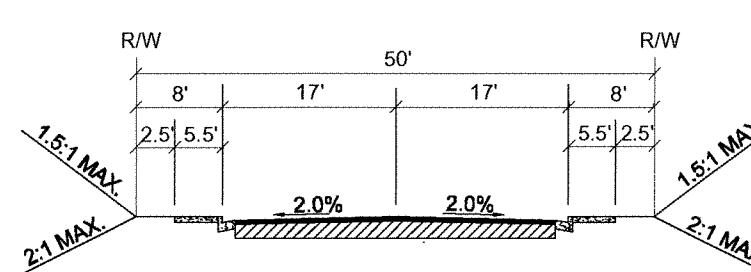
Hillside Streets (single loaded)



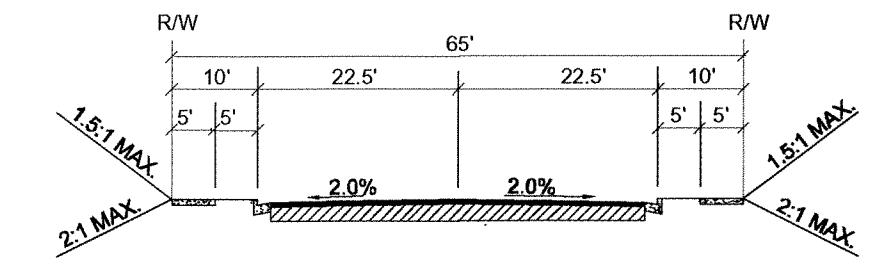
68' Collector



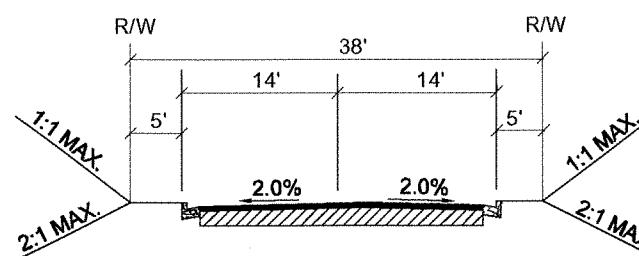
Private Streets (single loaded)



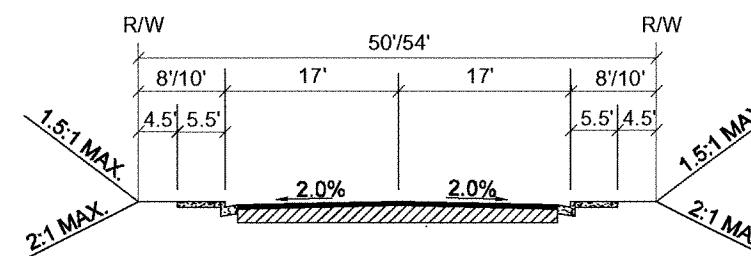
Hillside Streets (double loaded)



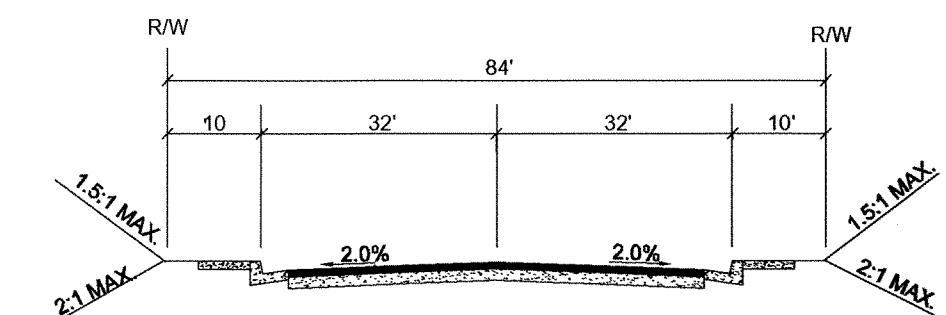
2-Lane One Way Divided Road (Couplet)



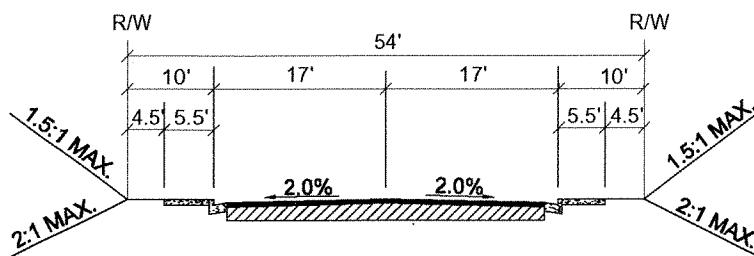
Private Streets (double loaded)



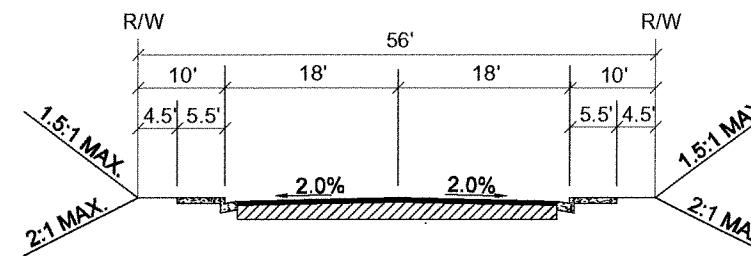
Local Streets



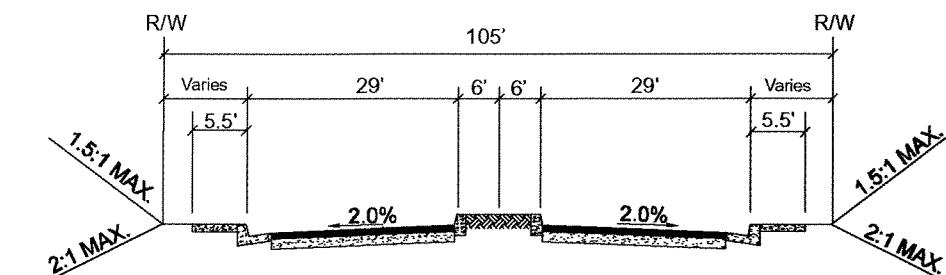
Secondary Arterial



Cul-De-Sac Streets



58' Collector



Four Lane Major Arterial

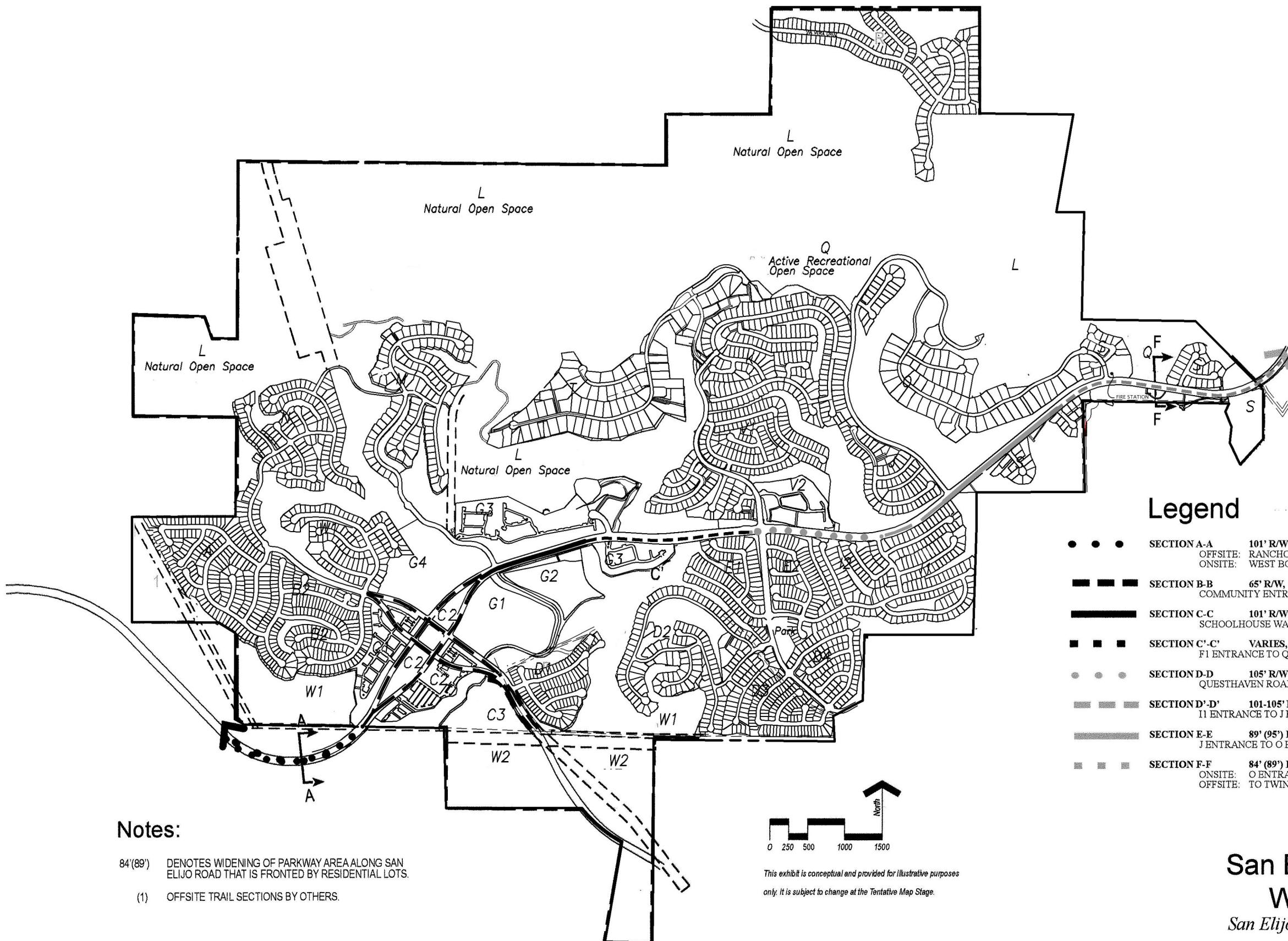
varies for San Elijo Road see Section exhibits III:4.1 - III:4.4

Circulation Cross-Sections

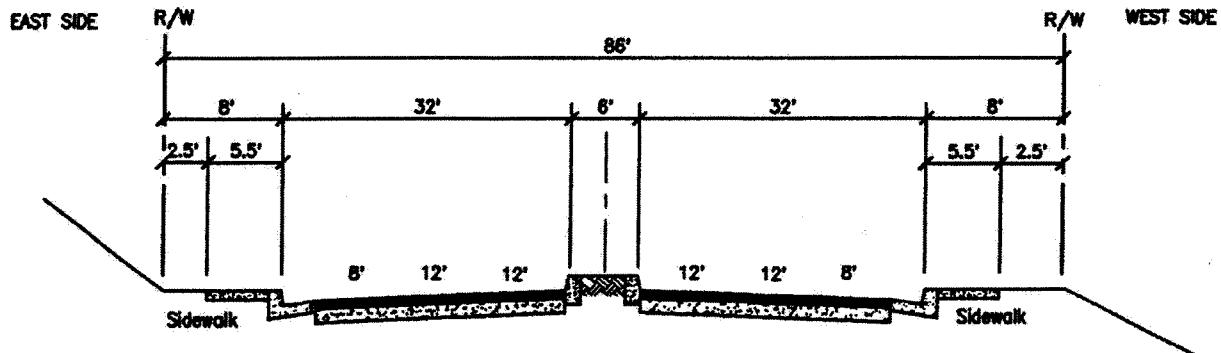
San Elijo Hills Specific Plan Amendment

Note:

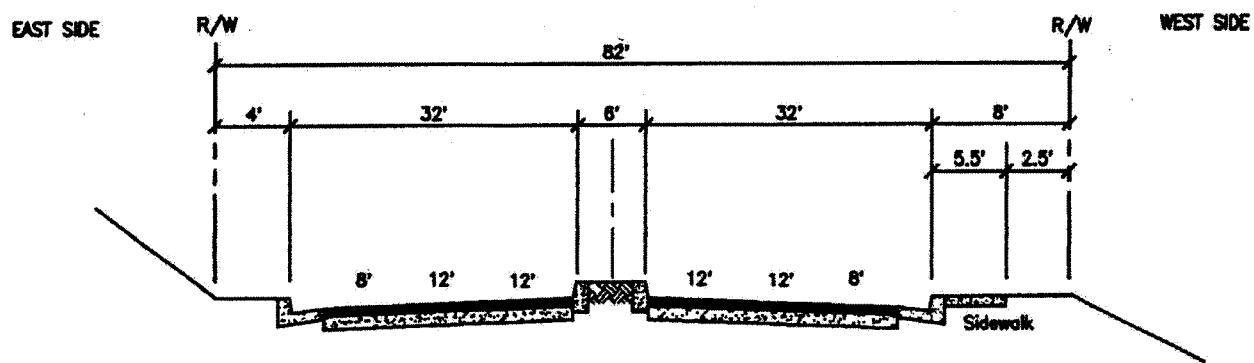
1. Slopes 1:1 or greater will not be allowed unless approved by the City Engineer, and certified by a registered soils engineer.
2. Maximum cut slope gradients shall be 1:1; exceptions may be made in the case of rock or natural outcroppings.



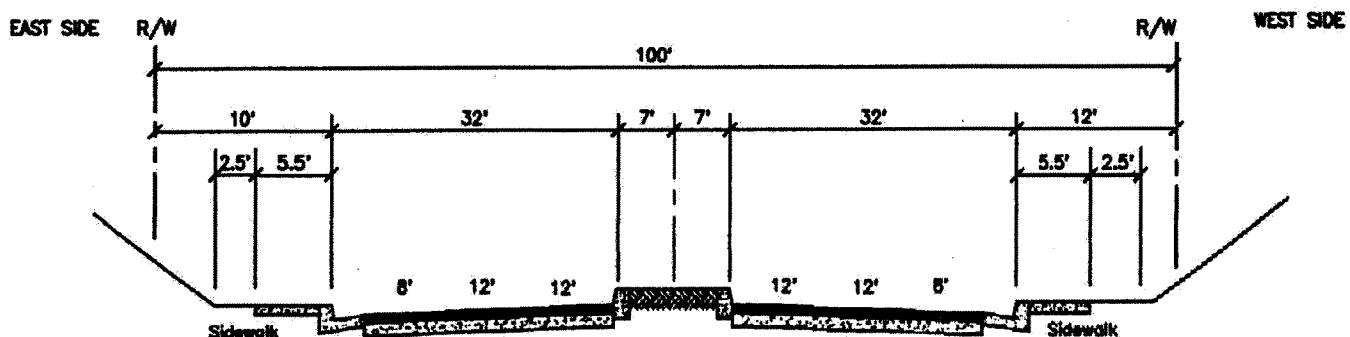
**San Elijo Road Sections
Within San Elijo Hills**
San Elijo Hills Specific Plan Amendment



Section 1
ACROSS UNIVERSITY COMMONS



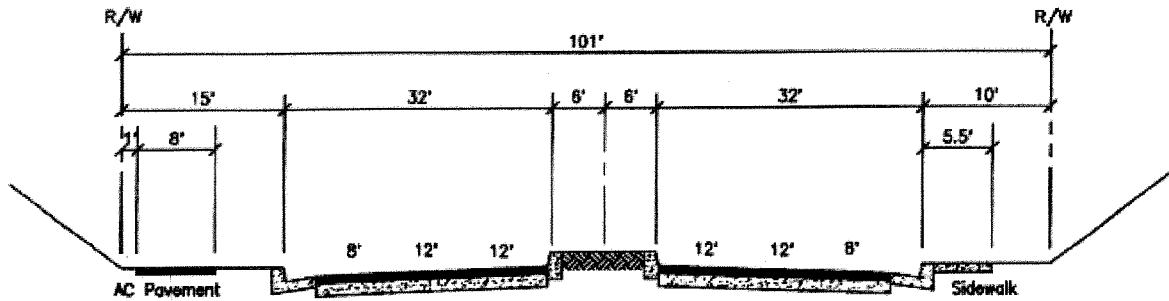
Section 2
FROM UNIVERSITY COMMONS TO VIA ALONDRA



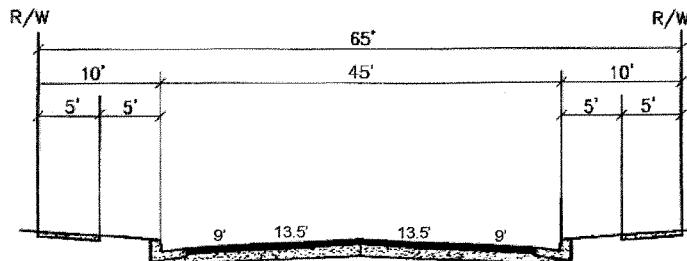
Section 3
FROM VIA ALONDRA TO MEADOWLARK'S "C" STREET

NOTE

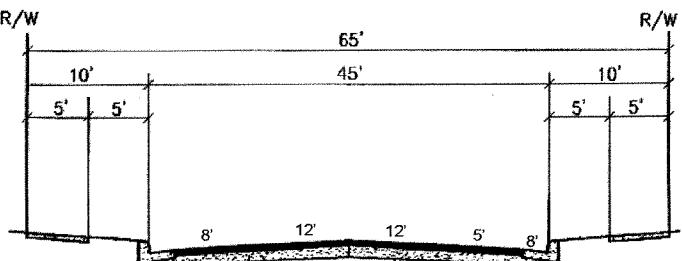
WIDEN INTERSECTIONS AS REQUIRED FOR TURNING MOVEMENTS.
DESIGN SPEED OF 50 MILES PER HOUR



Section A-A

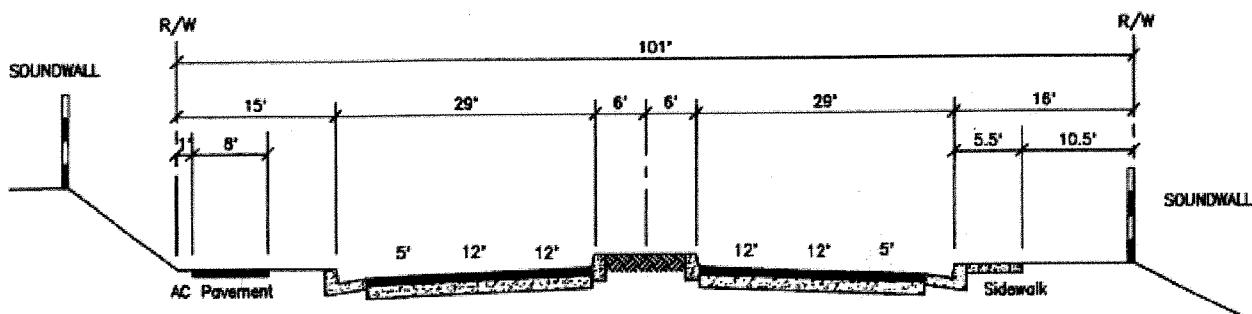


Elfin Forest Road, One-Way w/Parking
For no parking condition curb-to-curb dimension reduced to 27' and parkways increase to 14'.

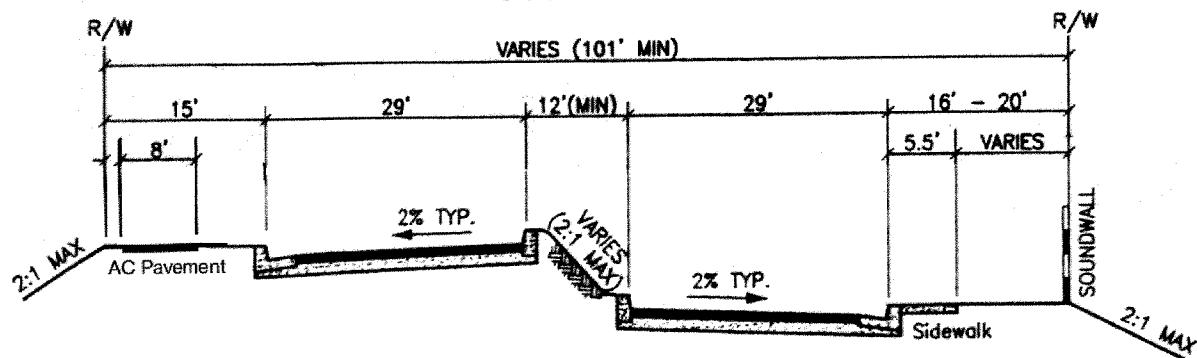


San Elijo Road, One-Way w/Parking
For no parking condition curb-to-curb dimension reduced to 29' and parkways increase to 13'.

Section B-B



Section C-C

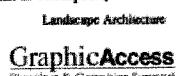


Section C'-C'

Note:

This exhibit is conceptual and provided for illustrative purposes only.


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Landscape Architecture

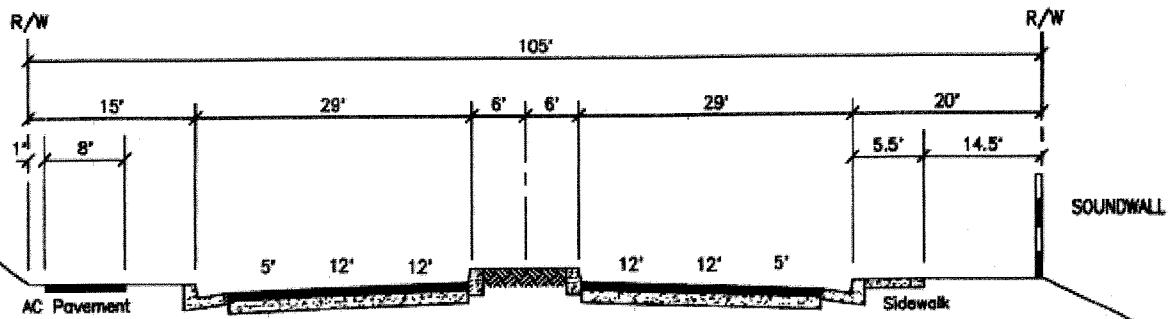

GraphicAccess
Planning & Graphics Support


trans tech

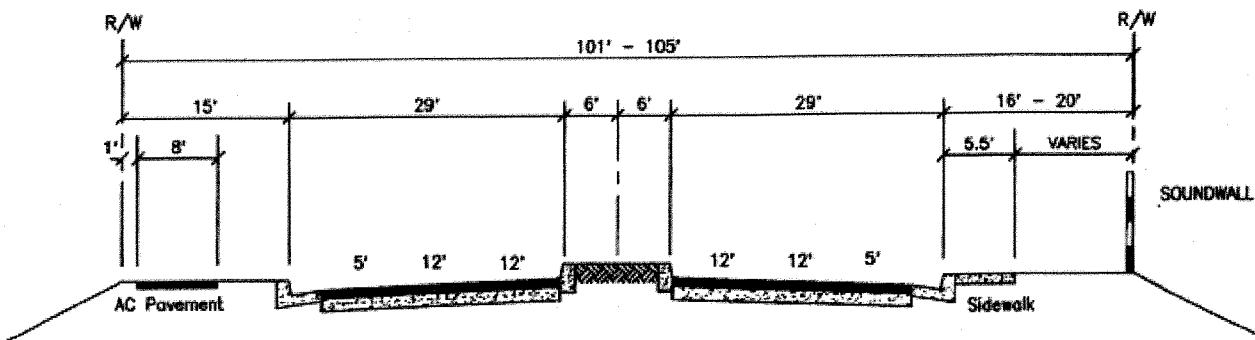

KAUFMAN
MEEEKS INC

San Elijo Road
Street Section 1

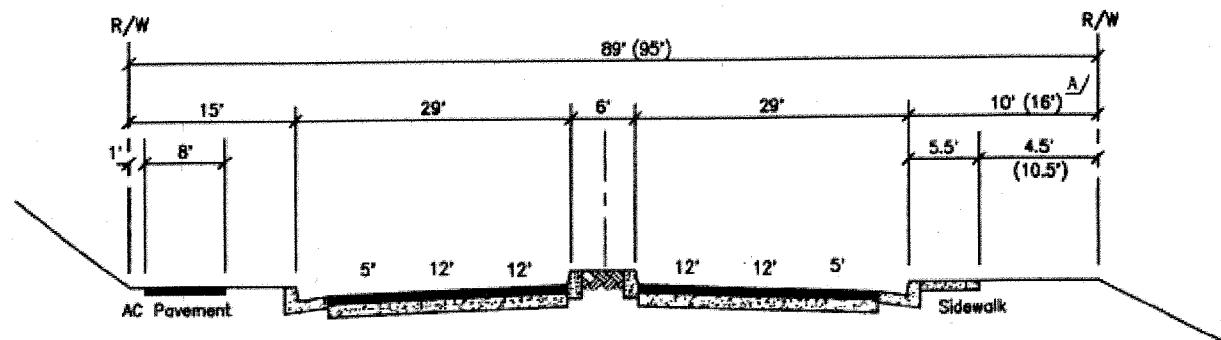
San Elijo Hills Specific Plan Amendment



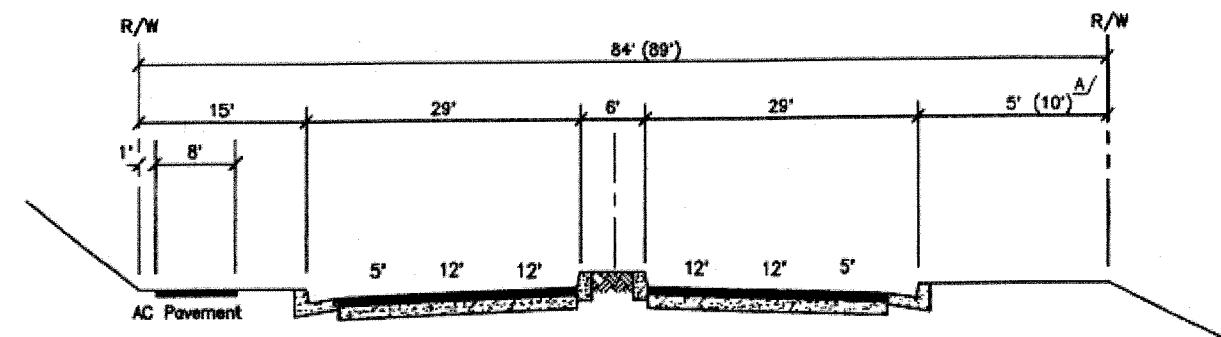
Section D-D



Section D'-D'



Section E-E



Section F-F

A/ Widen parkway area along San Elijo Road when fronted by residential lots.

Note:

This exhibit is conceptual and provided for illustrative purposes only.

Brian L. Thompson, A.S.L.A.
Landscape Architecture

Trans Tech

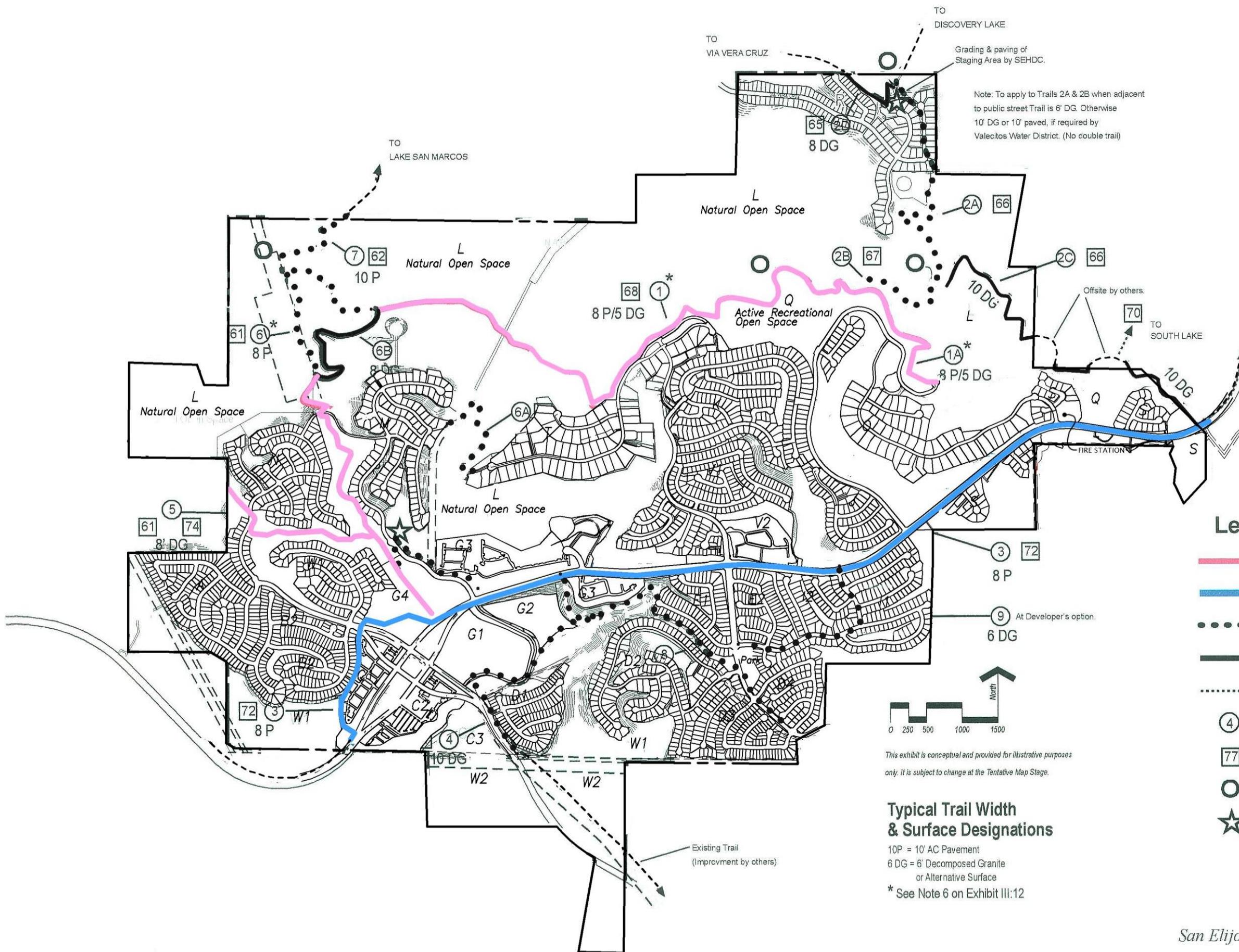
GraphicAccess

Kaufman
Meeks Inc

San Elijo Road
Street Section 2

San Elijo Hills Specific Plan Amendment

Exhibit III:10 Page III:21



Trail Notes:

1. SAFETY RAILINGS TO BE PROVIDED AS FOLLOWS:

- A. ALONG QUESTHAVEN ROAD
- B. WHEN THE TRAIL ADJOINS A DOWN SLOPE OF GREATER THAN 2:1 AND HIGHER THAN 15 FEET, UNLESS THERE IS HEAVY VEGETATION.
- C. TRAIL HEADS AS EFFICIENTLY AS POSSIBLE.

SAFETY RAILINGS WOULD EITHER BE TWO-RAIL LODGEPOLE FENCING ALONG QUESTHAVEN ROAD, 6" DIA POSTS AND 4" DIA RAILS, ALL PRESSURE TREATED, OR AS OTHERWISE APPROVED IN THE QUESTHAVEN ROAD CORRIDOR LANDSCAPING GUIDELINES; OR WOOD POST AND GALVANIZED STEEL CABLE (SINGLE STRAND 1/2" CABLE, 42" ROUGH SAWN, PRESSURE TREATED 4"X4" POSTS, 15' ON CENTER). IN AREAS OF EXCESSIVE ROCK, AN ALTERNATE FOR STEEL POSTS WILL BE ALLOWED.

2. ANY CALTRANS GRANTS FOR COMMUTER TRAILS ALONG QUESTHAVEN

ROAD WILL BE CONTRIBUTED TO LOWER THE COST OF CONSTRUCTING THE TRAIL IN THAT LOCATION OR TO REIMBURSE FOR GRADING & RELATED COSTS OF DEVELOPING THE ROW SECTION.

3. TEN FOOT WIDE TRAIL SEGMENTS WILL BE PROVIDED WITHIN A 12-FOOT WIDE GRADED SECTION. GRADED SECTIONS WILL NOT EXCEED THE TRAIL WIDTHS BY MORE THAN TWO FEET.

4. DRAINAGE CONTROL NECESSARY TO PREVENT EXCESSIVE TRAIL EROSION WILL BE ENGINEERED AND INSTALLED DURING TRAIL CONSTRUCTION, IN THE MOST COST EFFECTIVE MANNER AVAILABLE, TO THE SATISFACTION OF THE CITY ENGINEER.

5. TRAIL GRADIENTS SHALL BE IMPLEMENTED AS FOLLOWS:

NEW TRAIL CONSTRUCTION

- A. 0-15 PERCENT UNLIMITED
- B. 15-20 PERCENT, 750 FEET
- C. 21 PERCENT PLUS, SPECIAL CIRCUMSTANCES

CONSTRUCTION ON EXISTING TRAILS

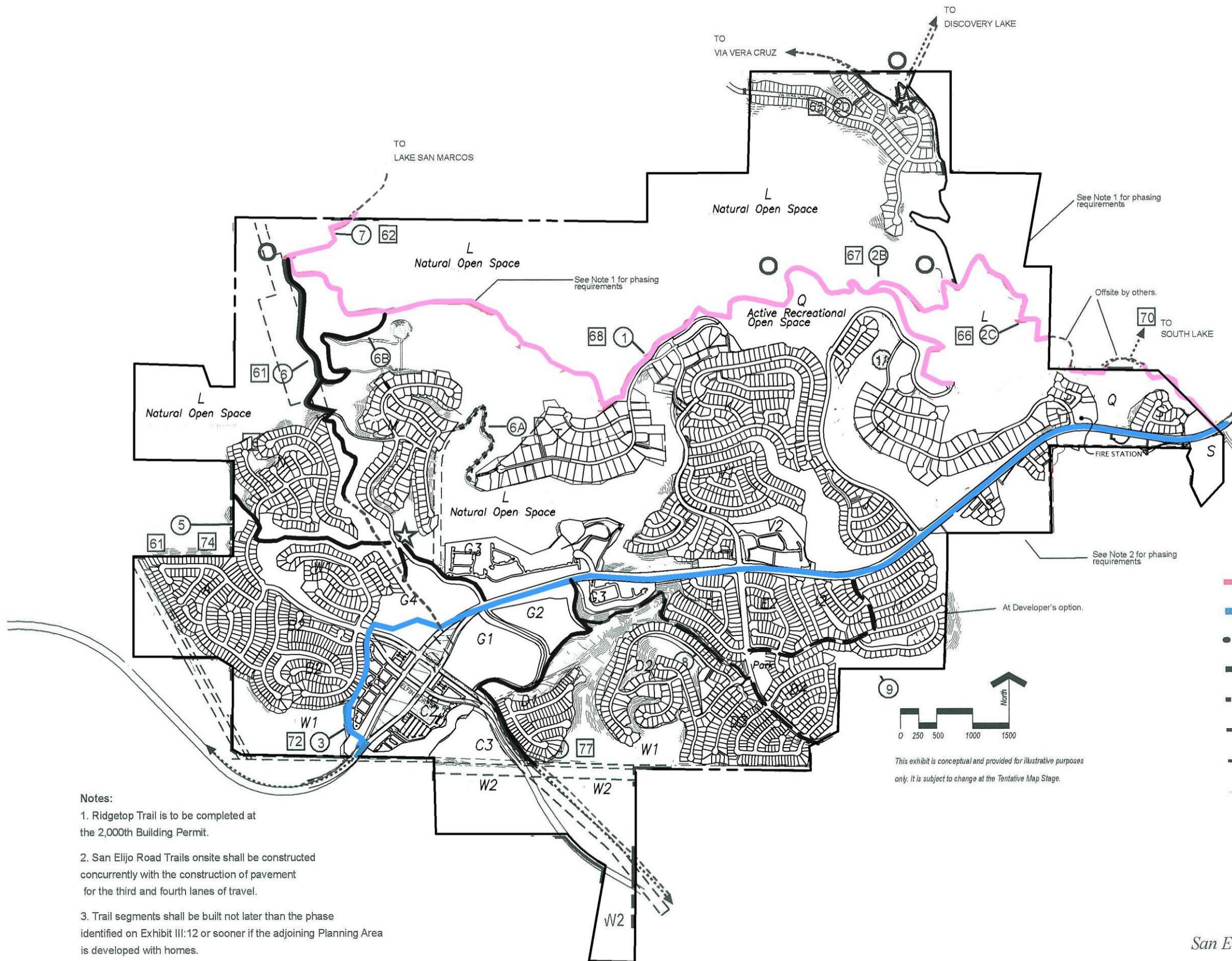
A. EXISTING TRAIL GRADIENTS WILL BE USED EXCEPT AS FOLLOWS:

1. EXISTING PAVED TRAIL - TO BE RECONSTRUCTED OR REALIGNED IF EXISTING TRAIL GRADIENT EXCEEDS 20 PERCENT.
2. EXISTING DIRT TRAILS - TO BE RECONSTRUCTED OR REALIGNED IF EXISTING TRAIL GRADIENT EXCEEDS 25 PERCENT.
6. SEGMENT 1, 1A AND 6 - IN AREAS THAT REQUIRE NEW GRADING FOR TRAIL ALIGNMENT OR TO MEET GRADIENT REQUIREMENTS, THE GRADED SEGMENT FOR THE TRAIL WOULD TRANSITION TO A 1 FT. PAVED / 3 FT. DG TRAIL WITHIN A 12 FT. GRADED SECTION.

Trail Notes

San Elijo Hills Specific Plan Amendment

Exhibit III:12 Page III:23



Trail Phasing
San Elijo Hills Specific Plan Amendment

E. Public Facilities

The public facilities described below are necessary to accommodate the projected development of San Elijo Hills. The engineering details of these facilities will be determined through the review and implementation of the San Elijo Hills Master Tentative Subdivision Map.

1. Water

The San Elijo Hills project is located within the water service area of the Vallecitos Water District (VWD). Currently a 30-inch water main exists along existing San Elijo Road (Questhaven Road) to Rancho Santa Fe Road. This main is adequate to service the proposed 2,000-acre site. However, it is probable that San Elijo Road will be realigned prompting a subsequent realignment of the existing 30-inch water main. Additional transmission mains, pump stations and reservoir storage will be necessary to serve the site. For emergency purposes the early phases of the project will provide for a temporary inter-tie to the Coronado Hills pressure zone. Ultimately the temporary inter-tie will be replaced by the permanent connection.

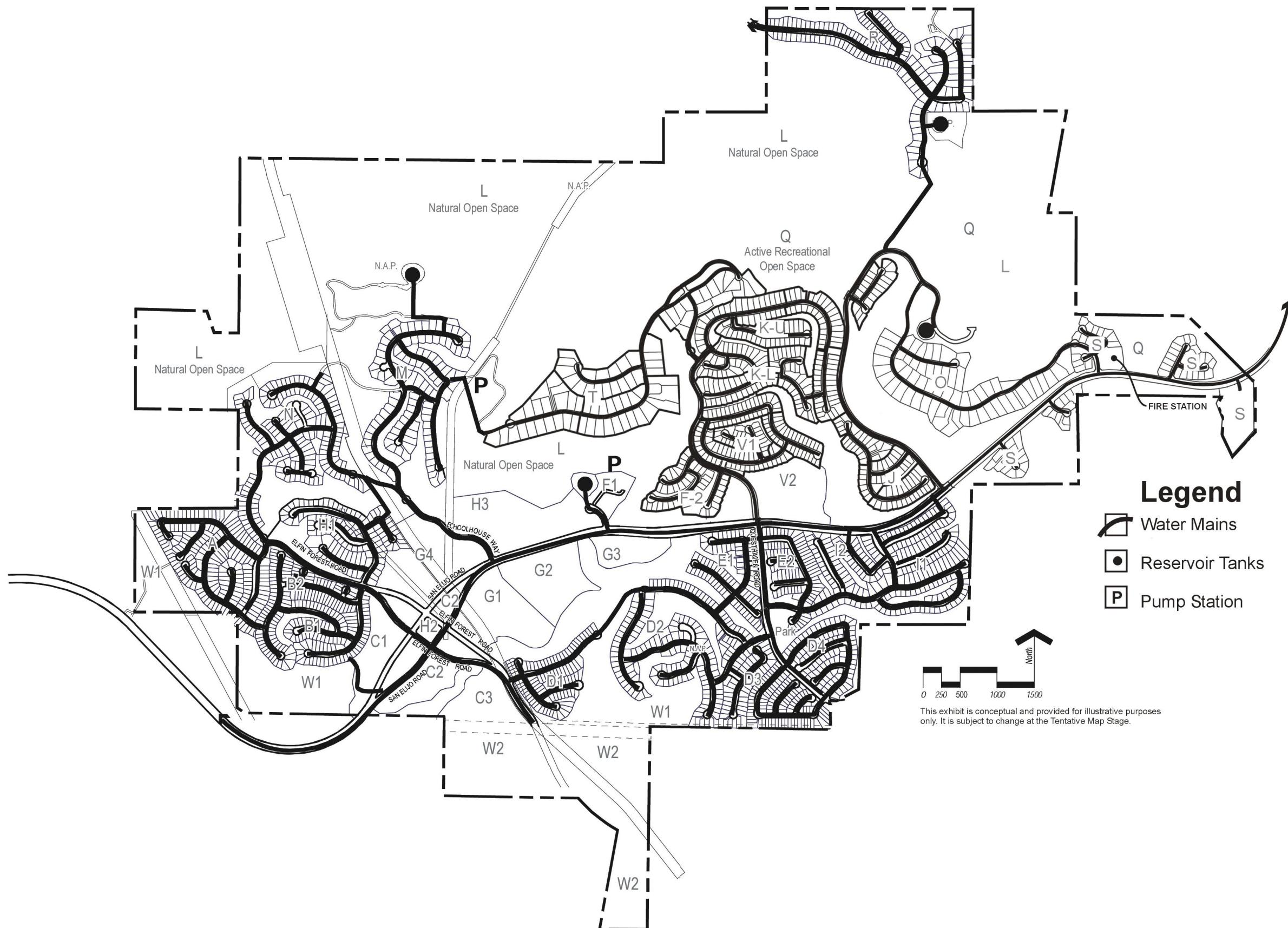
Depending on the requirements of the district, at least one additional reservoir with a capacity of approximately 3 million gallons, is to be constructed adjacent to the existing Las Posas Reservoir. This tank is located at elevation 885. A pump station will be constructed and will pump water up to the 1115 zone reservoir. If the district requires 10-day emergency water storage, two reservoir tanks will be constructed at this location.

A water reservoir will be located adjacent to Planning Area O on Double Peak at the 1530-foot elevation. A third reservoir will be constructed north of Planning Area M at elevation 1115-feet. A pump station will be located south of the elevation 1115 reservoir. The height of the reservoir tanks are not expected to exceed 35 feet. If approved by the district, the structures may be partially depressed below grade.

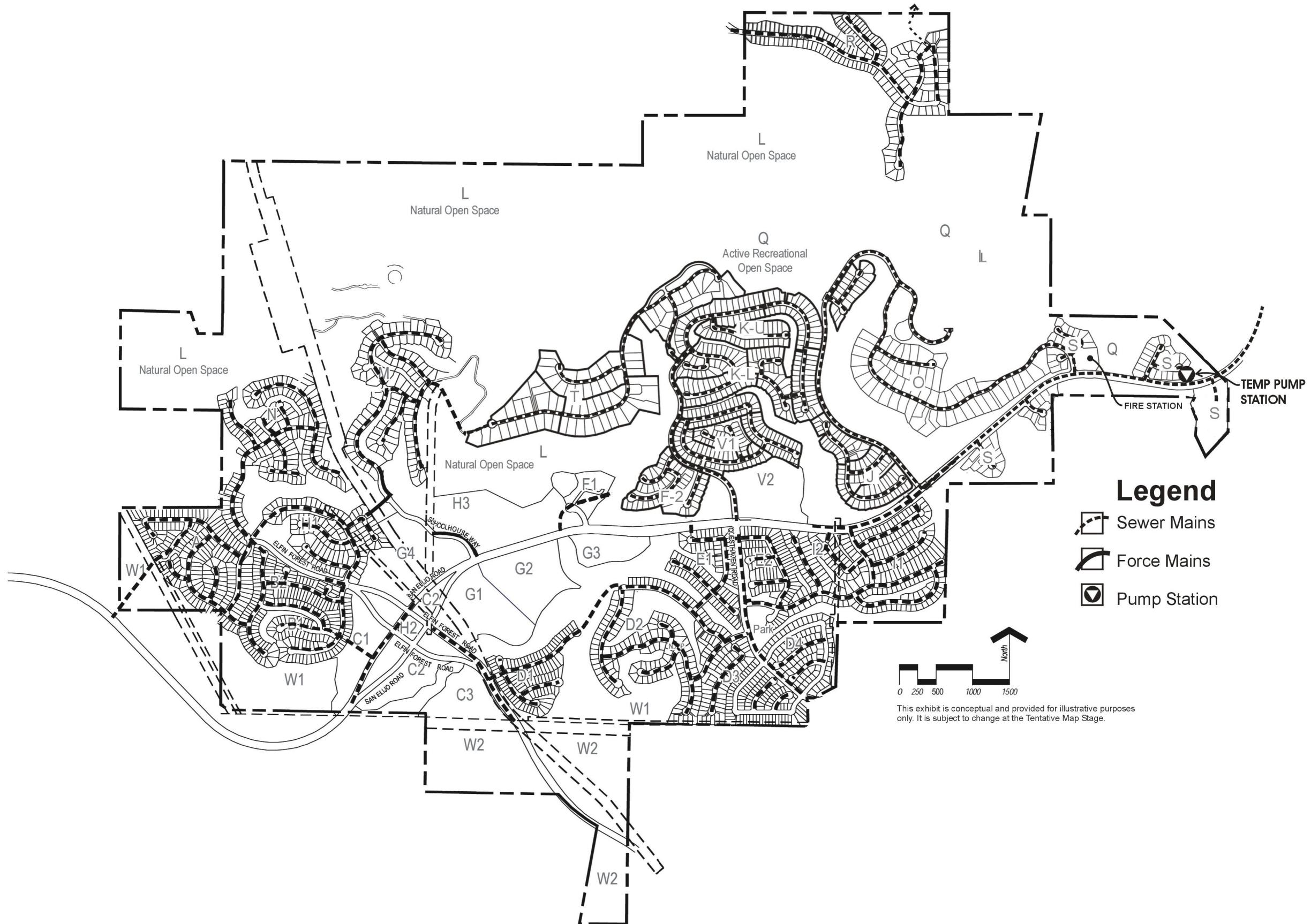
A reservoir to serve the 920 zone will be located in the southern portion of Planning Area R.

2. Sewage

The project area is not presently within the Vallecitos Water District Sewer Improvement District No. 1, 2 and 6. The project must pay annexation fees and annex into this service area prior to project occupancy. The Meadowlark Reclamation Plant would service the site and design capacity for the project is available. However, reclaimed water capacity is not currently available. Reclaimed water would only be available if current users discontinue their use or if additional service treatment capacity is constructed. Project implementation will require construction of sewer lines in San Elijo Road and the extension of sewer mains to serve the site. Proposed sewer main locations are shown on Exhibit III:15.



Water System Plan
San Elijo Hills Specific Plan Amendment
Exhibit III:14 Page III:26



Sewer Plan

San Elijo Hills Specific Plan Amendment

Exhibit III:15 Page III:27

3. Police Service

The City of San Marcos contracts the County Sheriff to provide police protection, which will also cover the project site. The San Marcos Sub-Station will provide police protection for the project. A Sheriff Sub-station in the form of a temporary "storefront" office within the proposed fire station will be made available for law enforcement officers.

4. Fire Protection

The City of San Marcos Fire Protection District provides emergency first response services to the project area. Average response time for the fire department is seven-to-nine minutes. Service is provided currently from two fire stations. Station One is located at 333 Firebird Lane and has an emergency response time of approximately 20 minutes to this area. Station Two is located at 1250 South Rancho Santa Fe Road and response time is between ten and fifteen minutes. Two additional facilities are in the planning stages at this time; however, neither will be nearer to the project site than the existing stations. Project implementation will require the developer to construct and equip a new fire station to adequately service the project area. The fire station site is proposed to be located in Planning Area S. Additionally, all Uniform Fire Code Regulations, and fire department conditions will be satisfied.

The fire station site shall be offered for dedication at time of the appropriate final map. Pursuant to the Development Agreement, fire services shall be funded and provided.

5. Gas and Electric

Within the project vicinity, gas and electric service are provided through San Diego Gas and Electric facilities. Gas service will be provided by connection into the existing gas line in Rancho Santa Fe Road via San Elijo Road as it is fully improved. All electric distribution facilities serving the project will be underground. The existing electric transmission facilities are expected to remain in place.

6. Schools

The project area is served by the San Marcos Unified School District with the exception of a small area in the very southern portion of the site (portions of W2), which is served by the Rancho Santa Fe Union Elementary School District and the San Dieguito Union High School District. No project development is proposed outside of the area served by the San Marcos Unified School District. Currently there is no capacity to handle additional school children at any of the schools in the area. The Specific Plan provides for three potential school sites. It will be necessary for the project to establish and implement a financing mechanism that will assist in providing additional capacity and fund the construction of school facilities. Project implementation will

require the developer to negotiate in good faith towards a school mitigation agreement with the San Marcos Unified School District.

7. Public Parks

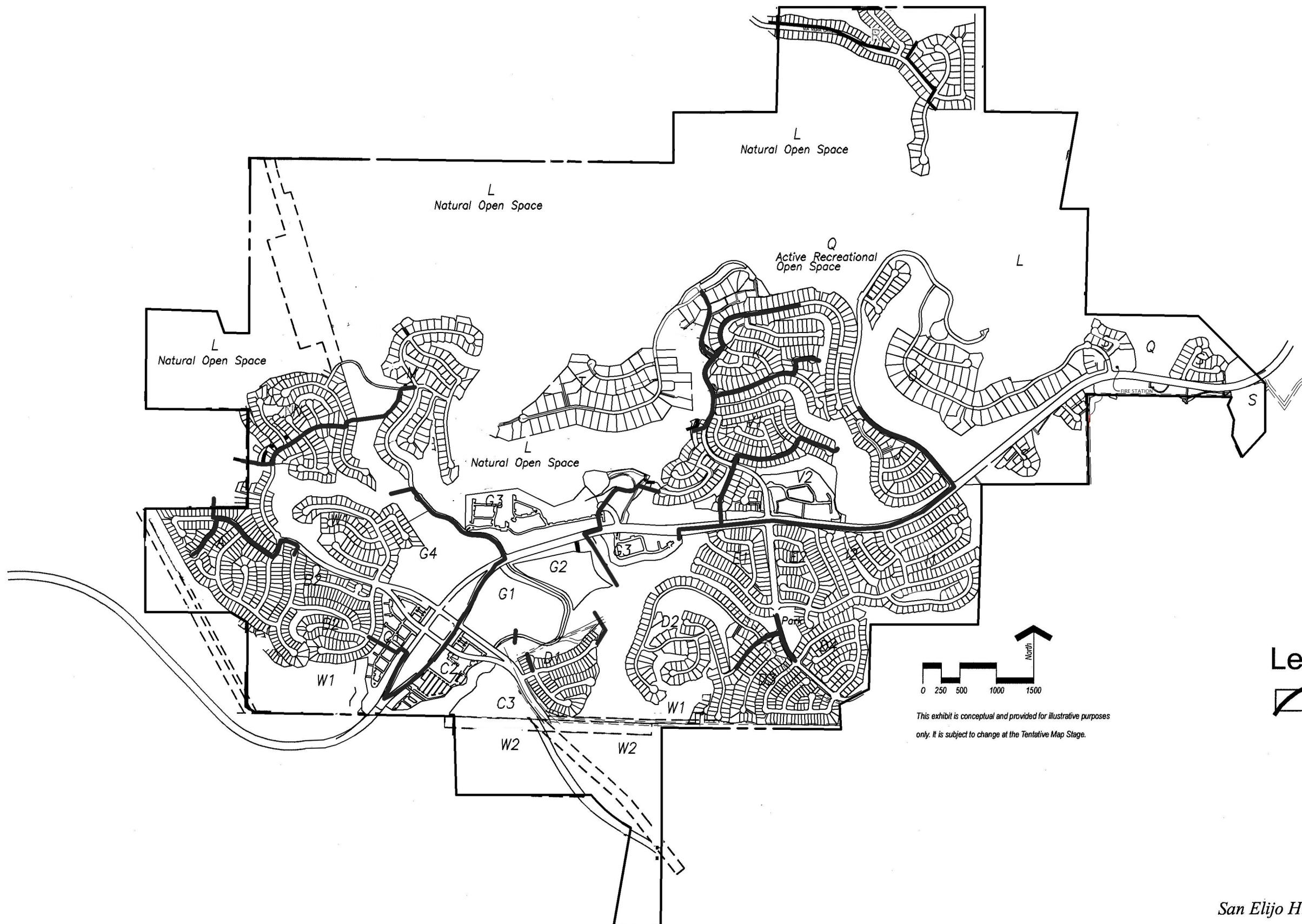
Two public parks, which have been designated by the San Marcos Parks Master Plan, are located within the San Elijo Hills Specific Plan area. The Elfin Forest Neighborhood Park (now called the San Elijo Hills Neighborhood Park) is located in Planning Area G-4 at the north corner of San Elijo Road and Elfin Forest Road. Double Peak Regional Park is located in a portion of Planning Areas Q and L along the central ridgeline of San Elijo Hills.

F. Drainage

San Elijo Hills is located within the 21.0 square mile Carlsbad Hydrographic Unit. This unit is made up of four major waterways: the San Marcos, Agua Hedionda, Buena Vista and Escondido Creeks. San Elijo Hills drainage is divided into three basins separated by the east/west ridgeline of Cerro del las Posas/Double Peak. Flows running north of the major ridgeline head into San Marcos Lake, while the southwest side of the ridgeline flows directly into San Marcos Creek. This drainage continues southwesterly, abutting the project site and eventually flowing into Batiquitos Lagoon and out to the Pacific ocean. Drainage from the areas southeast of the ridgeline flow southward into Escondido Creek which eventually empties into the San Elijo Lagoon and then to the Pacific Ocean. Due to the seasonal rainfall pattern, streams in the area are intermittent.

The western portion of the proposed project abuts Lake San Marcos and San Marcos Creek, including the 100-year flood plain from Lake San Marcos southward. A specific 100-year floodplain elevation has not been determined for this region; however, the FEMA FIRM map depicts the flood plain boundaries. The existing 100-year floodplain elevation abutting the project site appears to be at approximately 500 feet to the north and 480 feet to the south. The proposed development areas of the project are significantly above any flood plain areas associated with San Marcos Creek.

The drainage system for San Elijo Hills is designed to transport storm runoff from each of these subbasins through the site to points where it will be discharged back into the natural water course. The storm runoff will generally be carried in the natural drainage occurring onsite and within underground pipe systems. Energy dissipaters will be provided at storm drain discharge points as necessary to control erosion. Grading and improvement plans prepared for each final map in the Specific Plan area will include drainage facilities engineered in accordance with the design standards of the City of San Marcos. Appropriate hydrology and hydraulic calculations will be provided for the City Engineer's review and approval. Exhibit III:16 shows the proposed locations of the backbone drainage facilities.



Drainage Plan
San Elijo Hills Specific Plan Amendment

G. Open Space

The San Elijo Hills Specific Plan consists of approximately 2,000 acres, of which over 1,050 acres or 52 percent will remain in some form of open space. The open space system serves three primary functions. First, it acts as an aesthetic amenity to the community. Second, it provides active and passive recreational opportunities. Third, it provides for connectivity of habitat and wildlife corridors.

Open space areas have been divided into two categories within the San Elijo Hills Specific Plan: Natural Open Space and Refined Open Space. Open space locations are illustrated on Exhibit III:17.

1. Natural Open Space

The implementation of the San Elijo Hills Specific Plan will result in the preservation of over 785 acres of natural open space, primarily as Planning Areas L, W-1 and W-2. In addition, no less than 25 percent of the original 206 acres of Planning Area Q (51.5 acres) will be maintained as natural habitat. Natural open space areas are intended for the use and enjoyment as buffer space and generally do not include improvements such as buildings or accessory structures. These areas may include minor improvements such as maintenance roads, utility corridors, pedestrian or multi-use trails, directional or informational signage, scenic viewpoints or rest stops, and fuel management zones. The design for the Wildlife Corridor Preserve and Other Open Space of the San Elijo Hills Specific Plan comply with mitigation measures included in the Final Subsequent Environmental Impact Report. Two natural open space categories are identified for San Elijo Hills.

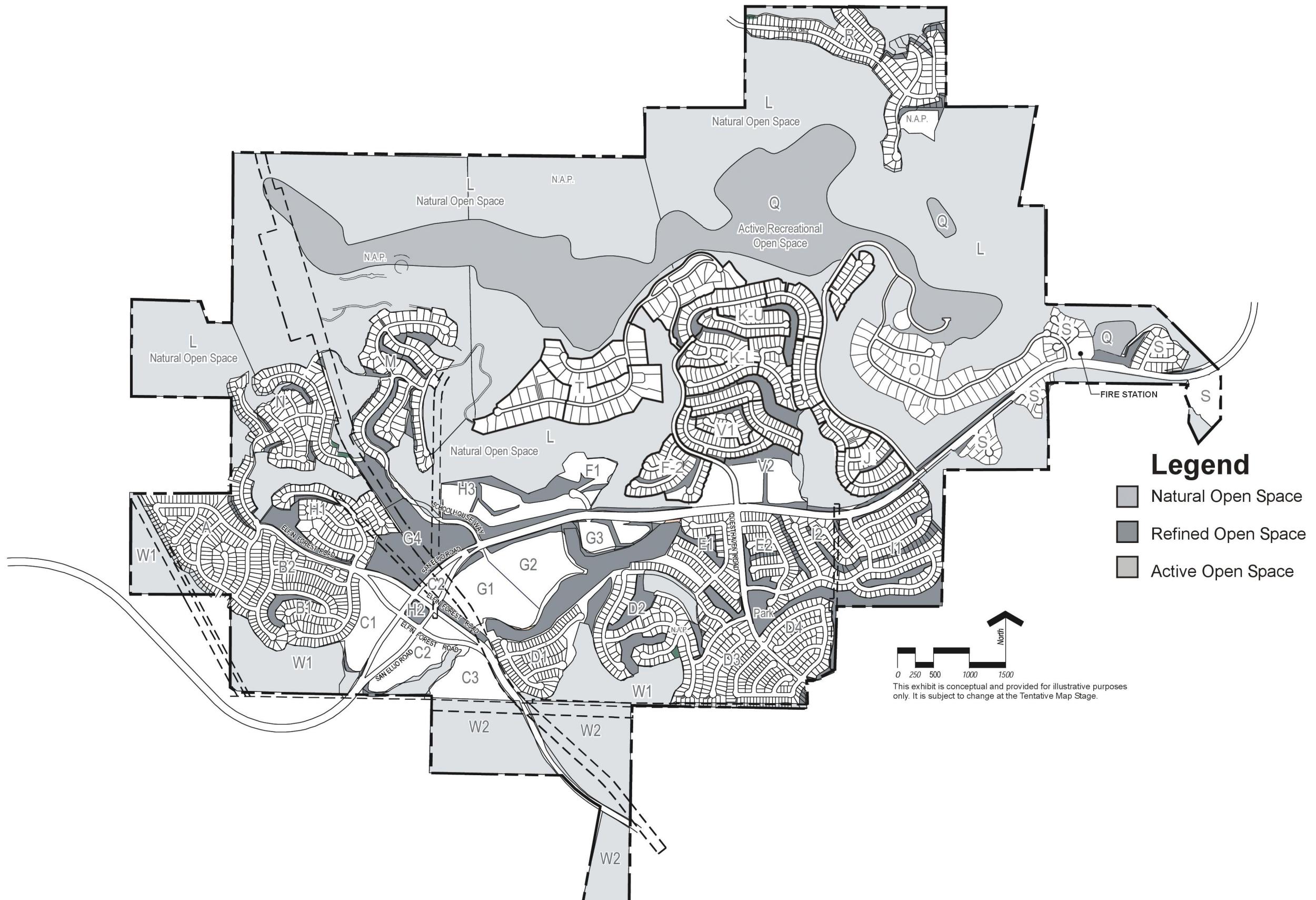
- a. **Wildlife Corridor Preserve** - The wildlife corridor preserve described by Planning Areas W-1 and W-2 will be maintained as permanent open space. In combination with a similarly designated area immediately off-site to the south and west, the wildlife corridor preserve will provide refuge and disbursement routes for the local native fauna and will also provide connectivity to other regional habitat areas as part of the city's BRMP and the regional NCCP programs. Planning Area W-2 is subject to condemnation proceedings initiated by the county to provide buffer for the San Marcos Landfill.
- b. **Other Open Space** - In addition to the wildlife corridor preserve, at least 745 acres of natural open space will be preserved at San Elijo Hills. Planning Area L is intended to remain substantially undisturbed and will also provide secondary linkages for wildlife disbursement as well as preservation of native habitats. Additional incremental open space will occur in a number of Planning Areas including D-1, D-2, G-4, J, K, M, N, O, Q, R and S. These areas while native in character, are primarily not intended to serve as habitat preserves as compared to visual relief.

2. Refined Open Space

Approximately 265 acres of refined open space will be provided through the development of the San Elijo Hills Specific Plan. Refined open spaces appear over a wide range of landscape conditions including the following:

- a. Neighborhood Park - The approximately 22-acre San Elijo Hills Neighborhood Park site is located in Planning Area G-4. The park will include two ball fields, a multi-purpose field, tot lots, picnic areas, restrooms, trails, community building and parking. Other active and passive recreational opportunities as identified in the parks master plan also will be included. Linkages to the trails system are provided. The developer is required to construct these facilities.
- b. Tot Lots and Mini Parks - Some of the residential neighborhoods may include small tot lots or mini park sites. These areas are designed for the recreational enjoyment of the local residents who generally reside within walking distance of the sites. Where possible these areas will also link to the trails system. The developer or Planning Area builder will be responsible for constructing the tot lots and mini parks.
- c. School Sites - The school sites located in Planning Areas G-1 and G-2 will be located near the neighborhood park and will augment some of the recreational opportunities located there. In addition, the school site in Planning Area V-2 will also provide playfields and other amenities.
- d. Active/Recreational/Regional Park - Planning Area Q comprises approximately 239 acres associated with the Cerro de las Posas and Double Peak ridgeline areas. It is anticipated that in addition to passive native open space these areas will accommodate the proposed regional park improvements described in the City's parks master plan including the old hacienda, trail staging areas, an amphitheater, parking, restrooms, picnic sites, overnight camping for children's groups, overlooks and related improvements. Some Regional Park Amenities (Trail System) may occur in Planning Area L. Responsibility for the development of the regional park improvements is per the Development Agreement. Maintenance is expected to be provided by the lighting and landscaping district. In addition, subject to the conditional use permit process and any additional environmental review, recreational opportunities of a higher intensity of use could be possible if they meet the listed activities for Planning Area Q. These opportunities could include a golf course, clubhouse and conference center, equestrian facilities and related uses.

- e. Community Entries - Major and secondary community entries are located along San Elijo Road. In addition to these project entries, neighborhood entries, which also include special landscape treatments but at a reduced scale, will be located at the entrances to many of the residential neighborhoods. These improvements are anticipated to be developed by the master developer or planning area builder. Maintenance is expected to be provided by the Lighting & Landscaping District or by the Homeowners Association.
- f. Streetscapes - Primary vehicular corridors will receive enhanced landscape treatment. Special features will include landscaped medians, designated street trees and thematic landscape plantings.
- g. Landscaped Slopes - By the nature of the San Elijo Hills terrain, a significant number of manufactured slopes will be required to accommodate development. The Specific Plan calls for all manufactured slopes to be landscaped with either ornamental or native plants. These slopes will provide both vertical and horizontal separation between building pads within a neighborhood and between building pads and circulation roads.



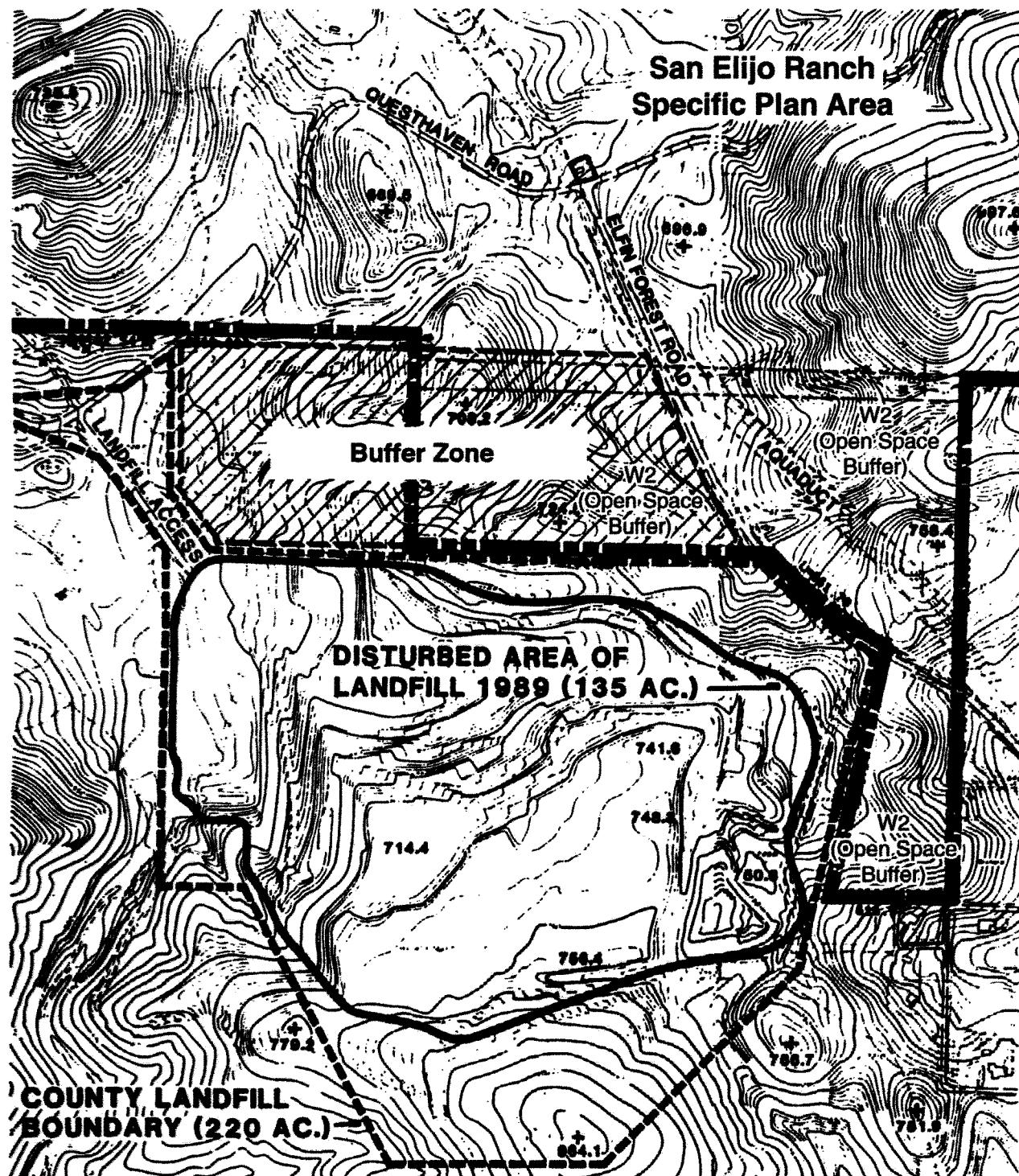
Open Space Plan
San Elijo Hills Specific Plan Amendment
 Exhibit III:17 Page III:34

H. San Marcos Landfill

The former San Marcos Sanitary Landfill is located immediately adjacent to the southerly portion of San Elijo Hills. The relationship of the landfill site and San Elijo Hills is illustrated by Exhibit III:18. The landfill, which was owned and operated by the County of San Diego, was established in 1977 as a disposal site for Class III refuse and served the northern areas of San Diego County. The site includes approximately 201 acres, as well as buffer parcels. Access to the site is taken from San Elijo Road west of the project.

Through a lengthy permitting process culminated by the issuance of a solid waste discharge permit in March 1993, the county was approved to vertically expand the San Marcos Landfill to an elevation of 950 feet or approximately 200 feet higher than the maximum height originally approved. As part of this permitting process the City of San Marcos issued a conditional use permit, annually renewable for a period of seven years (until March 2000). However due to findings of County non-compliance of its CUP conditions, the City Council made determinations in year one and year two that the CUP permit would not be renewed and that the landfill should close no later than March 1997. The landfill was permanently closed in March 1997.

As part of its expansion project, the County was required to obtain a number of buffer parcels in the vicinity of the landfill including what was previously designated in the original San Elijo Hills Specific Plan as the neighborhood park (previously Planning Area X). In 1994 the County filed an eminent domain action over that parcel as well as the remainder of the Planning Area designated as W-2. The San Elijo Hills buffer parcels were acquired by the County in 1996.



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trans tech
**kaufman
meeks inc**

San Marcos Sanitary Landfill

San Elijo Hills Specific Plan Amendment

Exhibit III:18 Page III:36

I. Specific Plan Development Yield

The total residential development yield from all of the San Elijo Hills planning areas has been set by the Master Land Use Plan, Exhibit III:2, at 3,466 dwelling units. This development yield resulted from a stipulated settlement to a lawsuit against the City challenging the project's compliance to redevelopment law and the housing element of the City's general plan. This is known as the "Papineau" suit. The settlement established the baseline development for the project at 2,718 dwelling units, with the commitment for the project to implement a 10 percent component of the total housing (272 units) as income qualifying for families in the very low income category (50 percent of median). The overall project would achieve a 25 percent density bonus as provided in state law, bringing the total development yield to 3,398.

The settlement further required the project proponent to submit and process a Specific Plan Amendment, Tentative Map and Development Agreement Amendment on a timely basis which would incorporate the density bonus, the provision of the income qualifying units and related matters. The settlement agreement contemplated the income qualifying units being developed in Planning Area R (then R-1), however, given the project amenities associated with Planning Areas C-3 and F-1, such as the nearby park, school and Town Center, it is believed that C-3 and F-1 would be more suitable for the higher density multifamily uses contemplated.

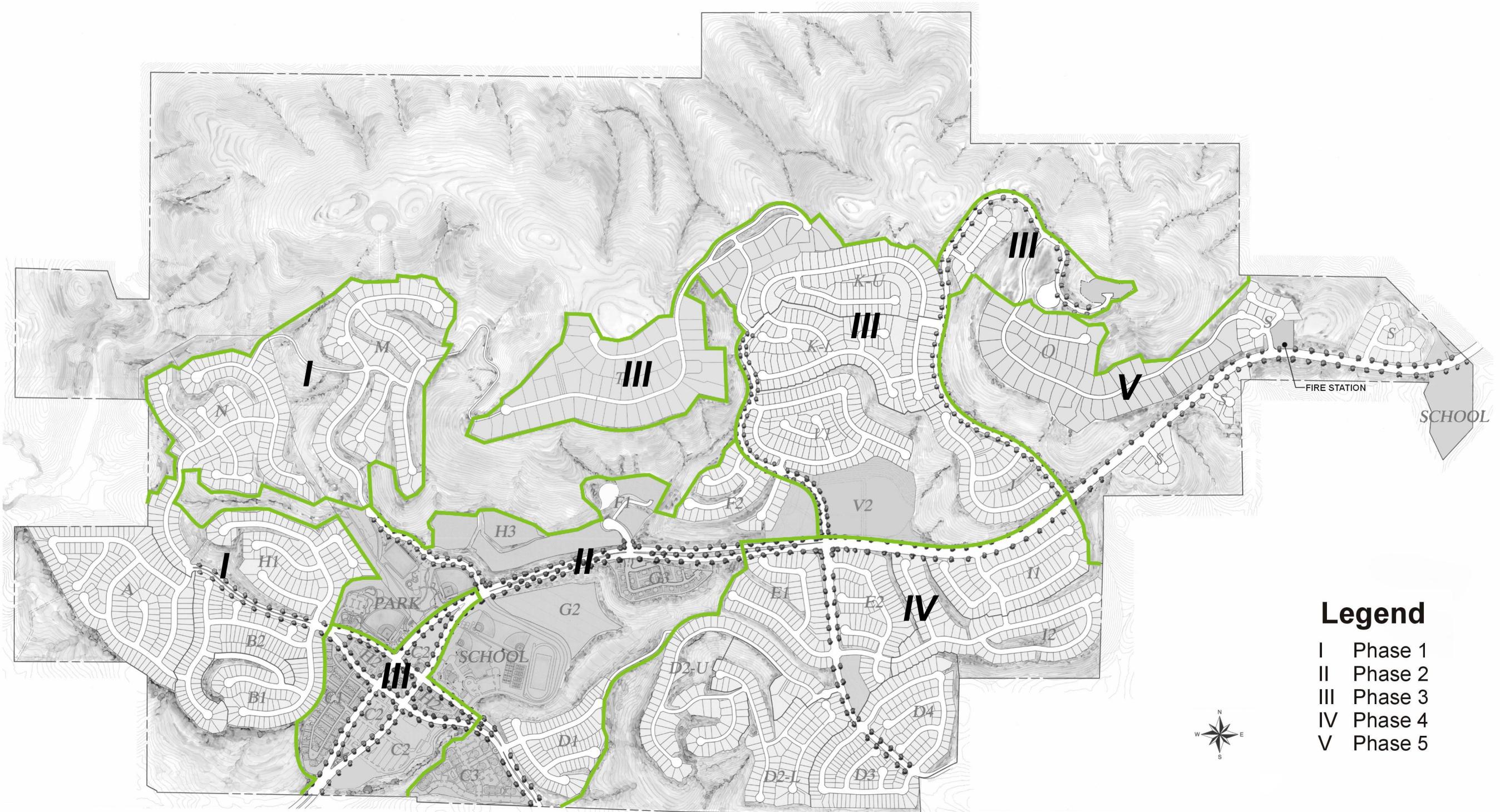
The current maximum yield of 3,466 was achieved by the School District determining that they did not want to develop Area V-2 as a school site. The plan provided for a 2% unit count increase in this scenario thus achieving a yield of 3,466 units.

The maximum residential development yield of 3,466 cannot be exceeded without processing a Specific Plan Amendment.

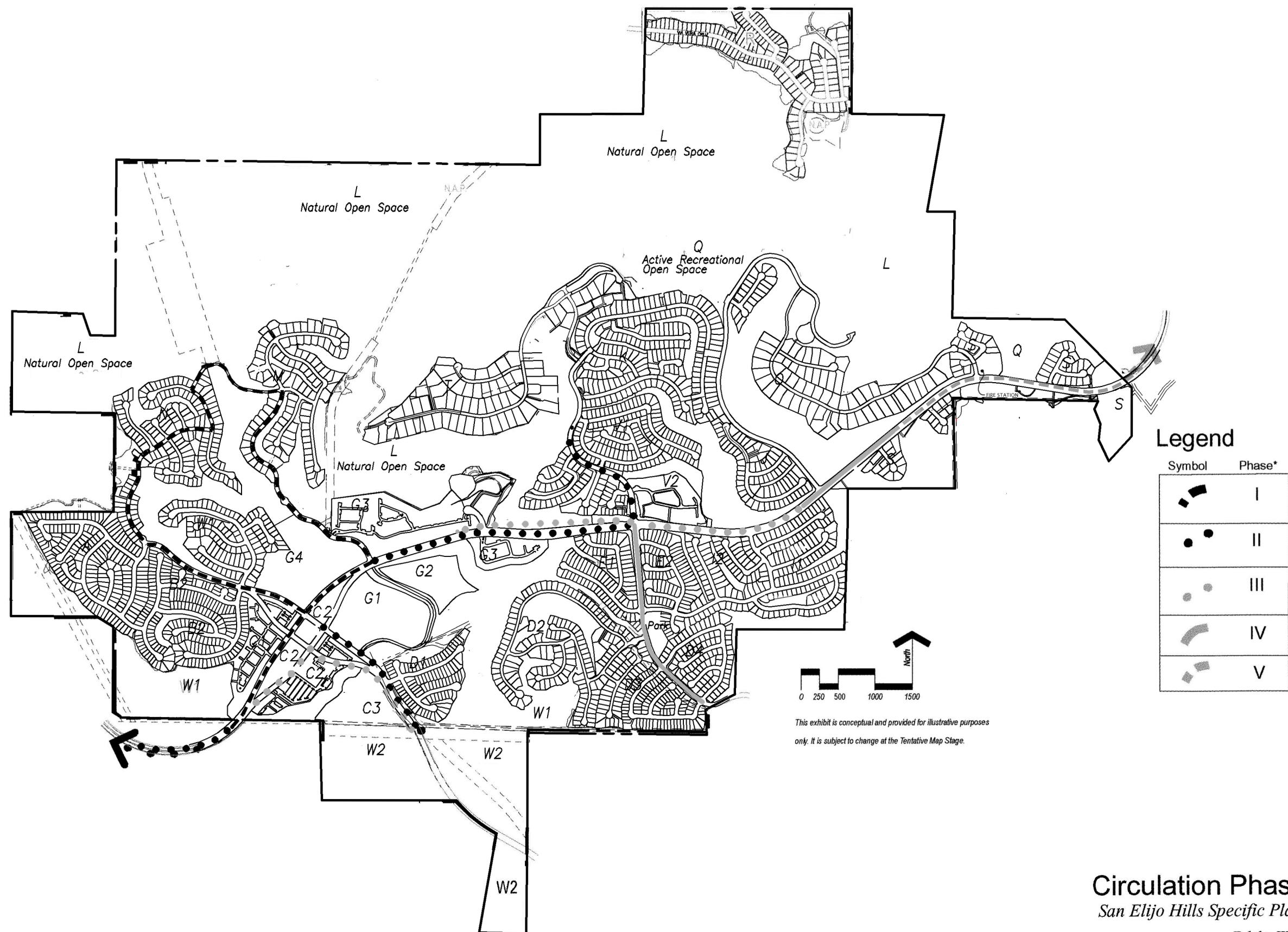
The Specific Plan also provides for the development of up to 135,000 square feet of commercial/retail space and certain institutional requirements consistent with the Development Agreement.

J. Phasing Plan

The objective of the San Elijo Hills Phasing Plan is to coordinate the provision of public facilities and services with an anticipated sequence and pattern of development. The Phasing Plan has been divided into five phases as illustrated by Exhibit III:19. The Town Center is a part of Phase Three. The Phasing Plan is conceptual in nature and may change over the development lifetime of San Elijo Hills in response to changing market conditions or other unforeseen conditions. Exhibit III:20 illustrates the Circulation Phasing Plan. The phasing of development may be modified provided it can be shown that all required public improvements are provided at time of need. Amendments to the Phasing Plan are considered administrative in nature and may be approved by the City Manager. Please refer to the development agreement amendment for proposed infrastructure phasing.



Development Phasing
San Elijo Hills Specific Plan Amendment
 Exhibit III:19 Page III:38



K. Financing Mechanisms

A combination of financing mechanisms will be utilized during the development life of San Elijo Hills. The precise nature of these mechanisms will be described in detail by the Development Agreement, as amended.

It is anticipated that the long-term operation and maintenance of public facilities will be accomplished through the formation of one or more special assessment districts, redevelopment area financing, Mello-Roos Community Facilities Districts and/or Landscape and Lighting Districts. The district(s) would be administered by the City of San Marcos and funded by annual fees or taxes paid by property owners within the district(s). Facilities to be maintained by the district(s) may include, but are not limited to the following:

- Public streets and other public facilities
- Pedestrian trails
- Major open space areas/slopes
- Fuel management zones
- Community landscape areas
- Street lights

It is anticipated that the facilities described in the Public Facilities Plan will be financed and established by a 1911 - 1913 - 1915 Assessment District, a Mello-Roos Community Facilities District, redevelopment area financing or other financing mechanism found acceptable by the City of San Marcos. The financing mechanisms discussed in this section apply only to public facilities.

San Elijo Hills is located within a recently established redevelopment area of south San Marcos. It is anticipated that redevelopment funds will be utilized as an additional financing mechanism for regional - serving and other public facilities associated with the development of San Elijo Hills.

L. Development Agreement

In accordance with Government Code Sections 675864 through 65869.5, a Development Agreement/Owner Participation Agreement between the property owner(s) of San Elijo Hills and the City of San Marcos has been prepared for the San Elijo Hills Specific Plan area. The primary purpose of the Development Agreement is to establish certainty in the development process for both the City and the property owner(s). An amendment to the Development Agreement/Owner Participation Agreement was approved in conjunction with an earlier Specific Plan Amendment.



SECTION IV

Development Plan Guidelines

IV. DEVELOPMENT PLAN GUIDELINES

This chapter identifies those Specific Plan design elements, which are necessary to create a distinctive identity for San Elijo Hills and to ensure the build out of the project will be cohesive. One of the major objectives of the Specific Plan will be to create guidelines, which promote a unified community rather than a collection of unrelated housing areas.

The following are a set of basic guidelines, which are conceptual in nature. This will allow future teams of builders and their creative consultants to explore and express their own creativity in relation to the intended character of the community while adhering to the underlying guidelines. During Development Plan Review of each of the Planning Areas, the proposed site planning, landscaping and architecture will be reviewed in greater detail.

In addition to these guidelines, development covenants, conditions and restrictions (CC&Rs) administered by the master developer will be prepared in conjunction with Final Map recordation to provide more specific criteria on allowable and prohibited architectural elements.

A. Design Objectives

All design aspects of the San Elijo Hills shall be driven by ten design objectives. They are:

1. Create a comprehensive project with visual continuity throughout the entire Specific Plan area through the incorporation of distinct guidelines for grading techniques, landscape architecture, architecture, land use regulation, signage and monumentation.
2. Adapt the design of the Specific Plan to the site in order to minimize disturbance to key environmental features.
3. Implement a comprehensive landscaping program to reduce as much as possible any adverse effects of grading.
4. Create individuality and identity through the implementation of a variety of indigenous architectural styles with a common thread of landscape, hardscape, fences/walls, signage and monumentation.
5. Integrate areas of development with open space areas in a manner, which provides a natural transition between the two elements.
6. Provide land use regulations, which clearly state development requirements and promote design flexibility for each planning area.
7. Create a development that has a lasting high quality.
8. Avoid monotonous, repetitive appearances within each planning area and by the project as a whole.
9. Implement a Town Center near the intersection of San Elijo and Elfin Forest Roads around a town square green space that will function as the social core of the community.

10. Create a consistent design theme for the San Elijo Road Corridor (signage, planting etc.)

B. Grading

Given the topography of the project area and the precedent of other nearby projects, it is anticipated that development of San Elijo Hills will require site specific grading regulations which will supersede specific portions of the San Marcos Grading Ordinance for development of the San Elijo Hills project, as delineated in this section. The overall goal of the site specific grading regulations should be to minimize the height of visible slopes, provide for more natural appearing manufactured slopes, minimize grading quantities, and minimize slope maintenance and water consumption and to provide for stable slopes and building pads. The grading plans will be reviewed in light of landscaping requirements, special grading techniques and similar measures.

The Conceptual Grading Plan for San Elijo Hills is illustrated on Exhibit IV: 1. All preliminary and final grading plans shall be prepared in accordance with the Uniform Building Code except as modified herein, for review by the City Engineer.

Due to the unique hillside terrain encountered in many areas of San Elijo Hills modified development standards for landscaping and grading techniques shall be applied.

1. Grading Techniques

The following grading techniques should be incorporated for all manufactured slopes, and shall be the regulations, which govern the development of the project area:

- a. All permanent manufactured slope banks shall be constructed at a gradient of not greater than 2:1 (horizontal to vertical), unless the Project civil and/or geotechnical engineer can certify slope stability for any cut slope greater than 2:1, cut slopes shall not exceed 1:1. Exceptions may be made in the case of rock or natural outcroppings.
- b. Incorporating the recommendations of the Project civil and/or geotechnical engineer, the following standards and specifications for benching and terrace drains on manufactured cut and fill slopes shall be used in grading design and implementation:
 - 1) If any slope benches are required by the project civil engineer or geotechnical engineer, then slope benches of six feet in width shall be provided at not more than 40-foot vertical intervals and shall include a drainage swale on all cut or fill slopes to control surface drainage and debris, except that where only one terrace is required, it shall be mid-height. For cut or fill slopes greater than 80 feet and up to 120 feet in vertical height, one terrace at approximately mid-height shall be 12 feet in width. Terrace widths and spacing for cut and fill slopes greater than 120 feet in height shall be designed by the Project civil and/or geotechnical engineer and approved by the

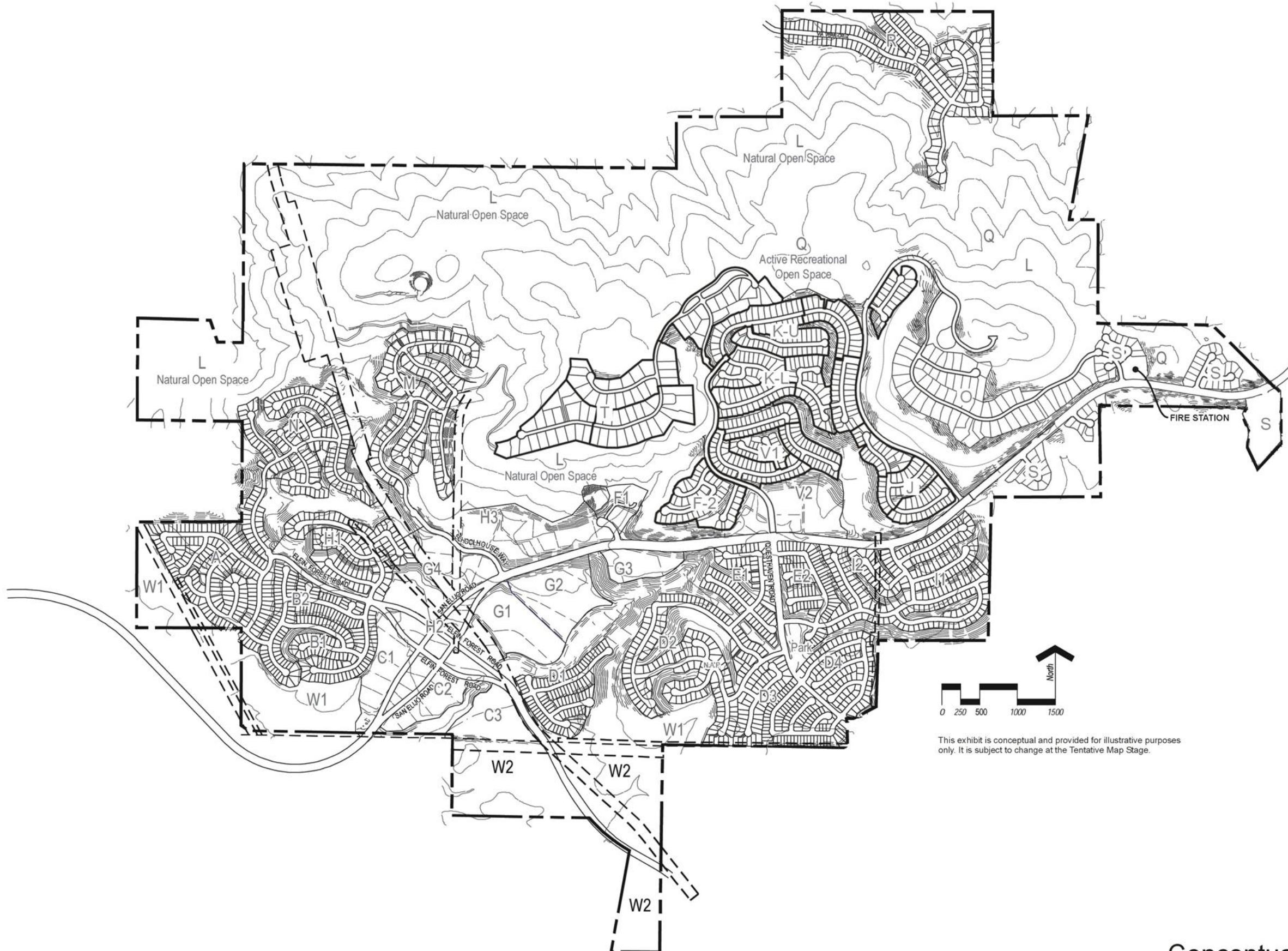
City Engineer. Suitable access shall be provided to permit proper cleaning and maintenance.

- 2) Subject to the approval of the Project civil and/or geotechnical engineer, manufactured slopes less than 40 feet in vertical height do not require any benching.
- c. Grading operations shall not result in substantial damage to, or alteration of, significant permanent natural resource areas, wildlife habitats or native vegetation areas, which are designated by the Master Tentative Subdivision Map to be preserved.
- d. To the extent feasible, exposed manufactured slopes per the Grading Ordinance as determined by the City Engineer and Planning Division Director shall be naturalized by the use of natural contour grading to approximate natural slopes. To the extent feasible, exposed slopes in excess of 20 vertical feet shall be rounded at the top and toe. If feasible, exposed manufactured slopes in excess of 30 feet shall undulate with varying slope gradients. Both the top and toe of slopes shall be modulated to affect the slope undulation.
- e. Special landscaping techniques using plant material of varying heights and massing shall be used in conjunction with contour grading to create a modulated slope appearance.
- f. In Planning Areas O and T, the natural topography shall be approximated by massing structures in a manner so as not to interrupt the profile of the existing ridgeline. This massing shall be accomplished by:
 - 1) Implementation of architectural standards that will result in structures that do not dominate the natural topography.
 - 2) Requiring structures of a scale that blends with the line and form of the natural topography.
 - 3) Requiring architectural articulations on all sides of structures to assure nonlinear solutions that are harmonious with the natural topography.
 - 4) Building height and architectural restrictions in key areas to assure Specific Plan compliance.
- g. Existing landforms may be recontoured, as necessary, to provide a smooth and gradual transition to graded slopes, while preserving the basic character of the site.
- h. Local internal streets as well as collector streets shall be meandered where possible to undulate and minimize slope banks. Split-level streets may be utilized where possible to minimize impacts to the natural terrain.
- i. It is anticipated that topsoil from graded areas could be stockpiled for reapplication to manufactured slope areas.

- j. Phasing of grading within each planning area shall provide for the safety and maintenance of other planning areas already developed or under construction and visual mitigation (revegetation) of all manufactured slopes.
- k. Where possible, phasing shall preclude hauling of earth over residential streets of developed areas. All import and/or export activities of earth material to or from the San Elijo Hills site shall conform with Section 17.32.080 of the Grading Code contained within the San Marcos Municipal Code.
- l. Temporary runoff/erosion control devices shall be installed prior to any grading activities. Runoff/erosion control and maintenance shall be employed subject to Sections 17.32.100 (i) and 17.32.100 (j) contained within the Grading Code of the San Marcos Municipal Code.
- m. Prior to October 15 of each year, all graded but not permanently landscaped slopes shall be hydroseeded for slope stabilization as necessary for erosion control, to the satisfaction of the Director of Public Works.
- n. The application for any grading permit must provide assurance to the City Engineer that manufactured slope banks will be properly landscaped and irrigated, and that the landscape will be maintained by either the developer, the property owner(s) or by a Lighting or Landscaping Maintenance District.
- o. Grading, excavation and other related forms of earth movement shall be conducted only during the hours and days specified under Section 17.32.180 of the grading code contained within the City of San Marcos Municipal Code unless specifically exempted by the City Manager.
- p. A revegetation plan shall be prepared for review and approval by the City Engineer and the Planning Manager for manufactured slopes occurring adjacent to undisturbed native plant communities.
- q. Hauling of earth or construction materials over residential streets in developed areas shall be avoided. A truck hauling route shall be submitted to the City Engineer for approval prior to commencement of any grading operation. The approved haul routes may require the construction of a greater structural section along haul routes, to the satisfaction of the City Engineer and/or the Director of Public Works.
- r. Crib walls may be allowed in situations where significant grading can be saved and where approved by the soils engineer and accepted by the City Engineer.
- s. Any off-site grading shall be reviewed and approved by the City Engineer as part of a grading review package. A letter of permission from the affected property owner(s) shall be required prior to issuance of any grading permit for off-site work. Absent

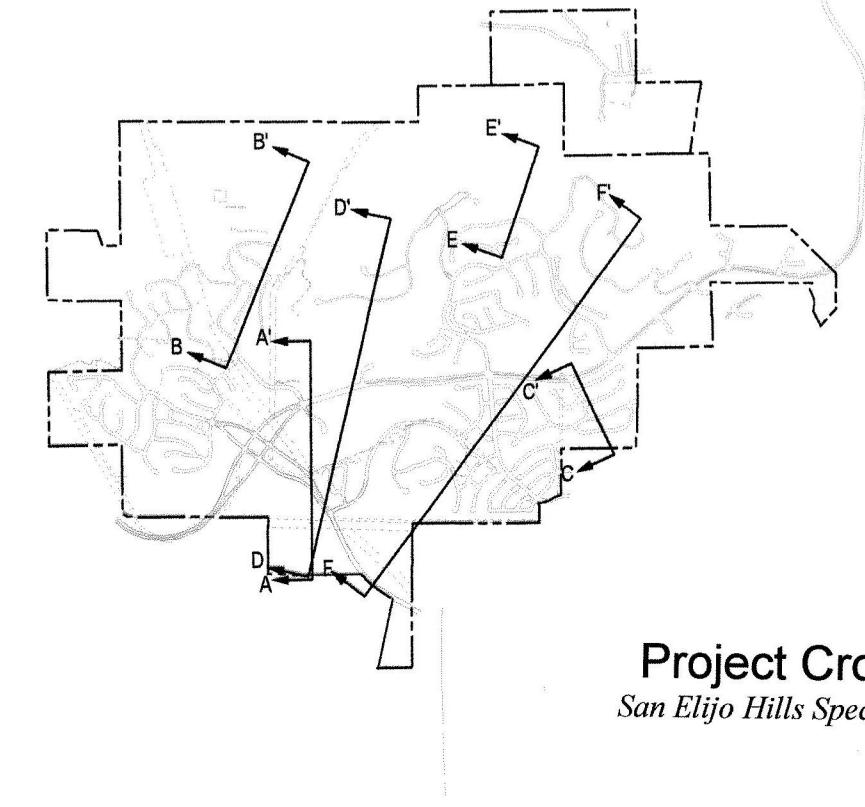
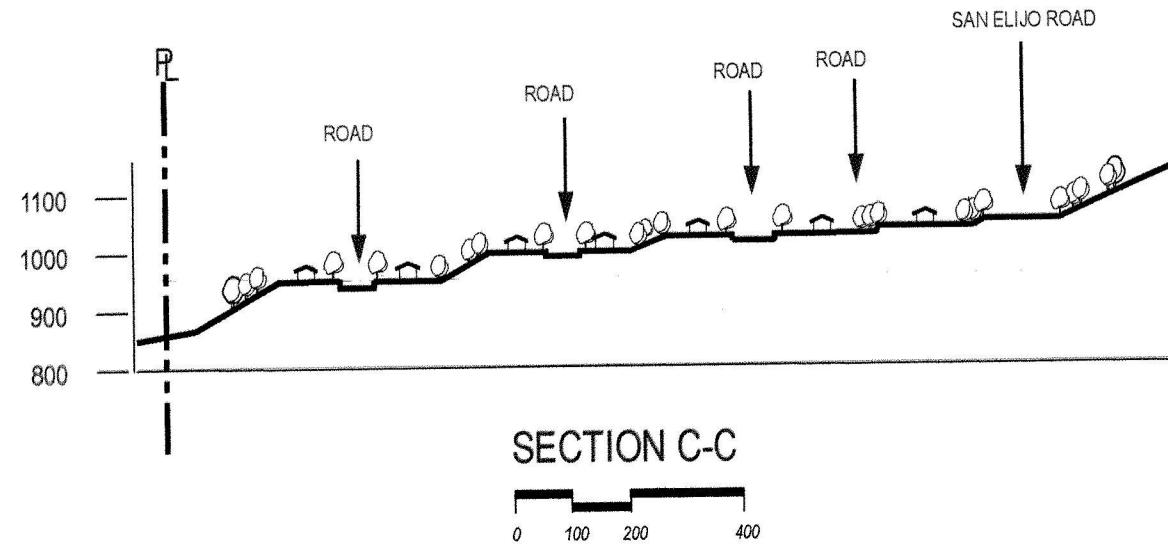
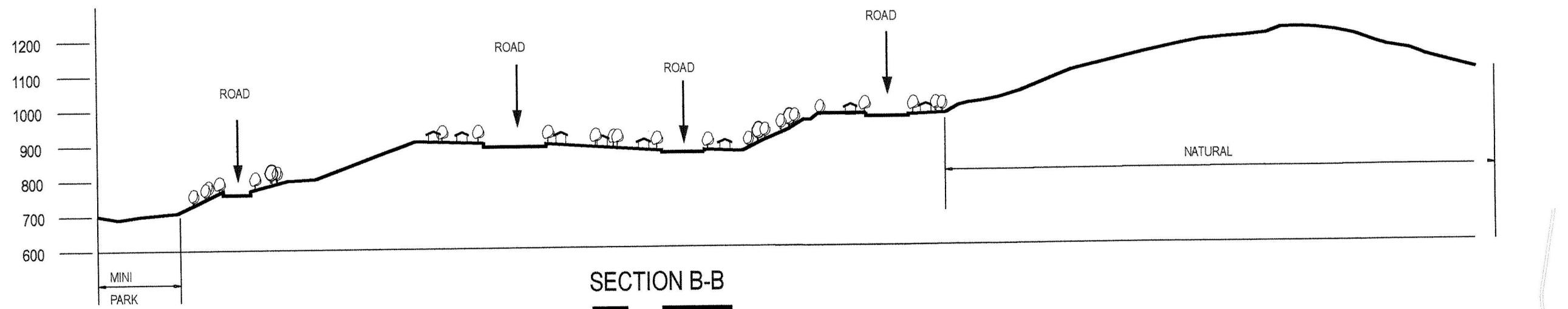
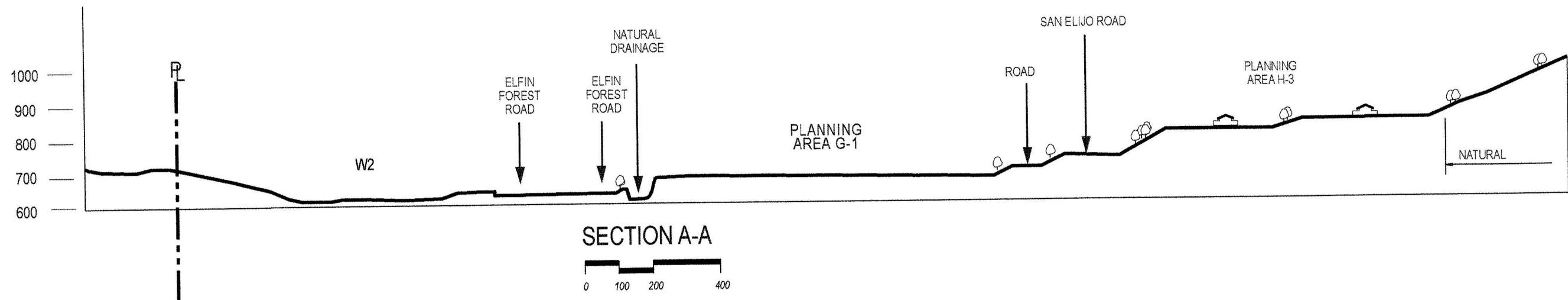
such permission, grading plans shall conform to the required grading setbacks as provided in the City's Grading Ordinance.

- t. No residential building sites (as distinguished from grading for trails, regional park improvements, public improvements and access roads) shall be permitted to encroach into the setback shown on Exhibit IV:4, Ridgeline Setback, for the Cerro de Las Posas – Double Peak primary ridgeline.

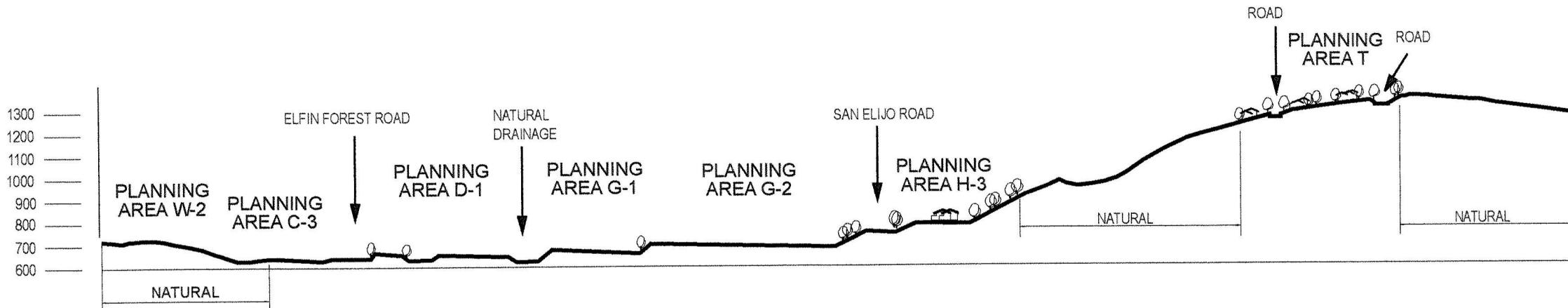


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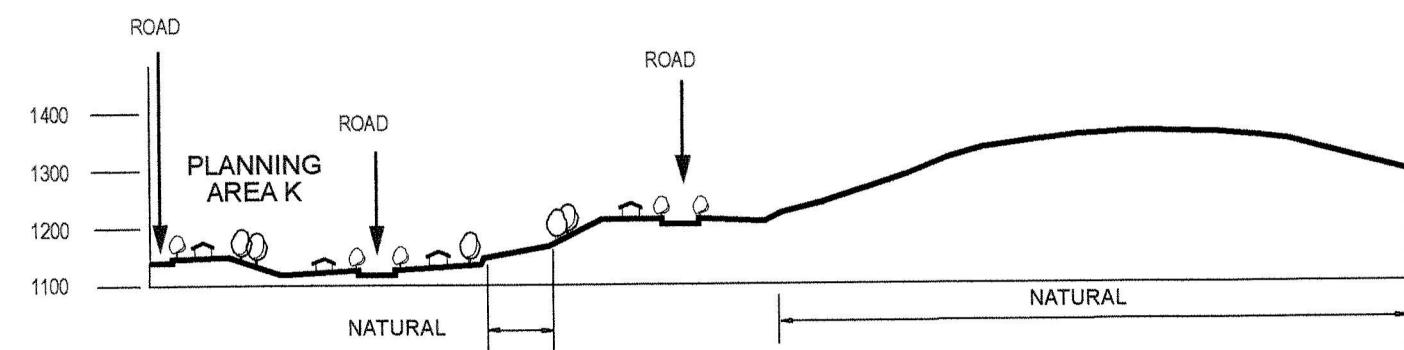
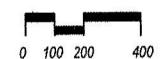
Conceptual Grading Plan
San Elijo Hills Specific Plan Amendment
 Exhibit IV:1 Page IV:6



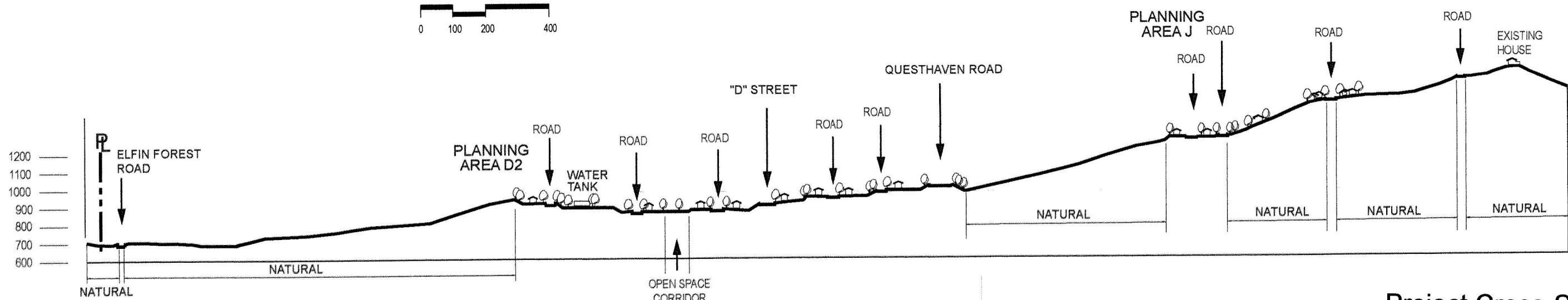
Project Cross-Section 1
San Elijo Hills Specific Plan Amendment
Exhibit IV:2 Page IV:7



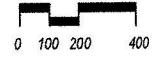
SECTION D-D



SECTION E-E

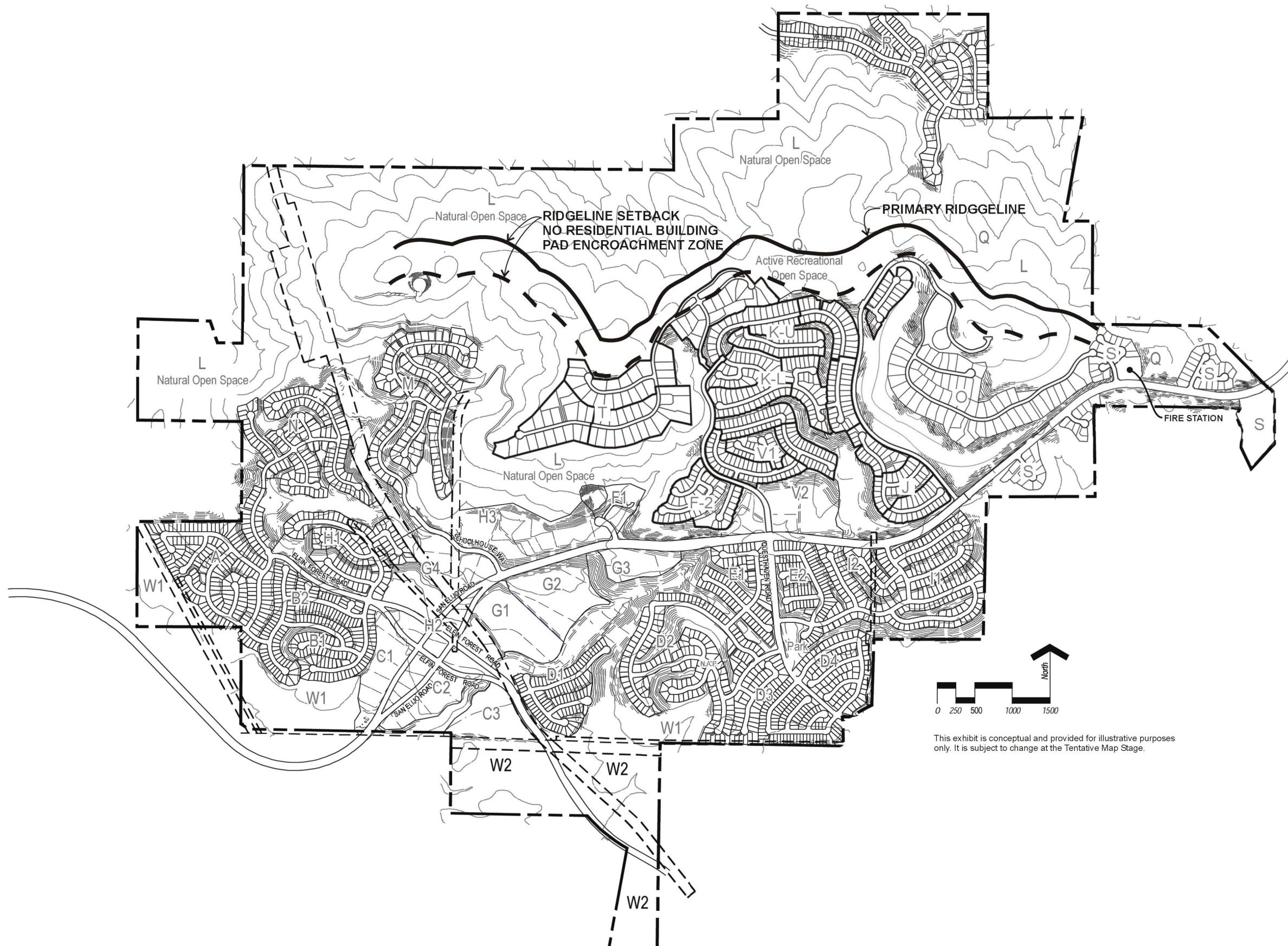


SECTION F-F



Project Cross-Section 2

*San Elijo Hills Specific Plan Amendment
Exhibit IV:3 Page IV:8*



This exhibit is conceptual and provided for illustrative purposes only. It is subject to change at the Tentative Map Stage.

Ridgeline Setback
San Elijo Hills Specific Plan Amendment
Exhibit IV:4 Page IV:9

2. Revegetation Program

It is the intent of this program to reduce the visual and biological impact of grading operations adjacent to undisturbed open space. A thorough revegetation program, when combined with the use of contour-grading principles, where feasible, discussed above, will result in blending the revegetated manufactured slopes with surrounding undisturbed terrain.

Generally, issues bearing on the successful revegetation of manufactured slopes include proper advance planning, the collection of seeds and plant cuttings from the site to be graded (for subsequent revegetation), soil testing and preparation, the specific timing of planting, a well designed and monitored irrigation system, and an on-going weed eradication program.

Table IV:1 includes suggested seed mixes for use in revegetating the manufactured slopes in Landscape Zones One through Three (see Exhibit IV:5). These seed mixes are intended to be used in conjunction with hand-planted, woody container stock appropriate to a given zone. The seed mixes provided are general and should be refined with respect to soil test results, exposure, etc.

Revegetation plans shall specifically define the revegetation program, and include the following:

- a. A map indicating subject slopes to be revegetated.
- b. Identification of existing native seed stock from which seed shall be collected for the purpose of revegetating slopes upon completion of grading operations.
- c. Proposed hydroseed mix with rate of application.
- d. Identification of existing native cutting stock from which cuttings shall be taken for the purpose of propagating viable rooted container stock for hand planting on revegetated slopes.
- e. A schedule indicating the timing and sequence of seed harvest, cutting propagation process, and initiation of planting installation.
- f. Proposed soil testing program, indicating the locations of proposed soil samples.
- g. Proposed irrigation system.
- h. Detailed irrigation schedule indicating seasonal adjustments in watering times (ultimately resulting in the abandonment of the system, where appropriate).
- i. Weed eradication and maintenance program.

C. Landscape Master Plan

The Landscape Master Plan for San Elijo Hills is intended to satisfy several key design objectives. The design objectives have been largely derived from a recognized need to, where feasible, blend the community with, and transition from, the existing environment. There are two areas, which have received particular attention: 1) The ridgeline, which runs east to west and is a regionally prominent landform and, 2) The San Elijo Road corridor, which passes through the center of the site.

These two conditions represent the major framework upon which the community landscape is developed.

The specific design objectives developed for San Elijo Hills Landscape Master Plan are:

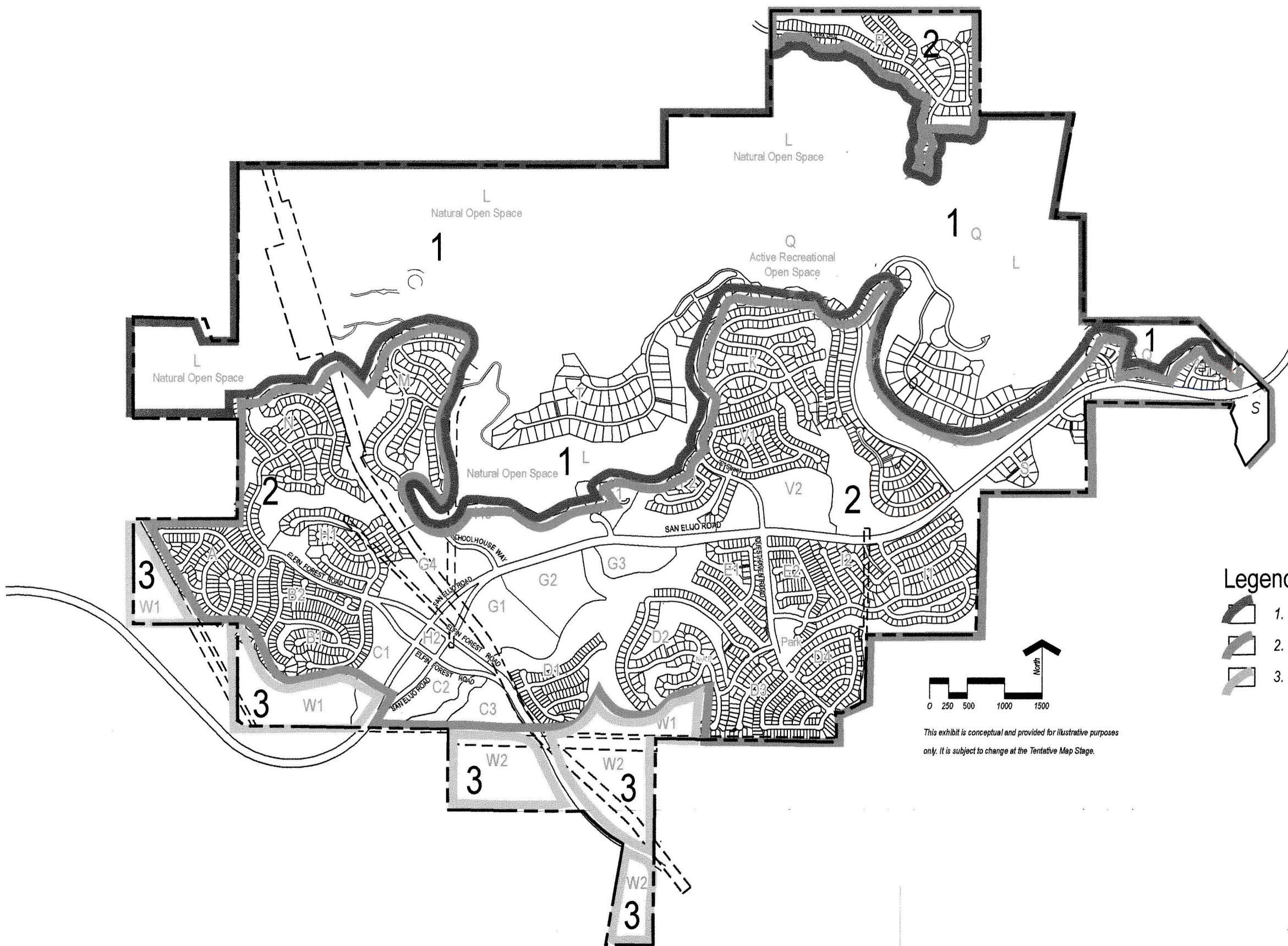
- Preserve the existing character of the ridgeline.
- Enhance and reinforce riparian influence on the site.
- Retain wildlife habitat corridors.
- Screen the county landfill from view, where feasible.
- Conserve water through the use of reclaimed water, if available and drought tolerant plant materials where possible.
- Provide a sense of orientation within the community through the development of landscape zones and a central streetscape, i.e. the San Elijo Road corridor.
- Provide adequate transition areas between landscape themes and between landscaped areas and natural vegetation.
- Provide adequate fuel modification zones for protection from wildland fires.
- The guiding intent of blending the community landscape with the natural, environment has resulted in the development of three landscape zones. These zones are the organizational framework upon which more detailed design will be developed.

1. Landscape Zones

The three landscape zones are:

- Ridgeline Zone
- Theme Zone
- Habitat Zone

The three Landscape Zones are illustrated by Exhibit IV:5 (Page IV:12). Candidate Plant Lists for each of the zones are given on Table IV:1 (Page IV:17). Following are brief descriptions of each zone:



Landscape Zones
San Elijo Hills Specific Plan Amendment
 Exhibit IV:5 Page IV:12

- Ridgeline Zone: The ridgeline zone encompasses the major ridge which runs east to west and includes Double Peak, the existing hacienda site, the microwave transmission facility, and a proposed regional park and open space corridor with trails and overlook points. Because the ridge is visible from surrounding areas, particularly the North slope, the design intent for this zone is to blend the existing visual character with the adjacent landscape uses.
- Theme Zone: The landscape theme zone will primarily be focused along the San Elijo Road corridor, and has been developed in order to reinforce the proposed architectural character of the community. The proposed concept, suggesting an early California planting scheme, will foster a sense of interpretive history for the site.

The landscape theme, which reinforces this architectural concept, includes a historically appropriate ornamental streetscape plant palette. The ornamental streetscape along San Elijo Road will visually link the project together, lending a sense of direction and permanence.

It will also be important to provide appropriate transitions between the theme zone and the adjacent landscape zones. This will be achieved in many cases by the fuel modification zones described later, as well as by cross-selection of plant materials from adjacent zones.

Within the theme zone, the low-lying riparian area will be enhanced to provide habitat value as it winds through. Many of the Theme Zone plant species selected can adapt well to a riparian setting.

- Habitat Zone: The habitat zone includes the wildlife preserves of Planning Areas W-1 and W-2 on the west and south sides of the project. This area will be left in an undisturbed condition, except in limited areas where screening of the landfill can be accomplished, or revegetation is required. Transition plantings will be carefully selected where streets and slopes are adjacent to it, or where enhancement of the riparian area is dictated.

2. Plant Selection Criteria

The following criteria have been established to assist in the selection of candidate plant material appropriate to each of the three landscape zones:

a. Zone One: Ridgeline

Plant materials introduced within this zone shall be of a visual and cultural character, which is consistent with Chaparral communities. Candidate plant materials for Zone One shall be predominantly;

- Drought-tolerant / wind resistant
- Native or naturalized species
- Species commonly found in related communities
- Species introduced to the region prior to the development of modern irrigation systems

Areas within 35 vertical feet of the top of the ridge should only be planted with low growing trees selected to complement the natural form of the topography. Vertical varieties are not allowed unless it can be demonstrated the variety is not expected to exceed the height of the immediately adjacent building form.

b. Zone Two: Theme Landscape

As previously mentioned, the intent of Zone Two is to reinforce the architectural character of the project. The “early California” theme is intended to evoke a sense of permanence within our regional context, through the use of mostly “mission-era” planting design principles. Toward that end, candidate plants for this zone have been selected which suggest use in San Diego County during the early part of this century. Among the candidate plants listed are materials suitable for selection and use as signature plantings for the San Elijo Road corridor and riparian area, as well as provision for transition areas to the adjacent landscape zones.

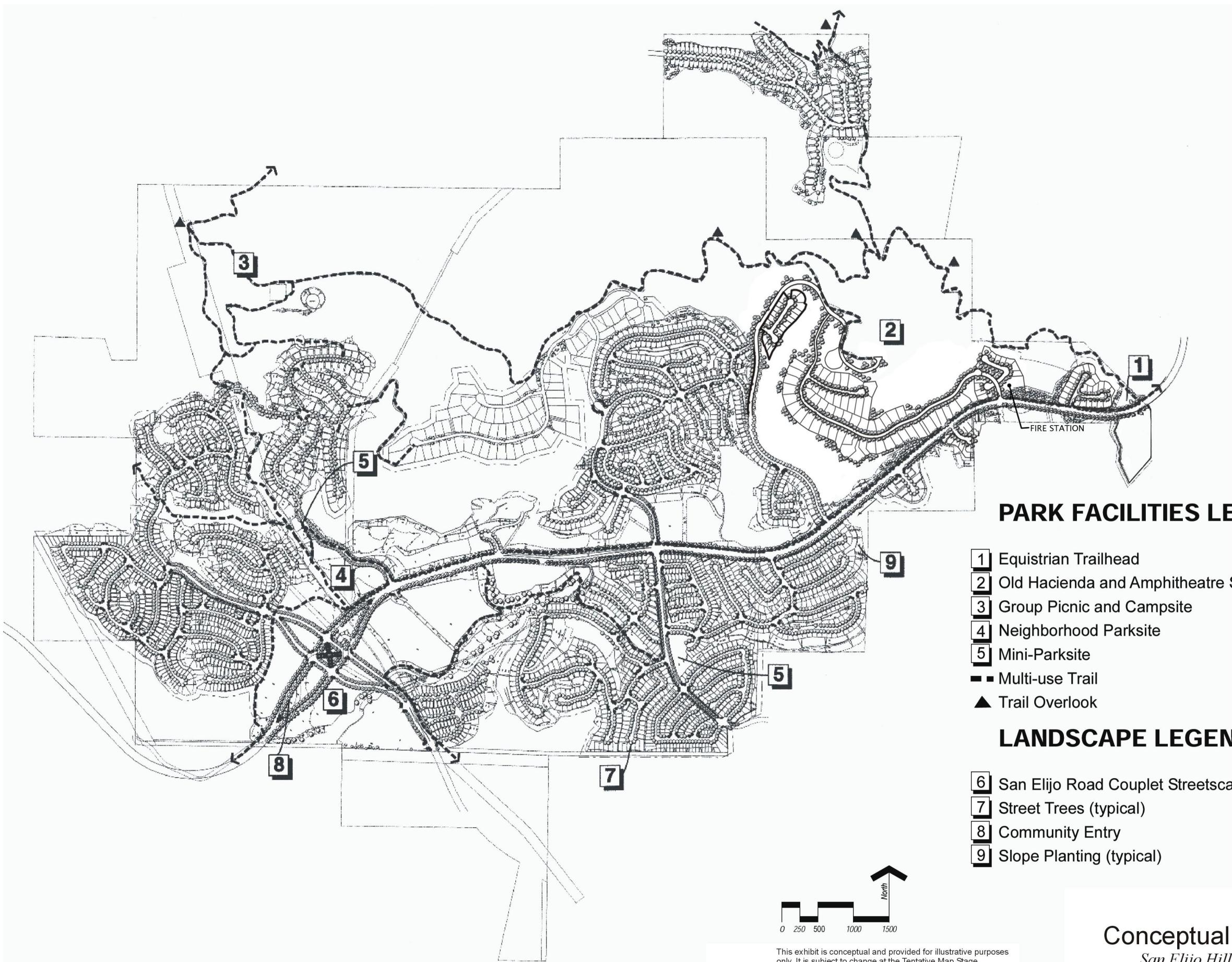
c. Zone Three: Habitat

The habitat zone includes the Wildlife Corridors on the south and west side of the project. This zone will not require the introduction of new plant material, except in locations where screening of landfill uses can be accomplished, or in transition areas to Zone Two uses. These areas should consider the use of drought tolerant, and native plant materials.

d. Landscape Restricted Areas

In the Landscape Restricted Area illustrated on Exhibit IV:7, only those plant materials approved for the Ridgeline Zone shall be allowed. The final list of plant materials shall be approved by the City of San Marcos and the project biologist.

Residential lots (per Exhibit IV:7) in the landscape restricted area shall be deed restricted ensuring conformance with this provision. Exceptions may be made and approved by the Planning Manager.





Residential lots in the landscape restricted area shall be deed restricted ensuring conformance with this provision. Exceptions may be made and approved by the Planning Manager.

Table IV:1 Candidate Plant List**Zone 1: Ridgeline**

<u>Botanical Name</u>	<u>Common Name</u>
-----------------------	--------------------

Trees

<i>Cercocarpus minutiflorus</i>	Smooth Mountain Mahogany
<i>Pinus halepensis</i>	Aleppo Pine
<i>Quercus agrifolia</i>	California Live Oak
<i>Quercus a. 'Engelmannii'</i>	Engleman's Live Oak
<i>Quercus dumosa</i>	Scrub Oak
<i>Schinus molle</i>	California Pepper

Shrubs

<i>Arctostaphylos</i> spp.	Manzanita
<i>Ceanothus</i> spp.	Ceanothus
<i>Cistus</i> spp.	Rock Rose
<i>Comarostaphylos diversifolia</i>	Summer Holly
<i>Encelia californica</i>	California Encelia
<i>Galvezia speciosa</i>	Island Bush
<i>Heteromeles arbutifolia</i>	Toyon
<i>Limonium perezii</i>	Sea Lavender
<i>Mimulus</i> spp.	Monkey flower
<i>Prunus ilicifolia</i>	Hollyleaf Cherry
<i>Rhamnus ilicifolia</i>	Redberry
<i>Rhus integrifolia</i>	Lemonade Berry
<i>Rhus laurina</i>	Laurel Sumac
<i>Salvia clevelandii</i>	Purple Sage
<i>Yucca whipplei</i>	Foothill yucca

Ground Covers

<i>Baccharis pilularis</i> 'Twin Peaks'	Prostrate Coyote Brush
** <i>Kekia condrifolia</i>	Climbing Bush Penstemon
** <i>Lonicera subspicata</i>	Wild Honeysuckle
<i>Mahonia repens</i>	(no common name)
<i>Salvia mellifera</i>	Black Sage
<i>Zaucheneria californica</i>	California Fuschia
*** <i>Festuca elatior</i>	Turf (Tall fescue)

** Northern exposure

***Selected active areas

Zone I Seed Mix: To be seeded in conjunction with hand planted native and introduced shrubs.

MINIMUM % PUR/GERM		LBS/ACRE	SPECIES, COMMON NAME
15	60	3	Artemisia californica California Sagebrush
2	55	2	Diplacus puniceus Red Monkey Flower
40	60	4	Encelia Californica Bush Sunflower
10	65	6	Eriogonum fasciculatum Buckwheat
N/A		2	Eschscholzia californica California Poppy
N/A		2	Helianthemum mutabile Sun Rose
40	60	4	Lotus scoparius Deerweed
95	80	2	Lupinus bicolor Lupine
95	85	2	Lupinus succulentus Arroyo Lupine
N/A		1	Phacelia parryi Parry's Phacelia
70	50	4	Salvia apiana White Sage
85	50	3	Salvia melifera Black Sage
40	30	2	Stipa pulchra Purple Needle Grass
N/A		2	Vulpia myuoros Zorro fescue

42 Total pounds per acre

Zone Two: Theme

Botanical Name	Common Name
<u>Trees</u>	
<i>Alnus rhombifolia</i>	White Alder
<i>Brachychiton spp.</i>	Flame / Bottle Tree
<i>Callistemon citrinus</i> (tree form)	Bottlebrush Tree
<i>Cercis occidentalis</i>	Redbud
<i>Citrus spp.</i>	Citrus
<i>Eucalyptus spp.</i>	Eucalyptus
<i>Liquidambar styraciflua</i>	Liquidambar
<i>Jacaranda acutifolia</i>	Jacaranda
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Nerium Oleander</i> (tree form)	Oleander
<i>Olea europaea</i>	Olive
<i>Pinus spp.</i>	Pine Trees
<i>Pittosporum undulatum</i>	Victorian Box
<i>Platanus spp.</i>	Sycamore
<i>Quercus spp.</i>	Oak Trees
<i>Schinus molle</i>	California Pepper
<i>Tipuana tipu</i>	Tipu Trees
<i>Tristaniopsis conferta</i>	Brisbane Box
<u>Shrubs</u>	
<i>Acacia redolens</i> 'Prostrata'	Prostrate Acacia
<i>Arctostaphylos spp.</i>	Manzanita
<i>Agave spp.</i>	Agave
<i>Cotoneaster spp.</i>	Cotoneaster
<i>Crassula argentea</i>	Jade Plant
<i>Feijoa sellowiana</i>	Pineapple Guava
<i>Heteromeles arbutifolia</i>	Toyon
<i>Lantana spp.</i>	Lantana
<i>Nandina domestica</i>	Heavenly Bamboo
<i>Pittosporum spp.</i>	Mock Orange
<i>Psidium littorale</i>	Strawberry Guava
<i>Punica granatum</i>	Pomegranate
<i>Raphiolepis spp.</i>	India Hawthorn
<i>Thevetia peruviana</i>	Yellow Oleander
<i>Viburnum spp.</i>	Viburnum
<u>Vines</u>	
<i>Bougainvillea spp.</i>	Bougainvillea
<i>Distichlis spp.</i>	Trumpet Vine
<i>Gelsemium sempervirens</i>	Carolina Jessamine
<i>Solandra guttata</i>	Cup-of-Gold
<u>Ground Cover</u>	
<i>Baccharis p. 'Twin Peaks'</i>	Prostrate Coyote Brush
<i>Delosperma alba</i>	White Ice Plant
<i>Fragaria chiloensis</i>	Ornamental Strawberry
<i>Gazania spp.</i>	Gazania
<i>Hedera spp.</i>	Ivy
<i>Melaphora croceum</i>	Croceum Ice Plant
<i>Myoporum spp.</i>	Prostrate Myoporum
<i>Pelargonium peltatum</i>	Ivy Geranium
<i>Sedum spp.</i>	Sedum
<i>Vinca spp.</i>	Periwinkle
<i>Festuca elatior</i>	Turf (Tall Fescue)

Zone II Seed Mix: To be seeded in conjunction with hand planted materials.

MINIMUM %			SPECIES, COMMON NAME
PUR/GERM	LBS/ACRE		
5	40	0.5	Baccharis pil. ssp consanguinea Chaparral Broom
2	55	2	Diplacus puniceus Red Monkey Flower
40	60	1.5	Encelia Californica Bush Sunflower
35	75	3	Eriophyllum confertiflorum Golden Yarrow
75	95	2	Eschscholzia californica California Poppy
75	80	1.5	Lasthenia californica Goldfields
95	70	2	Lupinus hirsutissimus Stinging Lupine
95	85	2	Lupinus succulentus Arroyo Lupine
50	50	2	Orthocarpus purpurascens Owl's Clover
N/A		0.5	Phacelia grandiflora Giant Phacelia
95	75	20	Plantago inularis (ncn)
95	75	3	Sisyrinchium bellum Blue-Eyed Grass
60	30	1	Stipa coronata Giant Stipa
40	30	3	Stipa pulchra Purple Needle Grass
44 Total pounds per acre			

Zone II Seed Mix: Riparian influenced Native (to be seeded in conjunction with hand planted Sycamores and associated trees per biological recommendations)

MINIMUM %			SPECIES, COMMON NAME
PUR/GERM	LBS/ACRE		
45	60	2	Anemopsis californica Yerba mansa
30	40	1	Ambrosia psilostachya Ragweed
10	15	3	Artemisia douglasiana Mugwort
25	3	2	Artemisia palmeri San Diego Mugwort
35	20	4	Iva hayesiana San Diego Marsh Elder
90	40	0.5	Joncus acutus Spiny Rush
20	80	4	Elymus condensatus Giant Wildrye
16.5 Total pounds per acre			

Zone Three: Habitat

This zone will be left in its existing condition wherever possible. Use zone two candidate plant materials where streets cross these areas.

Zone III Seed Mix: To be seeded in conjunction with hand planted native and introduced shrubs.

MINIMUM % PUR/GERM		LBS/ACRE	SPECIES, COMMON NAME
15	60	2	Artemesia californica California Sagebrush
2	55	3	Diplacus puniceus Red Monkey Flower
40	60	2	Encelia Californica Bush Sunflower
10	65	8	Eriogonum fasciculatum Buckwheat
20	40	3	Happlopappus venetus Coast Golden Bush
40	60	8	Lotus scoparius Deerweed
95	80	1	Lupinus bicolor Lupine
50	50	2	Orthocarpus purpurascens Owl's Clover
N/A		1	Phacelia parryi Parry's Phacelia
70	50	2	Salvia apiana White Sage
95	75	2	Sisyrinchium bellum Blue Eyed Grass
40	30	2	Stipa pulchra Purple Needle Grass

36 Total pounds per acre

3. Open Space System

As mentioned previously, open space within San Elijo Hills is divided into two basic categories: Refined Open Space and Natural Open Space. Included within the Refined Open Space category are: Neighborhood parks, active recreation/regional park areas, improved streetscapes, community entries, pedestrian walkways and school playgrounds. There are approximately 265 acres of refined open space.

Natural Open Space includes: wildlife corridors, natural drainage areas, natural canyons and hillsides, revegetated slopes, and some utility corridors.

4. Landscape Implementation

The successful development of the San Elijo Hills Master Landscape Plan will require significant attention to detailed design governed by an understanding of the overall landscape concept. In order to better realize the intent of the landscape concept, several critical design conditions have been selected for elaboration. The design conditions are:

- Entry Treatments
- Streetscapes
- Slope Treatments
- Neighborhood Park
- Fuel Management
- Walls and Fences
- County Landfill Screening Treatment

Following are brief narratives and support graphics describing the design intent for these design conditions.

a. Entry Treatments

There will be a hierarchy of entries at San Elijo Hills. Entries are categorized as Primary, Secondary and Neighborhood.

1) Primary Entry

The primary entry is at the southwestern San Elijo Road entrance to San Elijo Hills. The approach to the primary entry will be through the San Elijo Road streetscape corridor. The planting scheme will feature vertical accent trees in the median, and spreading canopy trees in the parkways. The scale of these trees is appropriate to that of a four lane road and will eventually create a shade-filled approach to the primary entry. In contrast to the shaded condition along the San Elijo Road corridor, the entry area itself will be a sunny, comparatively open area. The landscape enhancements will consist primarily of medium-sized, colorful shrubbery, cobble, and boulder accents, and a series of low stone walls that fade into the sloped hillside. Informal tree masses will serve as a grove-like backdrop. The design intent is to develop a simple, somewhat understated sense of arrival. An enhanced paving treatment at the entry and theme walls

will assist in defining this entry. This entry will include accent lighting treatments for night time recognition. Refer to Exhibit IV: 8 for conceptual design.

2) Secondary Entries

One secondary entry will occur along San Elijo Road, in Planning Area S, at the east end. This entry will incorporate some of the same general materials as the primary entry, including walls, boulders, etc., but will be much less prominent. Accent lighting may be included at secondary entries.

3) Neighborhood Entries

The character of the neighborhood entries will be simple and restrained. Neighborhood entries will share an image of enhanced, informal landscape. Accent plantings will be specified creating a recognizable entry landscape in contrast to the adjoining street landscape. Plant material will be selected and placed with vehicular sight-lines in mind. Additional design features encountered at neighborhood entries may include stone walls, entry columns, landscaped medians, and some enhanced paving. Lighting at these entries will be limited to security and directional applications.

b. Streetscapes

Streetscapes within or adjacent to San Elijo Hills will reflect the character of the Landscape Zone in which they occur. San Elijo Road has received particular attention due to the influence it exerts on the site. In keeping with the planting concept for the Theme Zone, the San Elijo Road streetscape will be densely planted on both sides with spreading canopy trees. A median planting theme consisting of vertical accent trees and low flowering shrubs and ground cover will serve to enhance this central corridor, and provide seasonal visual interest. Exhibit IV: 10 illustrates a typical streetscape in the area of the couplet road. Exhibit IV: 11 depicts the split road streetscape concept in the vicinity of Planning Area G3. A typical streetscape condition for the eastern portion of San Elijo Road is shown on Exhibit IV: 12. Slopes adjacent to the parkways will continue this theme, but will be expanded to include the use of screening shrubbery and ground cover. These parkway areas are anticipated to be maintained by a Landscaping and Lighting District. The District's specifications for median and right-of-way landscaping may dictate some modifications to the streetscape concept.

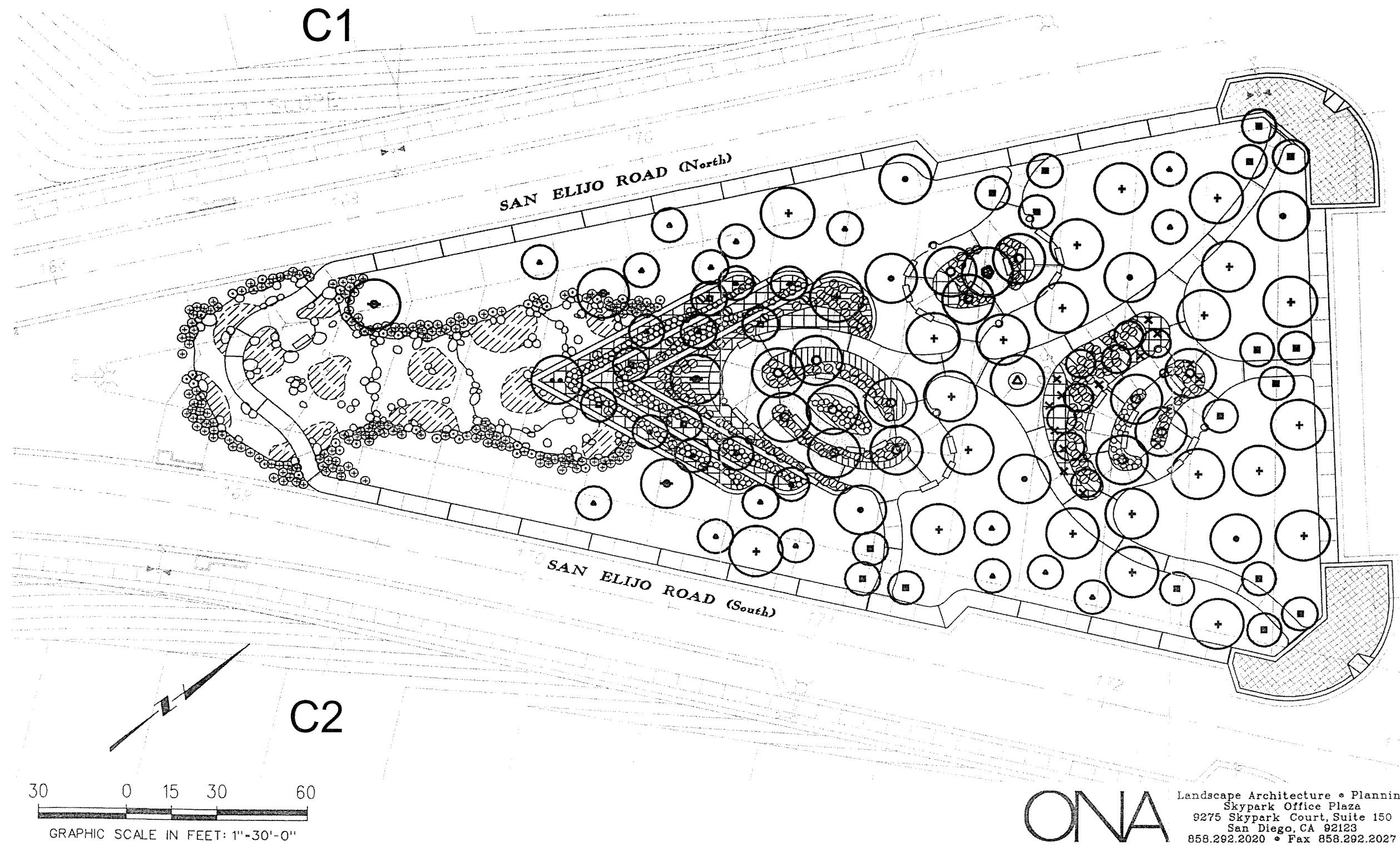
The second major road included within the Theme Landscape Zone is Elfin Forest Road. In the area of Planning Area H2 the Elfin Forest Road streetscape will be similar to that of San Elijo Road as shown on Exhibit IV: 10. To the north and to the south of Planning Area H2, Elfin Forest Road will present a more informal design utilizing ornamental plant materials with an emphasis on flower value. The candidate plant list for the Elfin Forest Road

streetscape will consist of materials, which are associated with the Theme Zone. Street trees may include California Peppers to continue the theme started in the Elfin Forest area.

Street trees shall be installed at the rate of at least one tree per residential lot. Where roads abut residential development, street trees shall be located in a manner consistent with Exhibit IV: 6, Conceptual Landscape Plan. Street trees shall be installed at a minimum container size of 15 gallon and shall be consistent with the Candidate Plant list for the zone in which the street occurs. The use of a variety of street trees is encouraged and changes in species may occur at intersections. A street tree master plan shall be prepared and submitted for review to the City of San Marcos in conjunction with the Master Tentative Map.

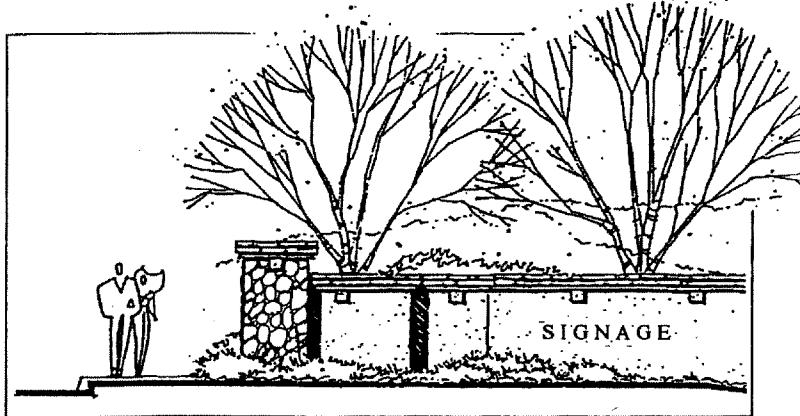
The remaining streetscapes within San Elijo Hills will receive detailed design attention as improvement plans are developed. Each streetscape will be of a character consistent with the Landscape Zone in which it occurs. Generally, design objectives to be applied to streetscape conditions will include:

- Enhancement of desirable views and screening of undesirable views.
- Beautification and erosion control of graded slopes exposed to public views.
- Preservation of existing landscape material, whenever feasible.
- Enhancement of interfaces between graded and natural open space areas by introducing mostly native or naturalized plant material.
- Application of selected overall landscape design themes within areas of high public exposure to establish a sense of cohesion and continuity within the precise plan area.

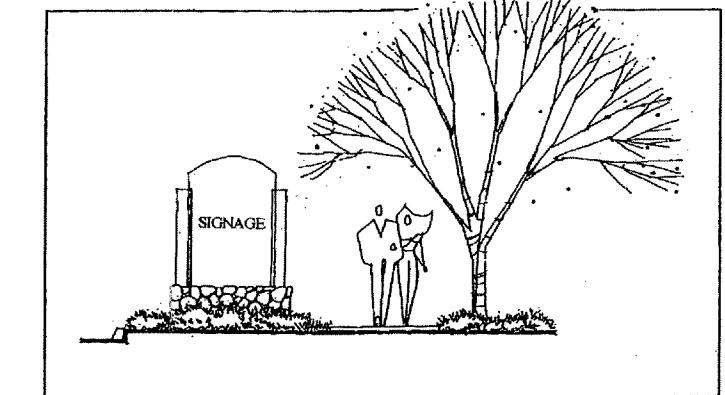


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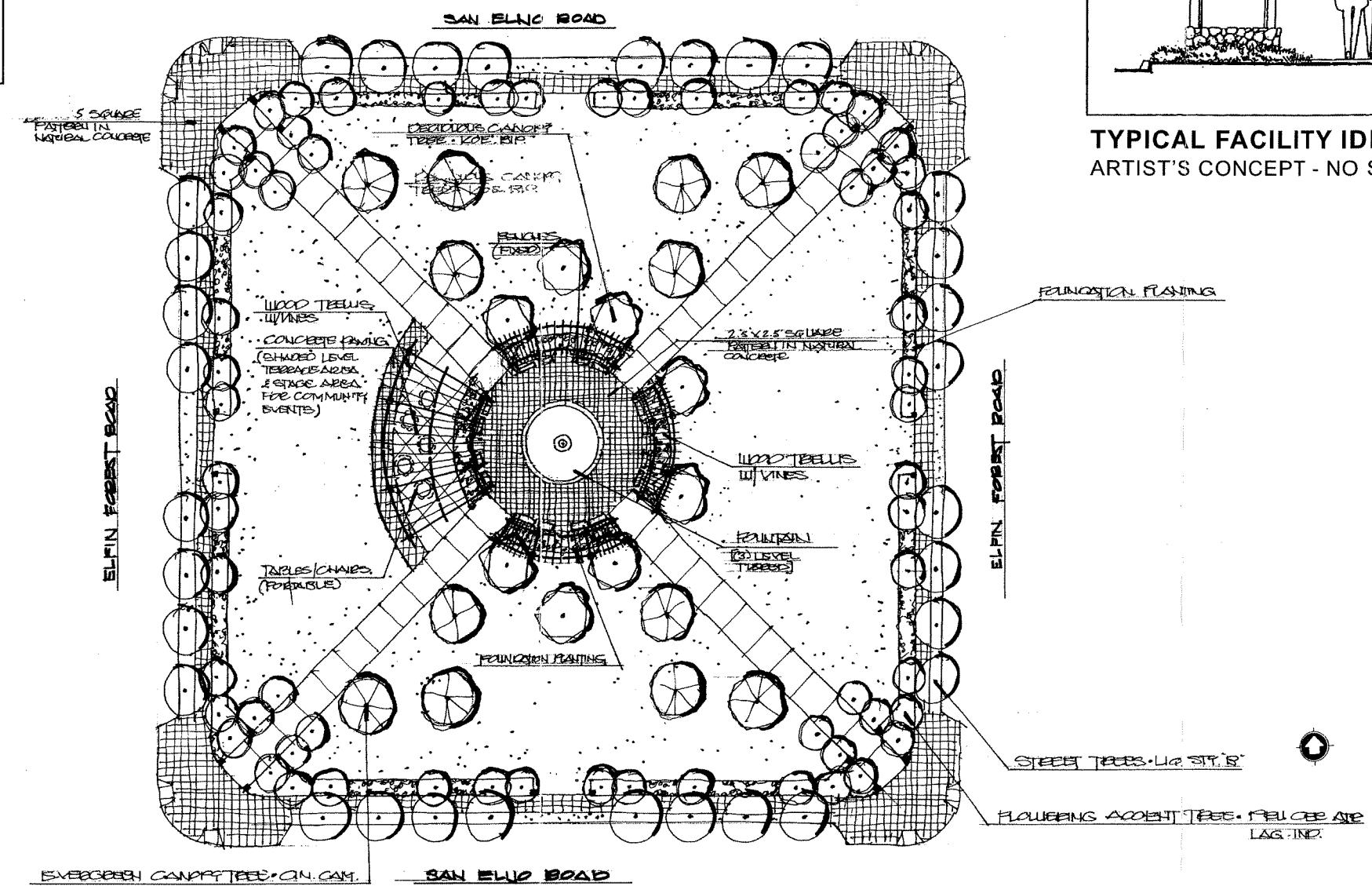
only. It is subject to change at the Tentative Map Stage.



TYPICAL NEIGHBORHOOD ENTRY
ARTIST'S CONCEPT - NO SCALE



TYPICAL FACILITY IDENTIFIER OR MARKER
ARTIST'S CONCEPT - NO SCALE

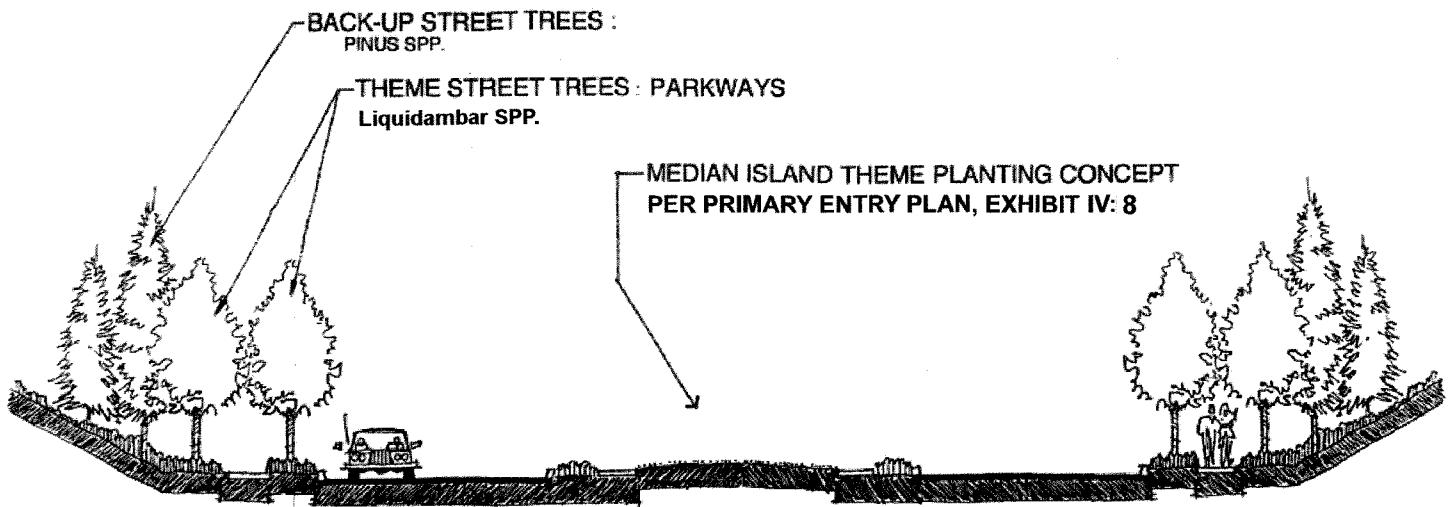


This exhibit is conceptual and provided for illustrative purposes only. It is subject to change at the Tentative Map Stage.

TOWN SQUARE

PLAN VIEW - NO SCALE

ARTIST'S CONCEPT



SAN ELIJO ROAD - STREET TREE PLANTING CONCEPT

NTS.

Note:

*This exhibit is conceptual and
provided for illustrative purposes only.*

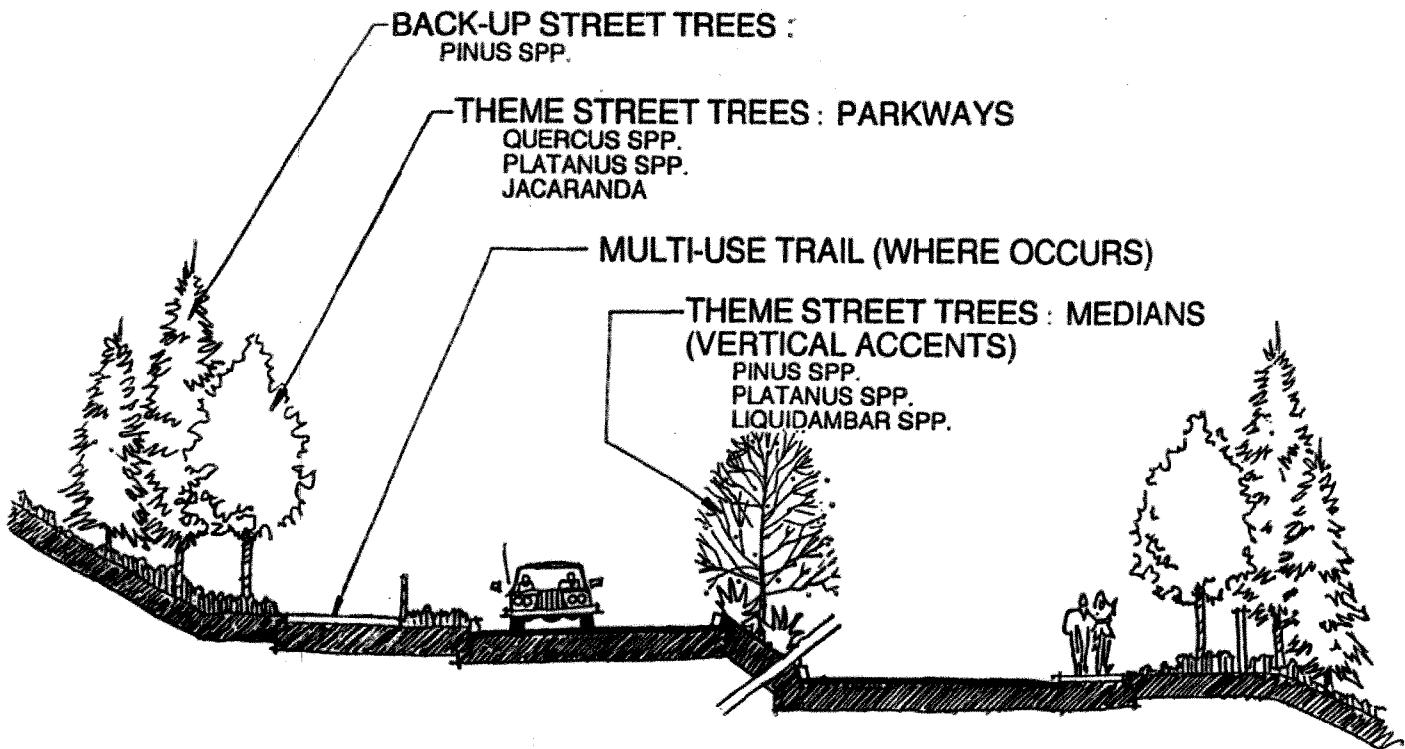
Brian L. Thompson, A.S.L.A.
Landscape Architect

trans tech

GraphicAccess
Planning & Graphics Support

**Kaufman
Meeks Inc.**

San Elijo Road Streetscape 1
Couplet Road Segment
San Elijo Hills Specific Plan Amendment
Exhibit IV:10 Page IV:27



SAN ELIJO ROAD - STREET TREE PLANTING CONCEPT

NTS.

USE THE THEME STREET TREE SPECIES INFORMALLY SPACED IN "STRETCHES" FOR VARIETY AND TO ACCENTUATE THE TOPOGRAPHY OF THE ROADWAY AS IT PASSES THROUGH THE SITE. USE THE PINES AS A CONSISTENT DARK GREEN BACKGROUND AND ACCENT TO THE THEME SPECIES. COORDINATE ADJACENT SLOPE AND PRIVATE LANDSCAPES TO ACHIEVE AN INTEGRATED PLANTING CONCEPT.

Note:

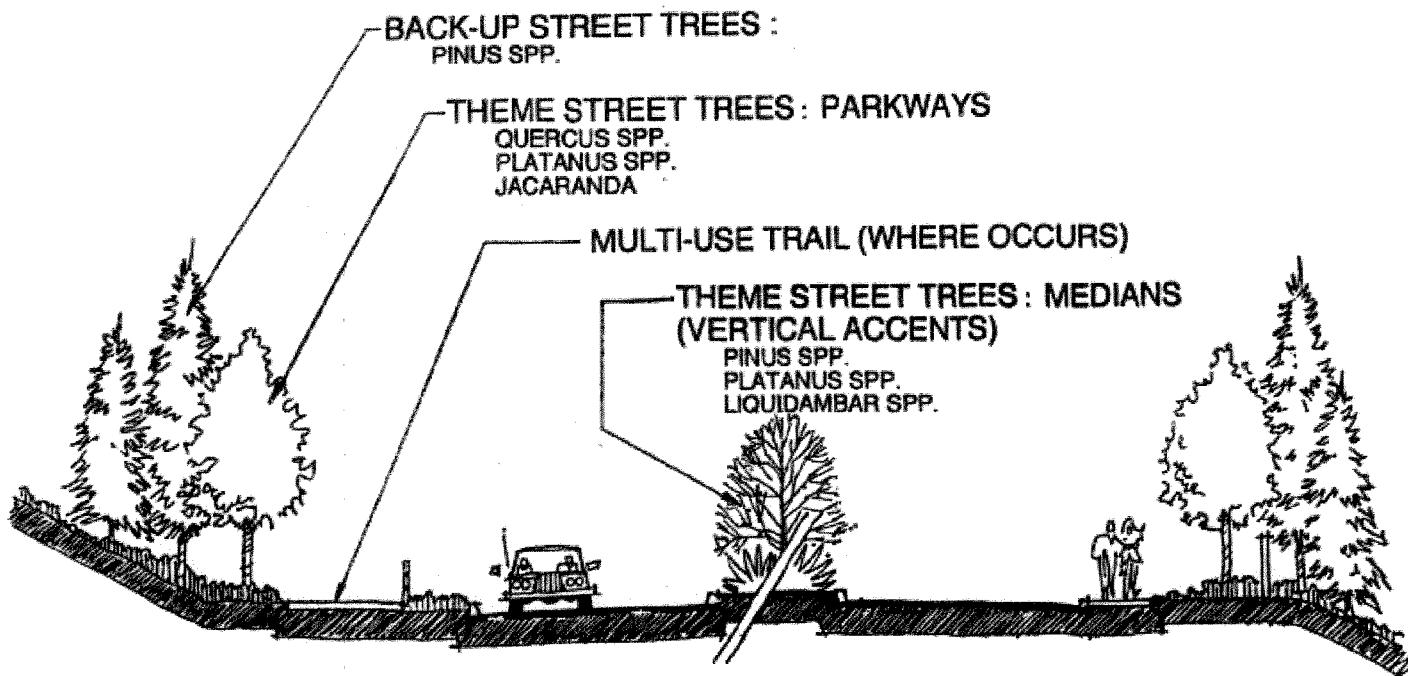
This exhibit is conceptual and provided for illustrative purposes only.

Brian L. Thompson, A.S.L.A.
Landscape Architect

trans tech
GraphicAccess
Planning & Graphics Support

**Kaufman
Meeks Inc.**

San Elijo Road Streetscape 2
Split Elevation Segment
San Elijo Hills Specific Plan Amendment
Exhibit IV:11 Page IV:28



SAN ELIJO ROAD - STREET TREE PLANTING CONCEPT

NTS.

USE THE THEME STREET TREE SPECIES INFORMALLY SPACED IN "STRETCHES" FOR VARIETY AND TO ACCENTUATE THE TOPOGRAPHY OF THE ROADWAY AS IT PASSES THROUGH THE SITE. USE THE PINES AS A CONSISTENT DARK GREEN BACKGROUND AND ACCENT TO THE THEME SPECIES. COORDINATE ADJACENT SLOPE AND PRIVATE LANDSCAPES TO ACHIEVE AN INTEGRATED PLANTING CONCEPT.

Note:

This exhibit is conceptual and provided for illustrative purposes only.

Brian L. Thompson, A.S.L.A.
Landscape Architecture

GraphicAccess
Planning & Graphic Support

trans tech



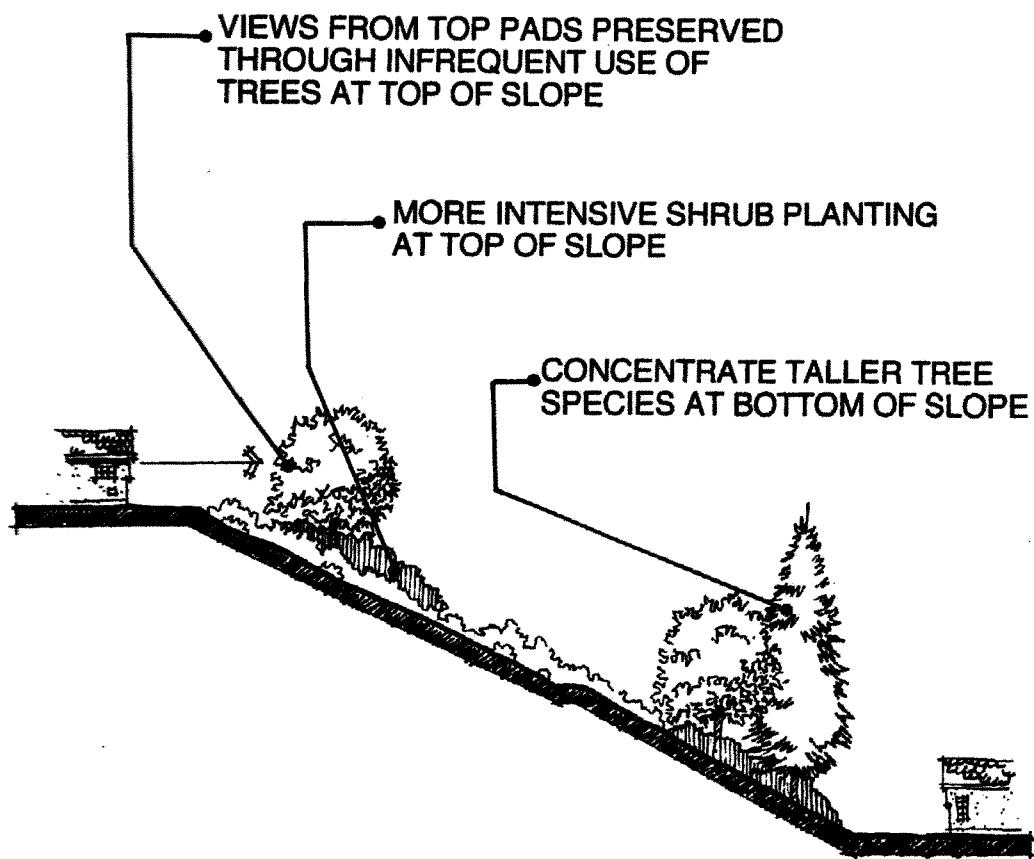
**KOLFMAN
MEERS INC**

San Elijo Road Streetscape 3 Standard Condition

*San Elijo Hills Specific Plan Amendment
Exhibit IV:12 Page IV:29*

LANDFORM PLANTING CONCEPT:

A contoured landform can be simulated on graded slopes through the use of specific landscape techniques. In particular, the arrangement of plant material in a casual and random manner, as well as the use of vegetation with varying heights, can create the effect of a horizontally and vertically undulating slope terrain. These natural groupings of plants will minimize "constructed" qualities of the slopes.



c. Slope Treatments

The landscape treatment for slopes in San Elijo Hills should satisfy the following objectives:

- Erosion control, restoration and/or beautification of graded slopes exposed to view.
- Utilization of low maintenance, drought tolerant plant material.
- Preservation of existing landscape material when possible.
- Conformance with the landscape zone design themes within which slopes occur.

The choice of plants for slopes is particularly critical because of the challenge of matching effective erosion control with appropriate vegetation. Generally, to accommodate typical soil-moisture gradients (drier at the top, wetter at the base), drought-tolerant shrubs and/or trees should be concentrated on the upper and middle portion of slopes, with ground covers in the lower portions and drought-adapted plant material scattered and/or clustered in between.

The planting design techniques should be informal, with curved masses of plants to soften manufactured slopes. The following design guidelines should be addressed during detailed design development.

- 1) Landscaping consistent with the adjacent existing vegetation shall be provided to screen downslope side of buildings. The screening shall be capable of eventually covering 25% of ground floor elevation, or entire area of stem foundation up to 8 feet.
 - Where the under-story of a structure is exposed it shall be screened from view with the use of landscape elements, if not screened architecturally.
- 2) Drainage structures shall be appropriately screened.
- 3) Landscaping installed for screening purposes shall result in 75% screening value within a reasonable period of time as certified by a Landscape Architect.
- 4) Trees shall be provided for screening approximately 20% of the rear elevation of homes at maturity. The trees shall incorporate view "windows" to view corridors.
- 5) All lower slope areas adjacent to roadways and scenic corridors shall be planted with ornamental or native plant materials, as determined by the Planning Manager. On fill slopes or where soil conditions allow for growth of conventional ornamental landscaping, all manufactured slopes shall receive a 100% ultimate coverage of woody

ornamental ground cover and planting of one tree or large shrub every 100 sq. ft. Trees shall be 75% 15-gallon and 25% 5-gallon; shrubs shall be 75% 1-gallon and 25% 5-gallon; upper slope areas adjacent to natural open space shall be planted with indigenous grasses and adjacent native species, identified in the Specific Plan. Fuel modification areas, which interface with natural habitat, shall consist of a 30 ft. minimum separation between homes and natural vegetation on upslopes, and a 100 ft. separation on downslopes.

- 6) Plant materials for fill slopes shall include deep rooting characteristics for slope stability and erosion control.
- 7) All manufactured slopes outside of the development envelope over 5 feet in vertical height shall receive a 100% ultimate coverage of woody ornamental ground cover and planting of one tree or large shrub every 100 sq. ft. Trees shall be 75% 15-gallon and 25% 5-gallon; shrubs shall be 75% 1-gallon and 25% 5-gallon; upper slope areas adjacent to natural open space shall be planted with indigenous grasses and adjacent native species, identified in the Specific Plan. Fuel modification areas, which interface with natural habitat, shall consist of a 30 ft. minimum separation between homes and natural vegetation on upslopes, and a 100 ft. separation on downslopes, and shall be "brown-line" or underground irrigated until all plants are considered in an established state.
- 8) Retaining walls and perimeter walls with exposed public views shall be landscaped to eventually provide a minimum of 25% screening of the wall.
- 9) Crib walls with exposed public views, where allowed, shall be completely landscaped with vines, groundcover or shrubs.
- 10) Selection of plant material will be subject to adaptability to prevailing soil conditions and maintenance considerations, and incorporate native species where appropriate. Native shrubs and grasses shall be used more extensively on upper slope areas (or in conjunction with revegetative plans), in lieu of ornamental trees and shrubs. All manufactured slope planting shall be subject to an Agricultural soils test, to be approved by the City.
- 11) Minimum requirements for the planting of exposed slopes over 10' should include concentrations of drought-adapted shrubs at the top and mid-portion of the grade. See Exhibit IV:13

d. Neighborhood Park

The neighborhood park will be developed at the northeast corner of Elfin Forest Road and San Elijo Road, in Planning Area G-4. The park will be accessible by car or by foot. On site parking will be provided with access off Elfin Forest Road, San Elijo Road, and Schoolhouse Way. The park's proposed recreation facilities will include two ball fields, a multi-purpose field, tot lots, picnic areas, restrooms, trails, community building and parking.

e. Fuel Management

Because there is a significant presence of fuel on-site in form of flammable, native plant material, and due to the topography of the site, it is critical that a fuel management program be initiated in the interest of fire safety. The intent of the fuel management program is to minimize potential fuel, particularly near development, keeping in mind there are also biological constraints, which must be addressed. The fuel management program shall conform with mitigation measures identified in the subsequent Environmental Impact Report. The following program conforms to the City Fire Marshal's current requirements and will be subject to final review by the Fire Marshal at the tentative subdivision map stage.

1) Fuel Management Categories

Fuel management zones are proposed throughout the project area as shown on Exhibit IV: 15. Two fuel management transition categories have been established within this zone. These categories are illustrated on Exhibits IV:16 and IV:17. In any situation the minimum dimension between a structure and undisturbed native plant communities shall be 30 to 100 feet. Fire break dimensions and maintenance practices shall conform to applicable requirements of the Uniform Fire Code.

F Upper Schoolhouse Park

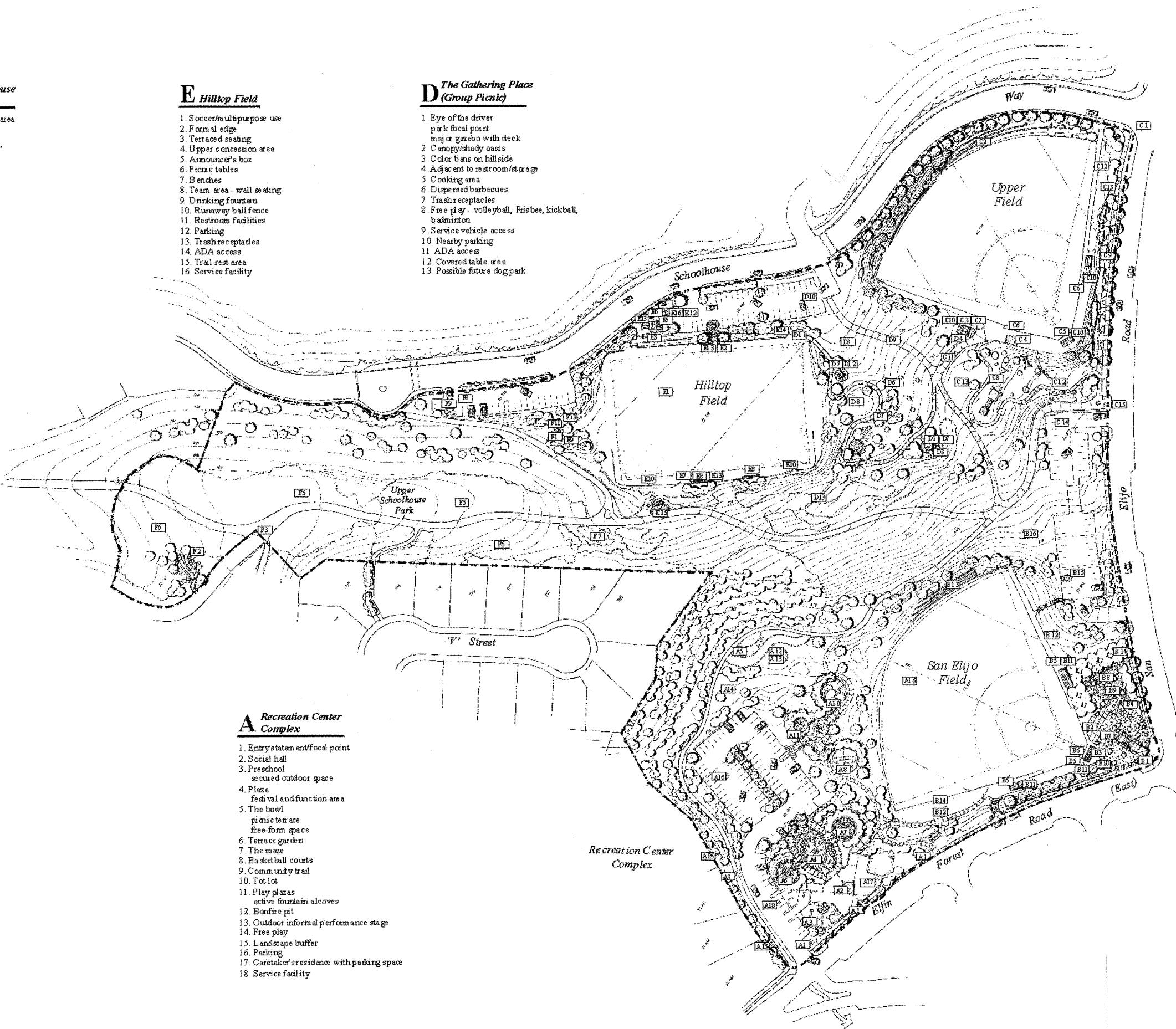
1. Group picnic/staging area
2. Outdoor classroom
3. Trails/junction
4. Start of "nature hikes"
5. Free play/rolling tuff
6. "Somersault Hill"
7. Hide and seek maze
8. Parking
9. Service facility

E Hilltop Field

1. Soccer/multipurpose use
2. Formal edge
3. Terraced seating
4. Upper concession area
5. Announcer's box
6. Picnic tables
7. Benches
8. Team area - wall seating
9. Drinking fountain
10. Runaway ball fence
11. Restroom facilities
12. Parking
13. Trash receptacles
14. ADA access
15. Trail rest area
16. Service facility

D The Gathering Place (Group Picnic)

1. Eye of the driver park focal point
2. Major gazebo with deck
3. Canopy/shady oasis
4. Color bars on hillside
5. Adjacent to restroom/storage
6. Cooking area
7. Dispersed barbecues
8. Trash receptacles
9. Service vehicle access
10. Nearby parking
11. ADA access
12. Covered table area
13. Possible future dog park



C Upper Field

1. Window into park
2. Terraced outfield seating
3. Concession/equipment storage/ restroom
4. Bleachers
5. Backstop
6. Benches
7. Drinking fountain
8. Adventure play
9. Informal edge freeform wall/variable pitch variable parkway
10. Trash receptacles
11. Service vehicle access
12. ADA access
13. Warm-up/freeplay
14. Parking
15. Trail head

B San Elijo Field

1. Dramatic facade "encloses" corner creates "stadium feel"
2. Plaza area
3. Concession/equipment storage/ announcer's box
4. Formal edge to main street
5. Bleachers
6. Backstop
7. Dramatic grade change
8. Barbecue/seating niche
9. Fountain
10. Drinking fountain
11. Trash receptacles
12. Warm-up area/free play
13. Outfield berm and terraced seating
14. ADA access
15. Parking
16. Picnic

Note:
Landscaping will be designed to enhance park security and address maintenance issues.

This exhibit is conceptual and provided for illustrative purposes only. It is subject to change at the Tentative Map Stage.

Neighborhood Park Site

San Elijo Hills Specific Plan Amendment

Exhibit IV:14 Page IV:34

Table IV: 2**Fuel Modification Plant Material Categories**Category One - Unacceptable Species

Acacia spp.	Acacia
Bougainvillea spp.	Bougainvillea
Cedrus spp.	Cedar
Cortaderia spp.	Pampas Grass
Cupressus spp.	Cypress
Dodonea spp.	Hopseed
Eucalyptus spp.	Eucalyptus
Gelsemium sempervirens	Carolina Jessamine
Hakea suaveolens	Hakea
Juniper spp.	Juniper
Pennisetum spp	Fountain grass
Phormium spp.	Flax
Pinus spp.	Pine Trees

Category Two - Acceptable Species

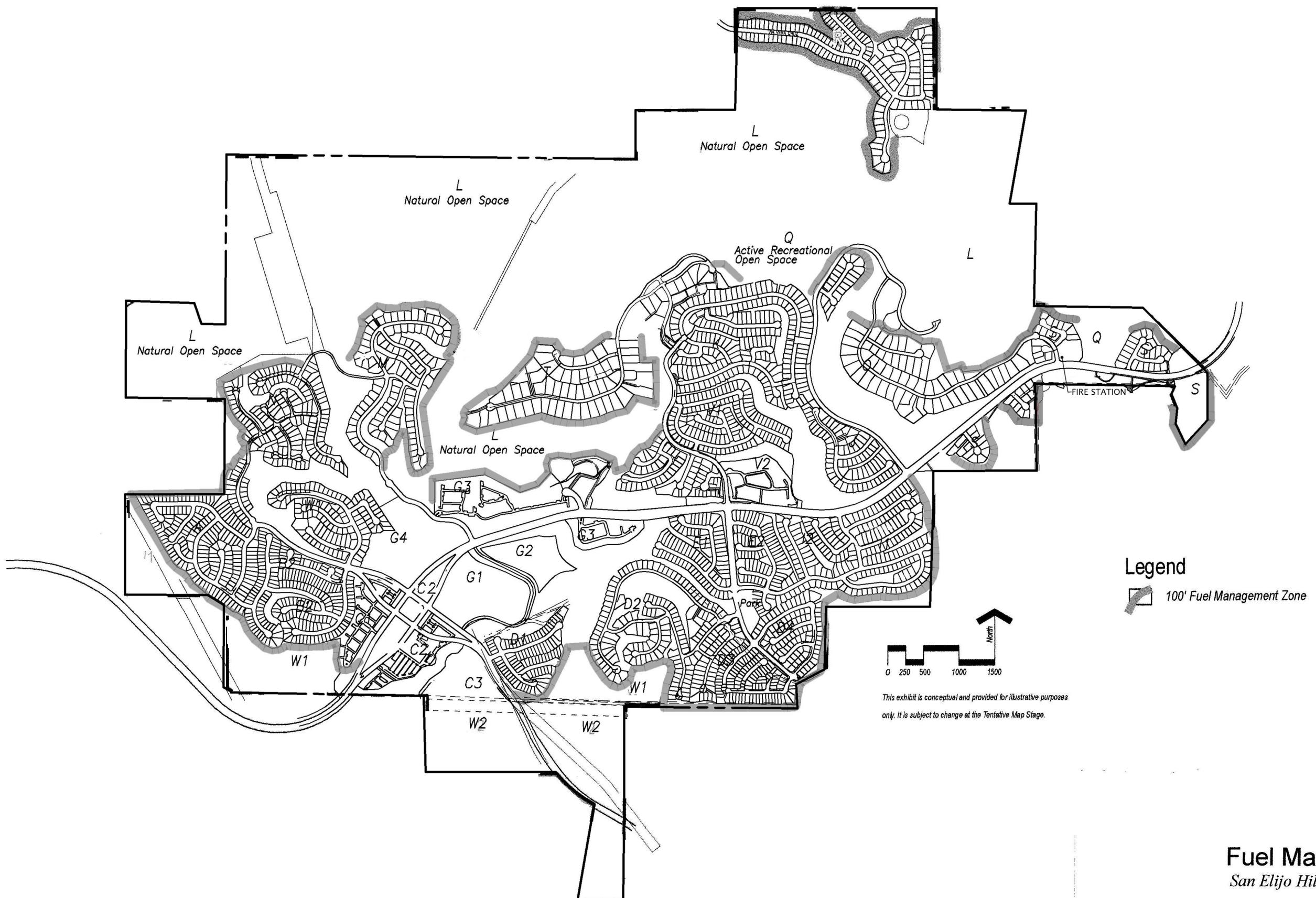
Ground Covers

Arctotheca calendula	Cape weed
Baccharis 'Twin Peaks'	Prostrate Coyote Brush
Ice Plants	
Osteospermum fruticosum	African Daisy
Phyla nodiflora	Lippia
Salvia sonomensis	Creeping Sage
Trifolium fragiferum	O'Connor's Legume
Vinca spp.	Periwinkle

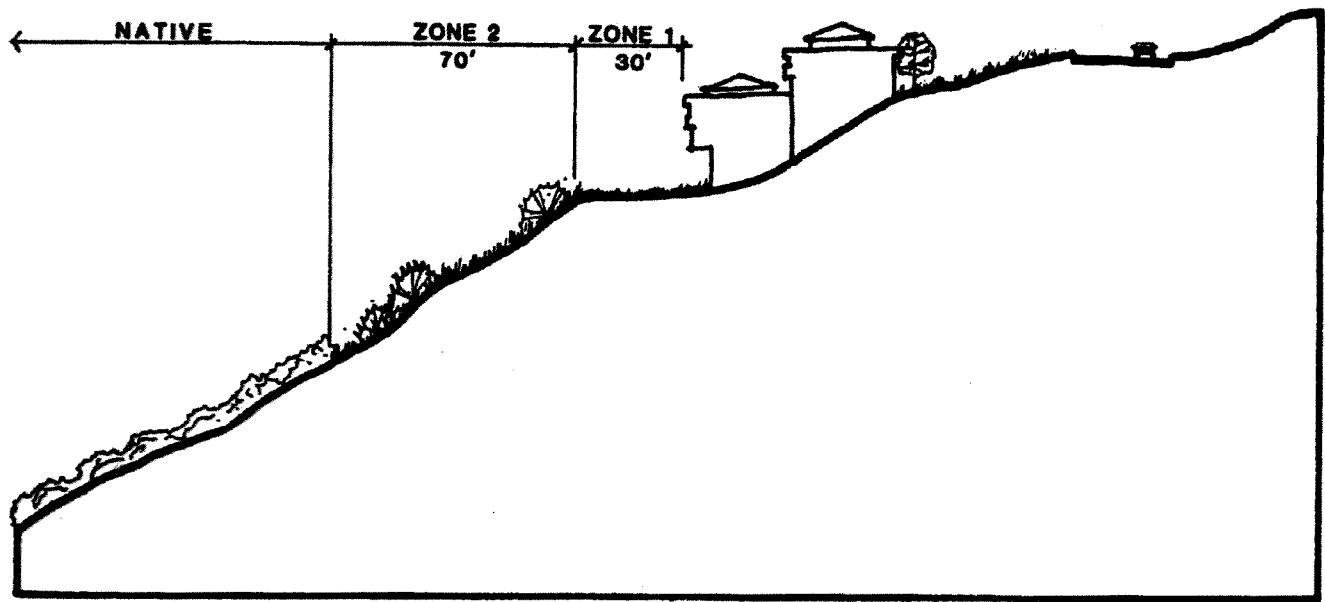
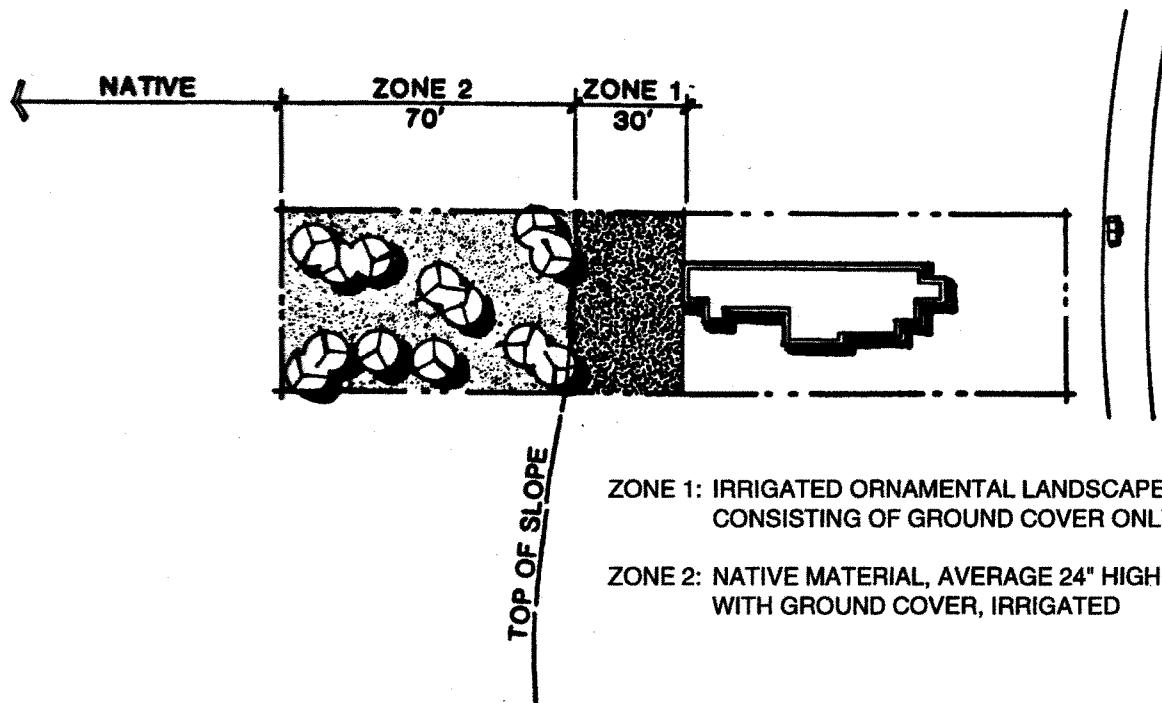
Low Shrubs

Arctostaphylos spp.	Prostrate var. manzanita
Carissa spp.	Prostrate Natal Plum
Ceanothus 'Horizontalis'	Carmel creeper
Cistus spp.	Rock Rose
Coprosma kirkii	Prostrate Mirror Plant
Crassula argentea	Jade plant
Myoporum 'Pacifica'	Prostrate Myoporum
Pyracantha spp.	Firethorn (prostrate var.)

Note: No greenery is fireproof, but plants vary dramatically in fuel load. Location, irrigation, and maintenance of vegetation are important factors

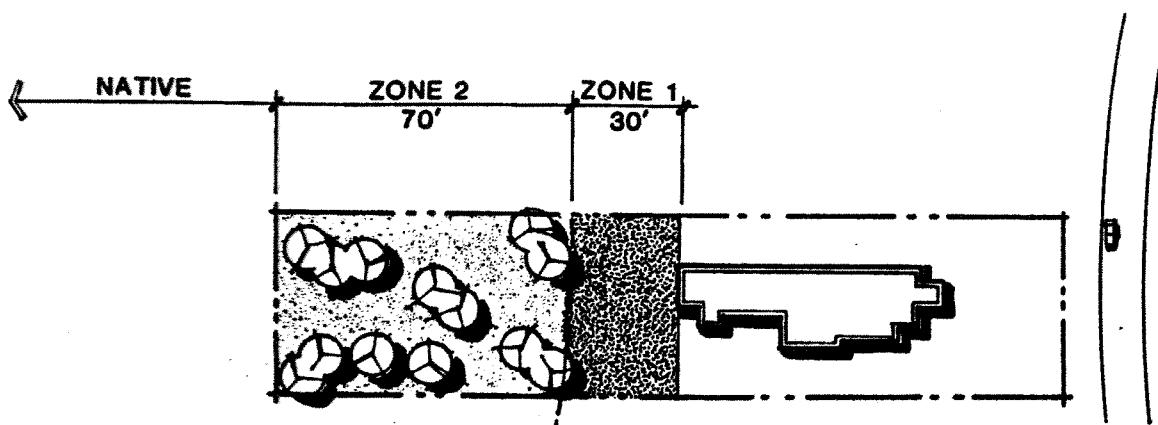


Fuel Management Zones
San Elijo Hills Specific Plan Amendment
Exhibit IV:15 Page IV:36



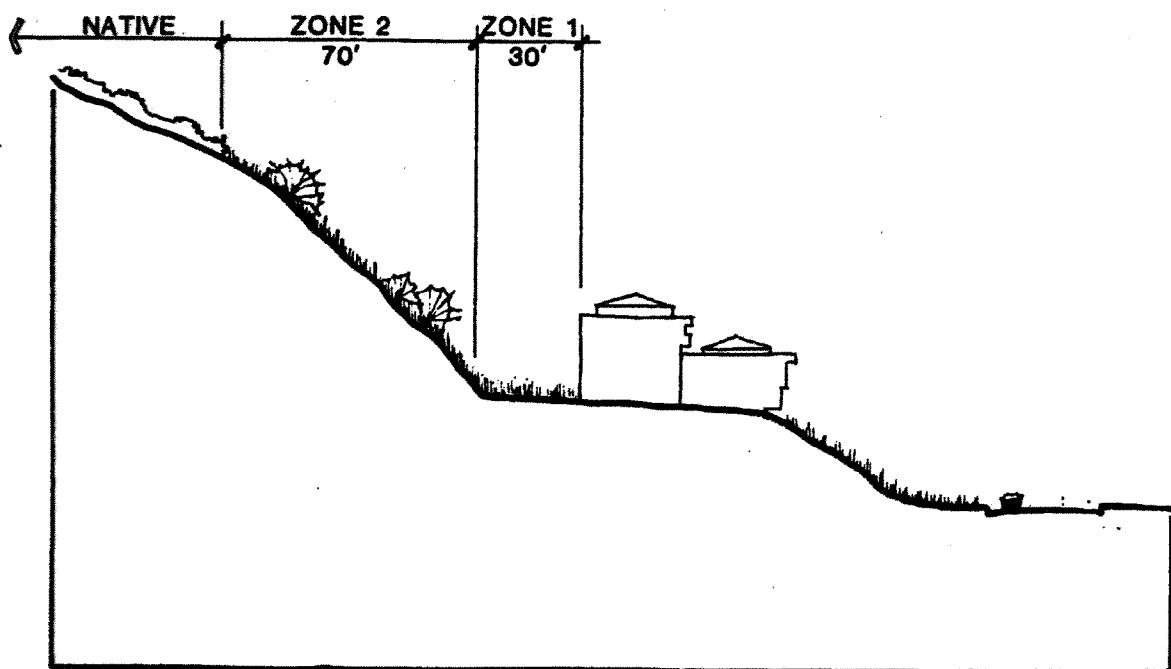
ZONE 1: IRRIGATED ORNAMENTAL LANDSCAPE
CONSISTING OF GROUND COVER ONLY

ZONE 2: NATIVE MATERIAL, AVERAGE 24" HIGH
WITH GROUND COVER, IRRIGATED



ZONE 1: IRRIGATED ORNAMENTAL LANDSCAPE
CONSISTING OF GROUND COVER ONLY

ZONE 2: NATIVE MATERIAL, AVERAGE 24" HIGH
WITH GROUND COVER, IRRIGATED



ZONE 1: IRRIGATED ORNAMENTAL LANDSCAPE
CONSISTING OF GROUND COVER ONLY

ZONE 2: NATIVE MATERIAL, AVERAGE 24" HIGH,
WITH GROUND COVER, IRRIGATED

2) Brush Removal

During construction, vegetation occurring within 100 feet of future structures shall be removed or selectively thinned. Brush removal procedures on undisturbed, natural slopes occurring within fuel management Category 2 should not involve the use of heavy machinery. Areas cleared of existing brush will be irrigated and replanted with fuel management plant materials.

3) Plant Material Transition Categories

The two fuel management categories have been established according to their proximity to structures. The intent of this is two-fold; to provide a maintainable buffer between undisturbed native plant communities and structures, and to visually blur the boundary between development and open space. The two categories are specified in Table IV: 2.

f. Walls and Fences

The wall and fence system of San Elijo Hills will be an extension of the community theme or character. Continuity of building materials and details will provide a cohesive architectural theme throughout highly visible areas of the community.

Wall and fence types have been developed to provide one or more of the following:

- Sound attenuation
- Privacy
- Containment and definition
- View Preservation
- Fence types may include: wrought iron, split rail and wood
- Solid stucco wall (4' - 8')
- Stone veneered wall (4' - 8')

All solid walls shall be of (4' - 8') concrete, masonry, stucco or stone construction. All wall materials, texture and colors shall be compatible with the design of the neighborhood area.

Fence types may include:

- Wood privacy fence (5' - 6') Not for use in areas facing major or secondary arterial streets.
- Wrought iron fence (5' - 6')
- Split rail or peeler pole fence (3' - 4')

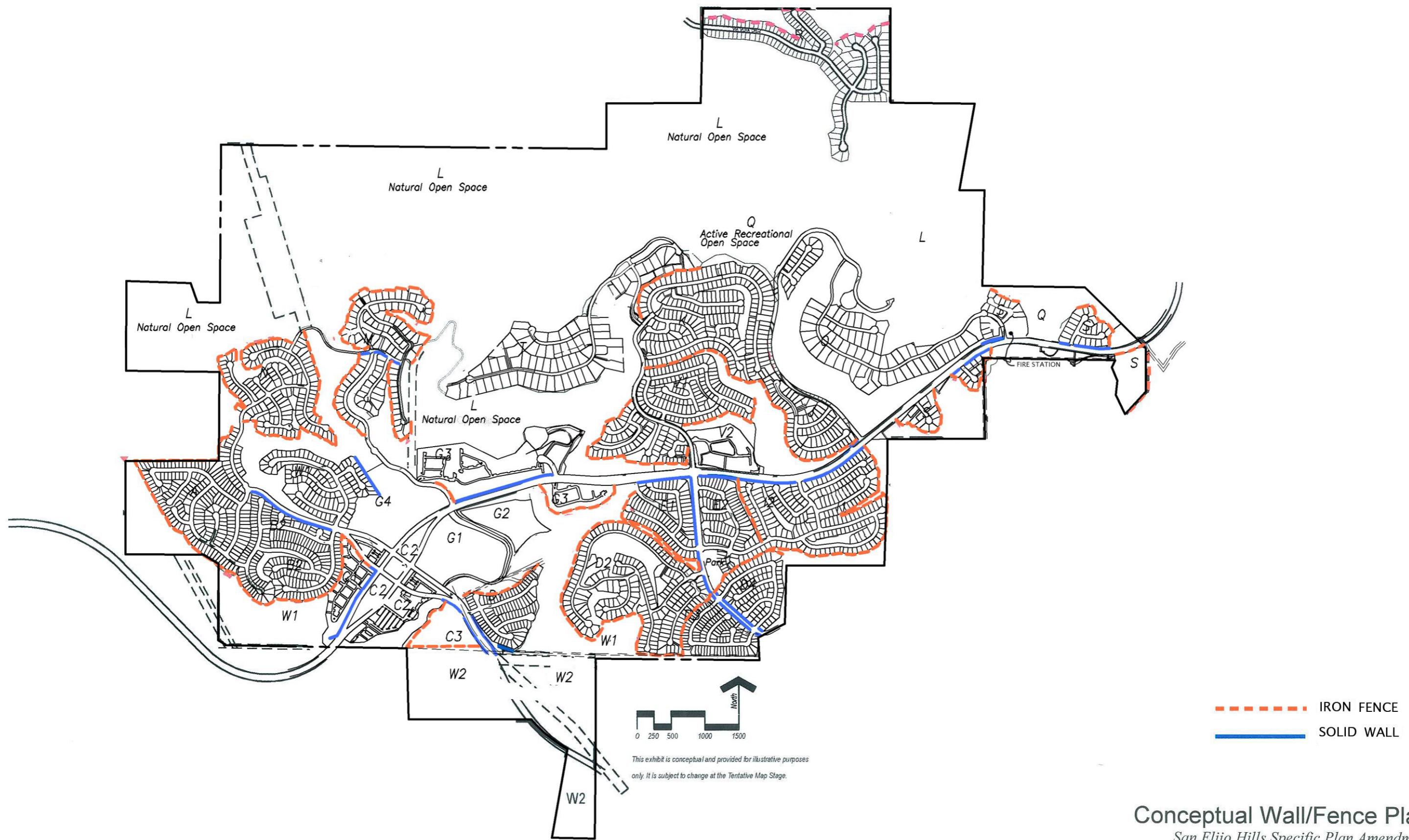
Open fencing shall be primarily wrought iron. The lower portion of these fences may be of solid stucco or stone veneered construction. As with solid walls, all materials, textures and colors shall be compatible with the design of the neighborhood area. Split

rail fencing or peeler pole is to be used as a barricade for equestrian trials occurring adjacent to roads.

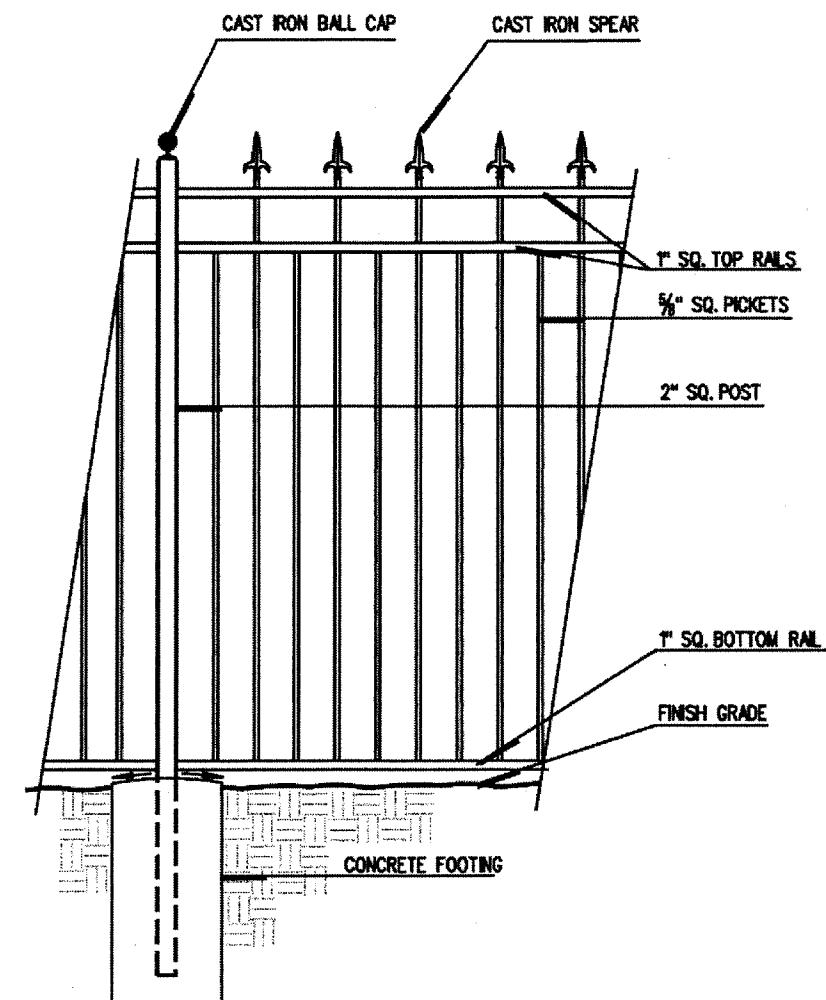
All walls and fencing within San Elijo Hills shall comply with the Conceptual Wall and Fence Plan (Exhibit IV: 187) as well as the typical elevations shown on Exhibits IV: 19 through IV: 21.

g. County Landfill Screening Treatment

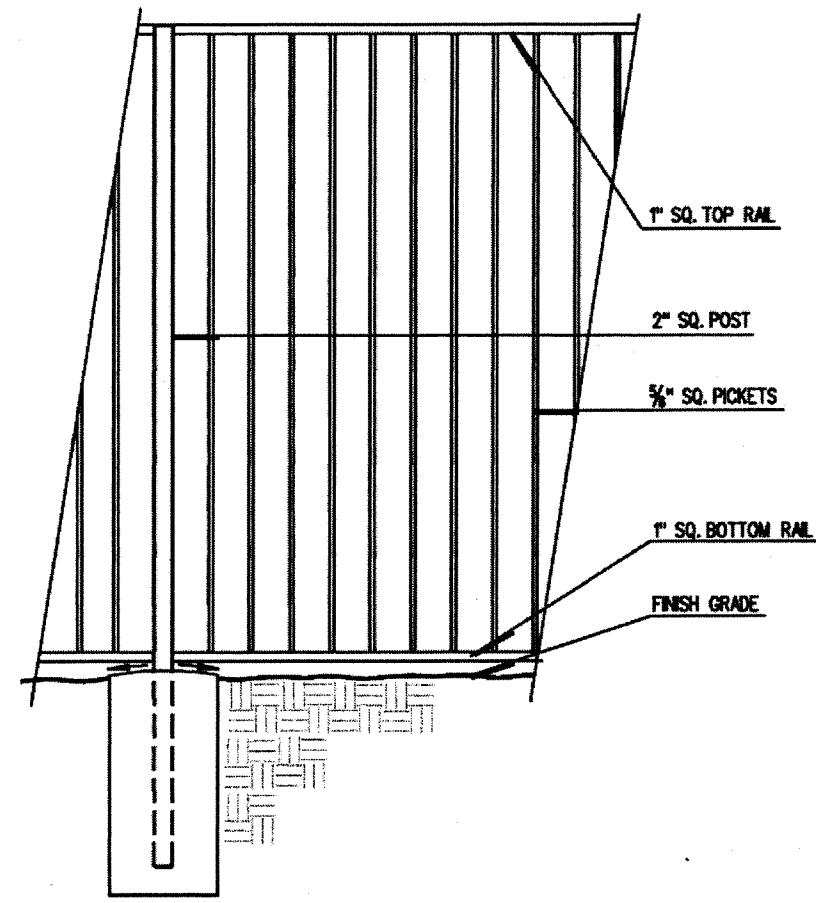
It is anticipated that the former San Marcos Landfill, which is adjacent to portions of the southerly boundary of San Elijo Hills at Planning W-2 will require the employment of screening techniques in selected areas. The use of tall, rapid growing and massive trees and shrubs will be employed to achieve this treatment where feasible.



Conceptual Wall/Fence Plan
San Elijo Hills Specific Plan Amendment
Exhibit IV:18 Page IV:41



THEME ORNAMENTAL IRON FENCE ELEVATION

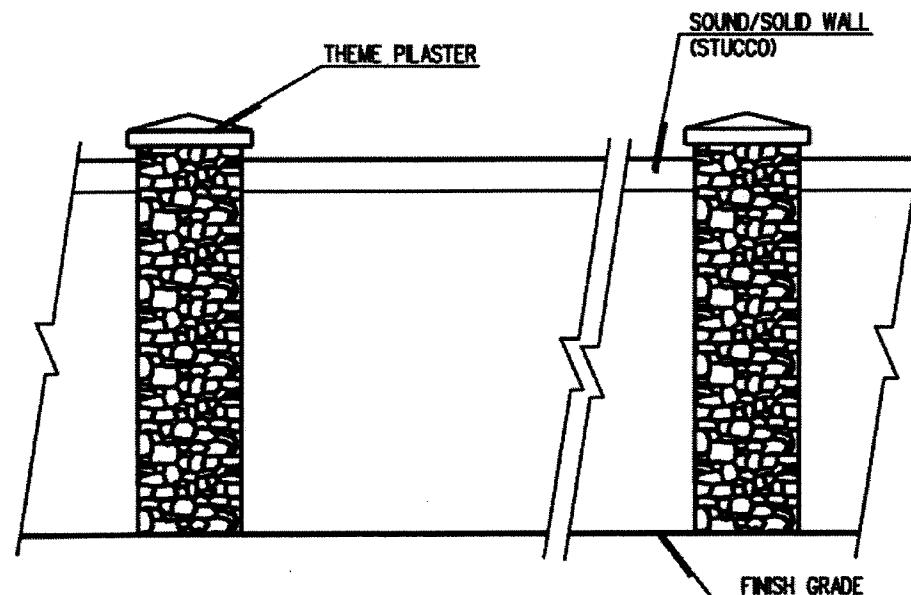


STANDARD ORNAMENTAL IRON FENCE ELEVATION

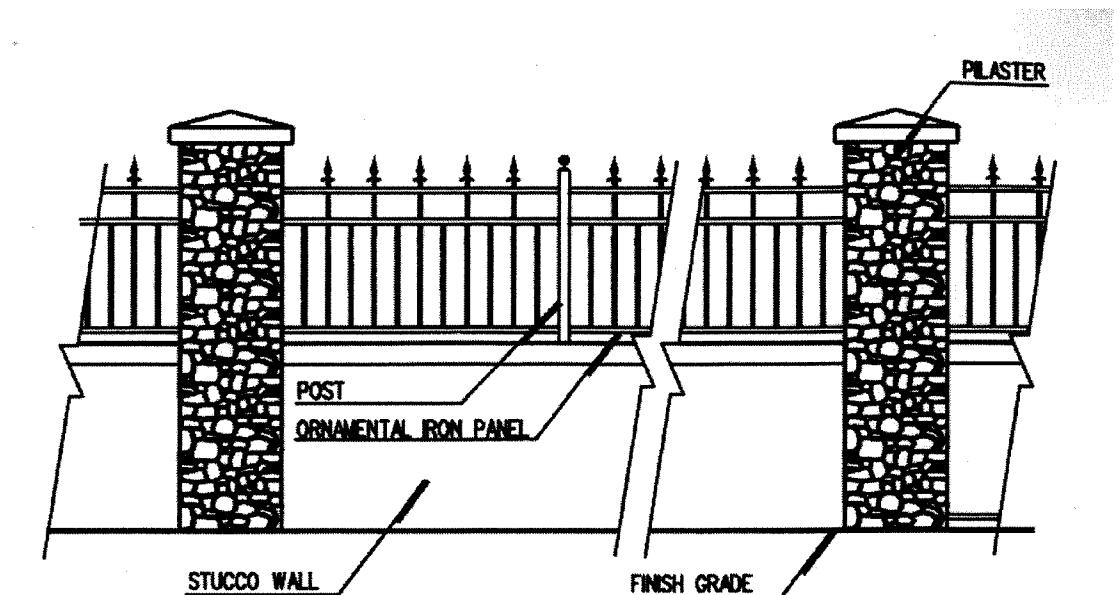
This exhibit is conceptual and provided for illustrative purposes only. It is subject to change at the Tentative Map Stage.

Conceptual Wall/Fence Elevations

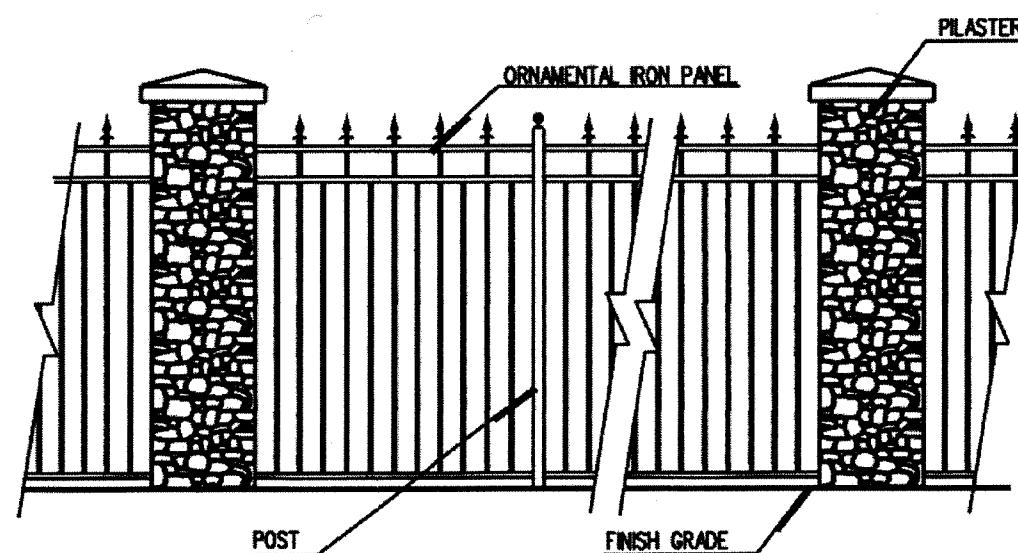
*San Elijo Hills Specific Plan Amendment
Exhibit IV:19 Page IV:42*



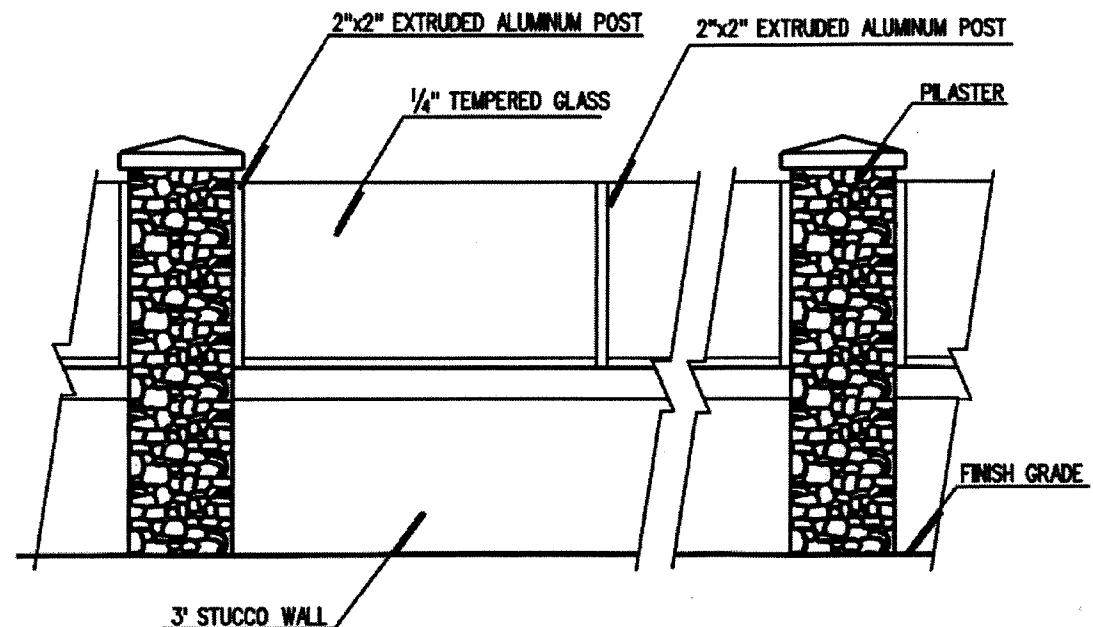
THEME SOUND/SOLID WALL
ELEVATION



THEME 3/3 ORNAMENTAL IRON FENCE
ELEVATION



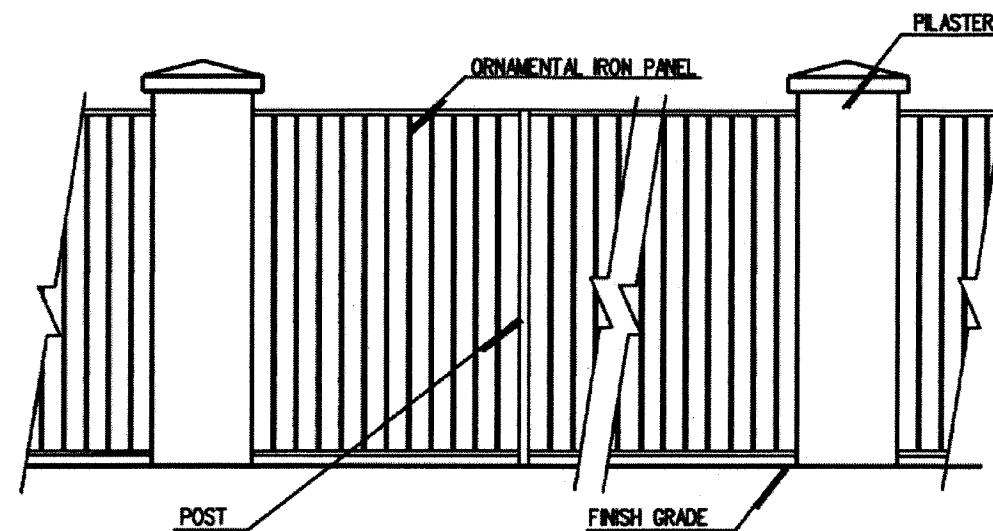
THEME ORNAMENTAL IRON FENCE
ELEVATION



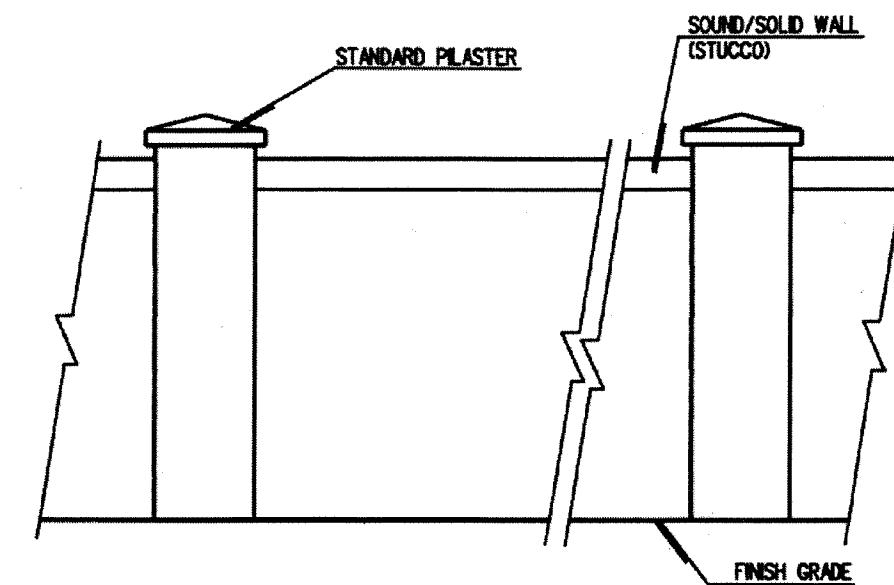
THEME 3/3 VIEW SOUND WALL
ELEVATION

This exhibit is conceptual and provided for illustrative purposes only. It is subject to change at the Tentative Map Stage.

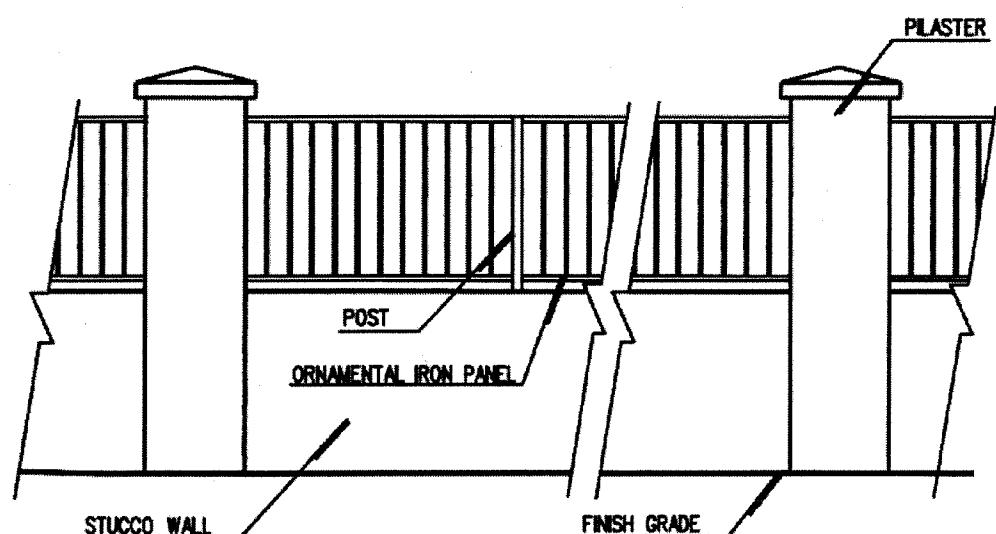
Conceptual Wall/Fence Elevations
San Elijo Hills Specific Plan Amendment
Exhibit IV:20 Page IV:43



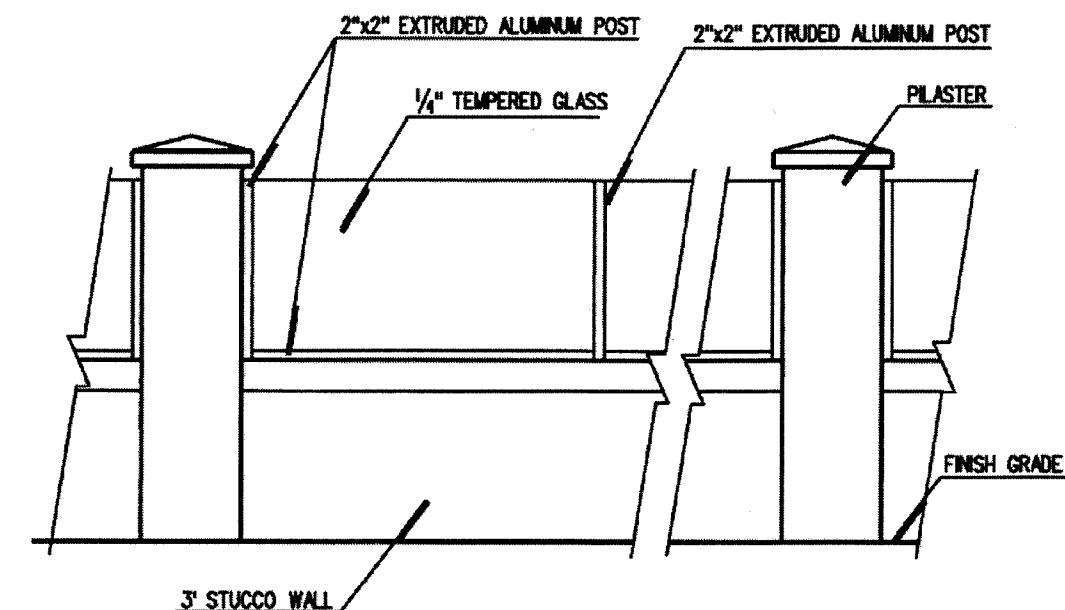
STANDARD ORNAMENTAL IRON FENCE ELEVATION



STANDARD SOUND/SOLID WALL ELEVATION



STANDARD 3/3 ORNAMENTAL FENCE IRON ELEVATION



STANDARD 3/3 VIEW SOUND WALL ELEVATION

This exhibit is conceptual and provided for illustrative purposes only. It is subject to change at the Tentative Map Stage.

Conceptual Wall/Fence Elevations

*San Elijo Hills Specific Plan Amendment
Exhibit IV:21 Page IV:44*

D. Architecture

The purpose of architectural guidelines is to create a community identity for San Elijo Hills. This will be accomplished through the implementation of an architectural design program.

The architectural design program features guidelines for residential products as well as a separate guideline for the mixed use/town center.

Guidelines for residential products reflect three architectural stylistic vernaculars. These include Southern European, Northern European, and the American Arts and Crafts Movement.

Each of these vernaculars have subsets of architectural styles. These styles include Spanish Colonial, California Monterey, Mission, Italian Renaissance, and Tuscany Revival for the Southern European; English Country, French Country, and Old World Style for the Northern European; Prairie, California Bungalow, and Craftsman for the American Arts and Crafts Movement.

Each of these styles will be combined with appropriate materials and details to reflect the diversity of homes found in California coastal neighborhoods established in the 1920s and 1930s.

Guidelines for the mixed use/town center provide for the implementation of a traditional commercial district. This type of district was common to this region prior to 1940, but today is quite rare. One unique feature of a traditional commercial district is the fact that it accommodates both commercial and residential uses.

The mixed use/town center proposed for San Elijo Hills incorporates urban features and a specific layout that will enhance the overall quality and livability of the zone.

Structures will have a unified architectural character that is based upon traditional California styles of retail/commercial buildings.

1. Residential Architectural Guidelines

The following pages outline requirements and illustrate examples of residential architectural styles and details. These examples are encouraged to be incorporated into the residential housing products proposed to be constructed at San Elijo Hills.

a. Building Mass

1. Masses shall be derived from proportionally varied rectangular or spherical volumes.
2. Long, unbroken faces without offsets are not allowed. Offsets and breaking up of building mass shall be provided and articulated.
3. Unit depths should be varied to provide interesting front and rear setbacks, especially at corners.

4. Entries shall be individualized and identifiable elements of the building massing.
5. One-story plans and one-story elements on two-story buildings are encouraged to soften building massing.
6. Window projections and recesses, second-story overhangs, chimneys, balconies, shade structures, one-story projections and garden walls should be used to create interest and articulate massing and building facades.
7. Massing should be made up of simple bold forms with interior spaces relating to the form of the exterior elevations.

b. Roofs

1. Roofs shall be concrete tile, clay tile or slate. Wood shake/shingle may be used if approved by the Fire Marshal. Standing seam metal roofs may be used in the Estate areas.
2. Barrel or flat shape roof materials may be utilized depending on architectural style.
3. Flat roofs are prohibited.
4. Roof pitches for the main area of the home shall be typically from 4:12 to 10:12 depending on style. In no case shall a building main roof slope be less than 2:12.
5. Use of a variety of roof forms such as hip, gable, etc. should be utilized within each planning area. Roofs are encouraged to be provided in side to side and front to back when possible to add variety.

c. Materials

1. Exterior plaster, stucco or wood siding shall be the primary wall surface material depending on style.
2. Heavy textures such as Spanish lace, swirl or heavy trowel are not acceptable.
3. Exposed wood shall be either resawn or rough sawn. S4S wood is discouraged. Wood accents are encouraged for posts, beams, handrails, window trim, spindles, vents, grills and shutters.
4. Masonry is encouraged to be used as an accent in the form of brick, stone or cast concrete masonry products as ornamentation at door and window surrounds, wainscot, wall caps, and columns. Use of on-site indigenous stone is encouraged.

5. Glazed tile and simple glass block are permissible as an accent.

6. Balconies, stairs, porches, railings columns and other details are encouraged. Wrought iron railings may be used as long as they are decorative.

d. Colors

1. Colors should reflect the context of the architectural style.

2. Variations in home colors within each planning area are encouraged to promote identity and individuality.

3. Accent colors should be utilized as a method of design to allow for individual expression and identity, while being applied sparingly.

4. Roof colors shall also be in the context of the architectural style. Color variations in roofs within each planning area are encouraged provided a complimentary appearance is maintained.

e. Windows

1. Window and door units shall be of a consistent style on all elevations.

2. Windows shall have a vertical dimension equal to or greater than the horizontal dimension.

3. Recessed doors, window and wall openings are encouraged.

4. Window and door accents such as shutters, trim, headers and/or keystones are encouraged to add individuality.

5. Mullions in windows, bay windows, and French doors are encouraged to add variety to the glazing of the buildings.

f. Entry/Entry Doors

1. The main entry into a building shall be sheltered and provide a transition from outdoor to indoor space.

2. Entries shall be sheltered with a minimum of an 8" recessed opening or a 2'-0" covering.

3. Entry doors shall be high quality and painted in an accent color.

4. Plain doors are discouraged, raised panel doors are encouraged.

g. Outdoor Rooms

1. The climate of Southern California encourages a casual relationship between the interior and exterior of a home. It is therefore required that every building have at least one area consisting of a balcony, deck, courtyard or patio.

h. Garage Doors

1. Garage doors shall be simple in design and compliment the architectural style. Accent colors for the garage doors are encouraged to highlight the architecture and provide variety in the streetscape.
2. Doors should be recessed a minimum of 12 inches from adjacent walls and architectural pop-outs to give relief and shadow.
3. Setbacks in attached garages should be staggered in multifamily planning areas.
4. Three-car garages should be in single door form or split into two car and one car panels.
5. Detailed garage door headers are encouraged to add individuality.

i. Exterior Stairs

1. Exterior stairways are encouraged to compliment the architectural massing and form of a building.
2. Railings should be integral and should have detail.

j. Walls and Fences

1. Fences and walls are encouraged to provide security, privacy, and landscape definition. Fences and walls should be designed to be consistent in treatment with the main buildings.

k. Building Details

1. Mechanical Equipment - All air conditioning/heating equipment, soft water tanks, gas meters, and electric meters shall be screened from public view. Sound attenuation is encouraged.
2. Gutters and Downspouts - Gutters and downspouts should be concealed, visually minimized or designed as a continuous architectural element. Colors shall match or complement the surface to which they are attached.
3. Due to the sloping nature of the estate lot planning areas and the high visibility of these areas, special attention to

placement of satellite and dish antennae through screening, must be provided. Screening and placement criteria for satellite and dish antennae shall be added to all applicable CC&Rs. All antennae are restricted as provided for in Chapter IV, Section J.

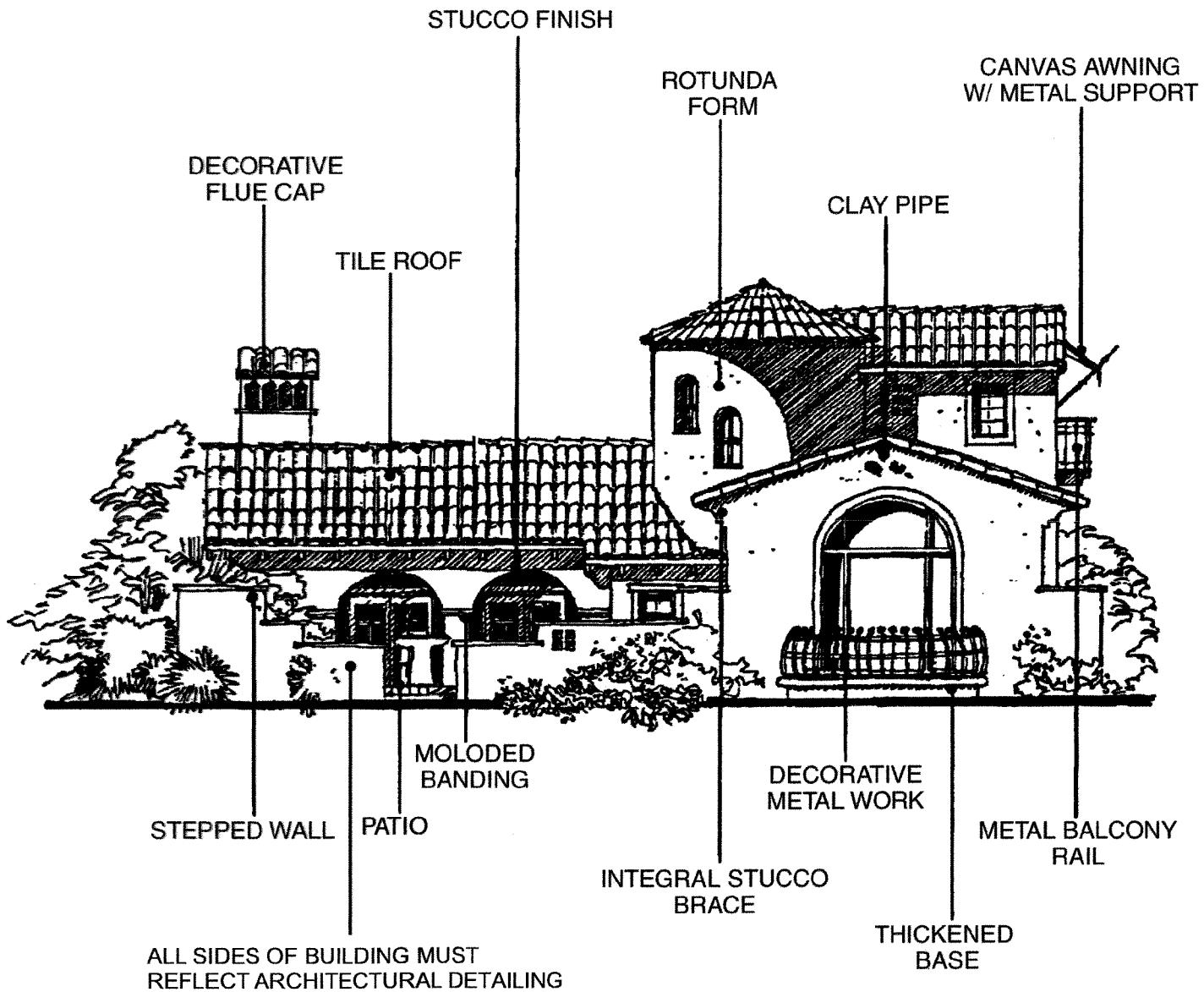
4. Flashing, Sheet Metal and Vents - All flashing, sheet metal, vent stacks and pipes shall be painted to match adjacent building surface.
5. Skylights - Skylights are to be designed as an integral part of the roof. Their forms, location and color should relate to the building.
6. Solar Panels - Solar panels are to be integrated into the roof design, flush with the roof slopes. Frames must be colored to compliment the roof. Natural aluminum frames are discouraged. Support solar equipment shall be enclosed and screened from view.
7. Awnings - Canvas awnings of solid accent colors are permitted in moderation.
8. Accessory Structures - Patio trellises, pergolas and other exterior structures shall be of stucco or wood with finishes complimenting the architecture of the main building. Rough sawn wood is encouraged. Metal accessory structures are not allowed.
9. Decorative Accents - Clay pipe wall vents, decorative wall tile, floor pavers (concrete, clay or stone), fountains, benches, and flower pots are all elements that can add to the overall appearance.
10. Chimneys - Use of decorative chimneys and chimney caps as an architectural accent is required.
11. Mailboxes - ganged boxes, individual or boxes on posts shall be provided, with a consistent design within each area.

I. General Guidelines for Single Family Cluster Detached Products

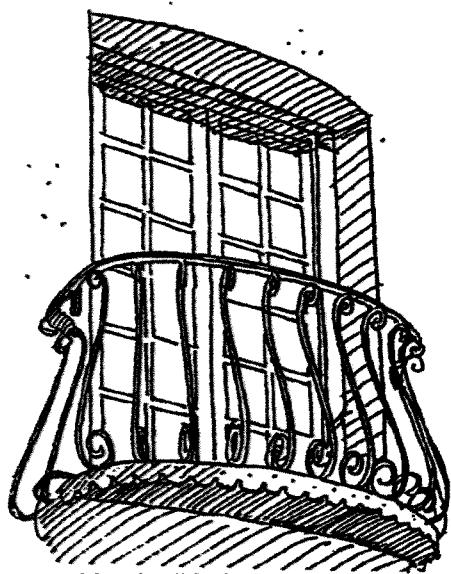
1. Vary front building setbacks. De-emphasize garage doors by providing units with parking at rear of lot and also by providing side entry garages.
2. Emphasis on interior court landscaping.
3. Guest Parking: eliminate on-street parking, except guest parking which can be provided in either parallel or head-in bays, on courts or private streets.
4. Strict CC&Rs enforcement of resident use of guest stalls, garage parking rather than storage in garages. No parking shall be allowed in driveways where the vehicle may block a public sidewalk.

m. Remodeling and Additions

1. All architectural remodeling and additions shall be compatible with the original structure and its design elements.
2. Hard surfaced areas (walks, driveways, patios, etc.) shall be designed as an integral part of the architecture and site layout.



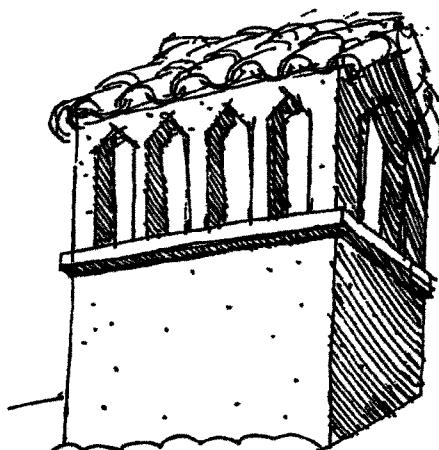
This style uses decorative details from the entire history of Spanish Architecture and includes extensive Moorish influences. The building is often organized around a central court or patio. The layout of the building is informal and the major forms shall be rectangular with features such as arches, rotundas and picture windows highlighted on elevations. Roof forms shall be gable, hip, or shed with a slope between 2:12 and 5:12 with a 'S' shape or barrel type roof tile. Overhangs vary from 0" to 2'-0" with exposed rafter tails or built up stucco soffits. Entries are situated in a colonnade, rotunda or a porch. Wall materials are stucco with battered wall elements or a thickened base or wainscot. Detailing of the elevations is subdued and eclectic, using detailed elements as an accent. The following sketches are offered as a guide in deployment of this style.



Metal rail balcony



Plaster grill vents



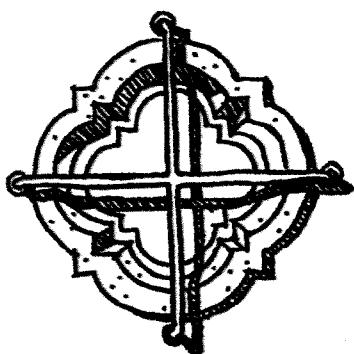
Decorative chimney caps



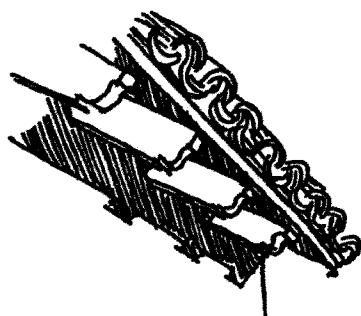
French doors, plaster wainscot



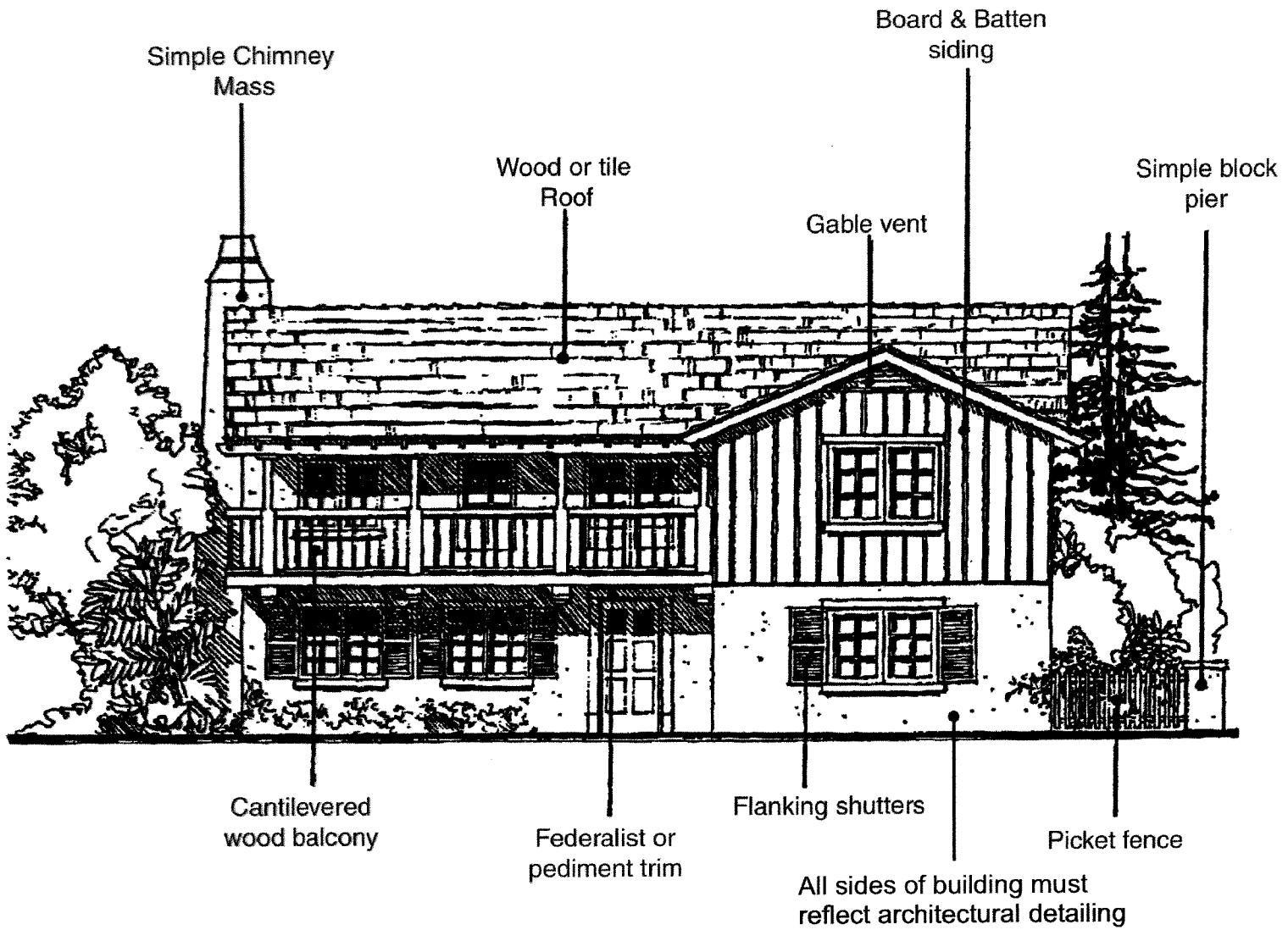
Clay tile pipe, shutters



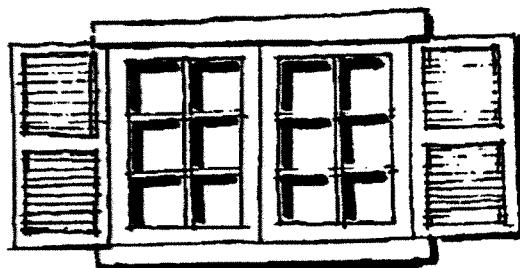
Decorative window w/
metal bars



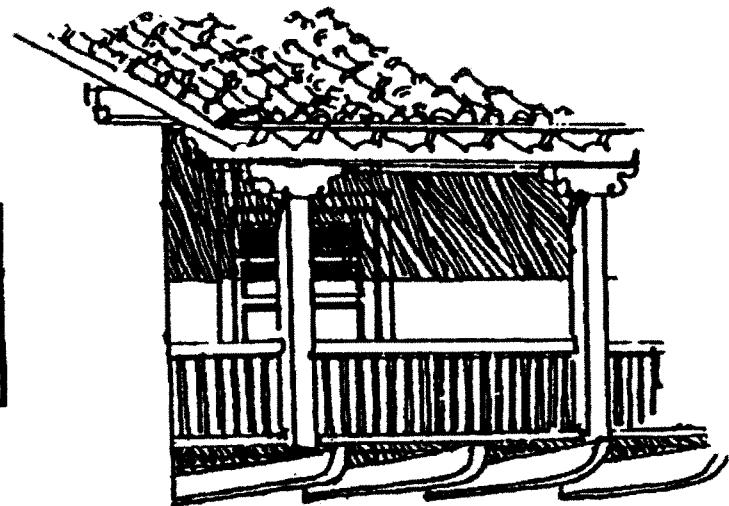
Rafter tails, clay tile



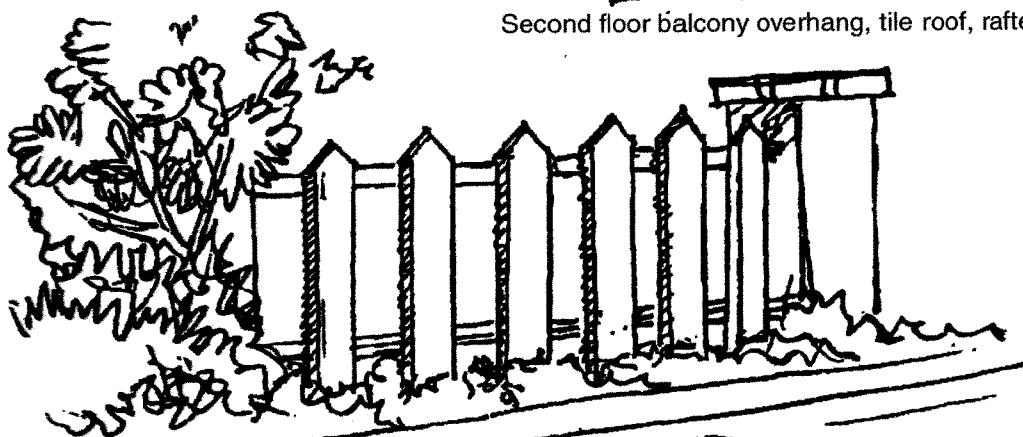
The California Monterey style is a hybrid of two styles. The style, first developed in the Monterey Bay region of Central California in the mid nineteenth century, is an Anglo-influenced Spanish Colonial style. It employs simple rectangular forms, gable roofs and less elaborate ornamentation than Spanish Colonial. Massing is very simple. Smaller rectilinear forms shall be arranged off a central rectangular mass. The first floor is usually subordinate to the upper story by the use of a continuous second floor balcony supporting an unbroken roofline. Roof forms shall be gable, with an occasional shed with slopes between 3:12 to 5:12. Overhangs are 1'-6" to 4'-0" and rakes are 6" to 1'-6". The exterior elevations are more rustic than refined. The entry is informal and is located under a large protected eave colonnade or second story balcony. Wall materials are stucco and wood siding. Balconies and colonnades shall be wood post and beam construction, with wooden railings. A base or wainscot of stone or brick may be employed as a rustication element. Roofing materials shall be a low profile or flat tile reminiscent of wood shake. The following details are offered as a guide in deployment of this style.



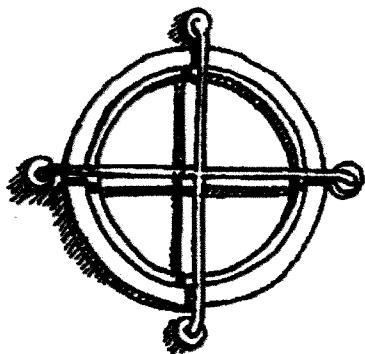
Shutters, casing at head and sill



Second floor balcony overhang, tile roof, rafter tails



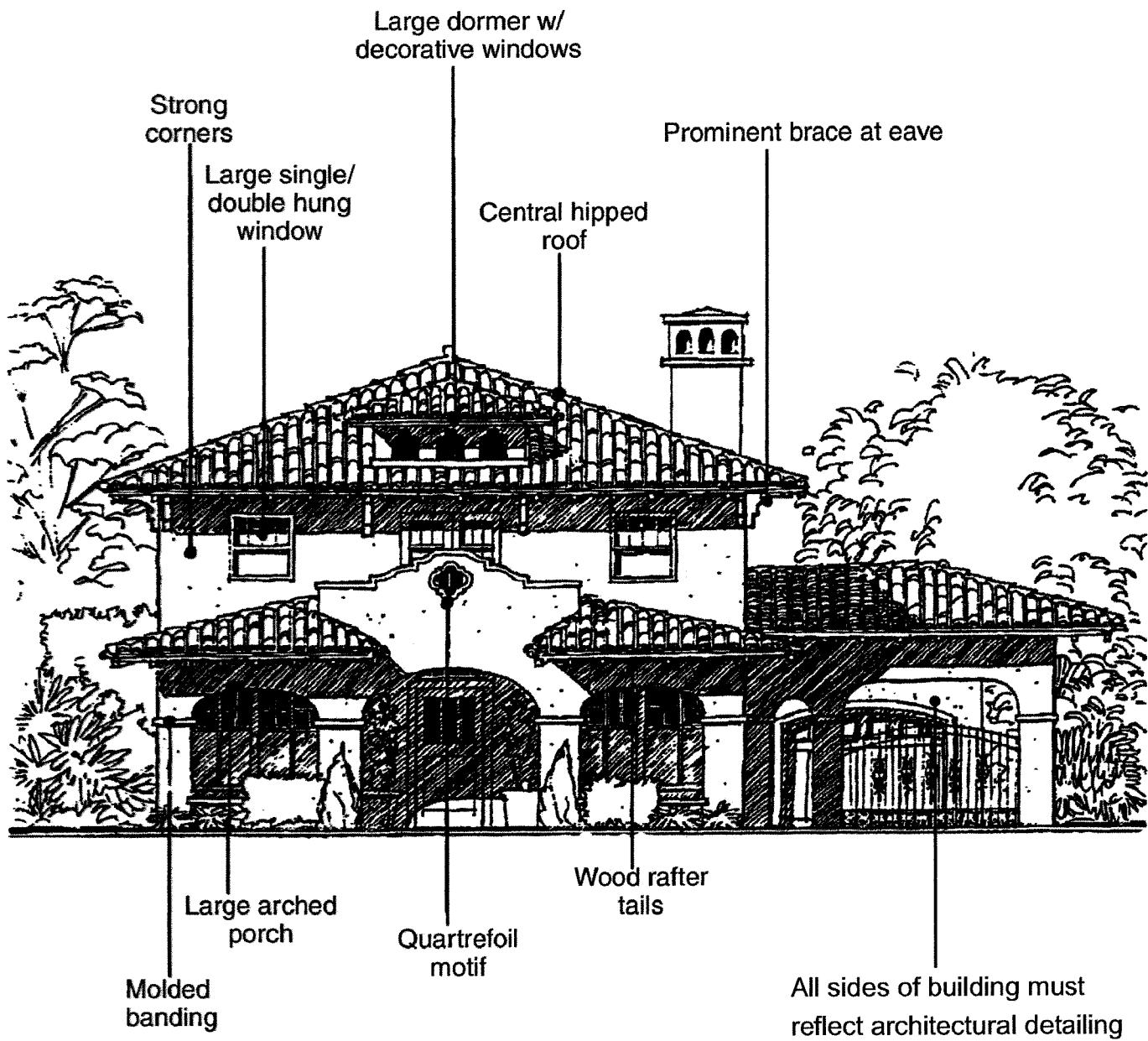
Picket fence w/ block pier



Round window w/ metal bars



Pediment casing, slatted gable vent, wooden rail, minimal rake overhang

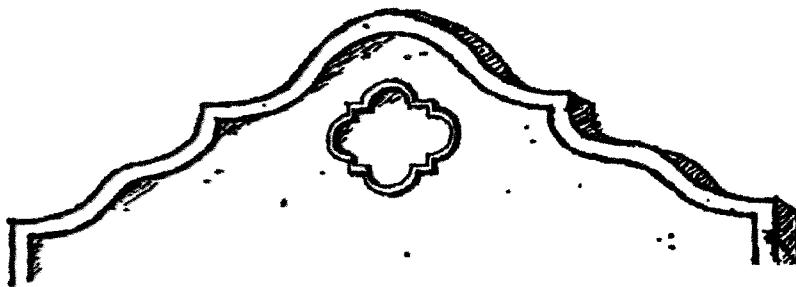


As the name implies, the Mission style is a derivative of the California Missions of the 17th century with heavy massing, ornate parapet forms, and liberal use of arched openings. The organization shall be rectilinear or square with a large central mass to which add on elements are attached. A decorative parapet over a one-story porch, employing segmented arches, semi elliptical, or square openings shall be used to signify the front entry. Roofs shall be of a hip form. A wall with a stepped parapet should conceal the elevation of gable forms. The slope of the roof shall be 4:12 to 7:12. Eaves shall have overhangs of 2'-0" or greater. The eaves may be concealed with decorative braces or open rafter tails. This style employs stucco as a dominant finish material; brick or stone is also used. The roof material is a 'S' type mission or barrel tile. Exterior detailing is subdued and is used at a few key locations such as the front parapet façade and at the arcade openings. The following details are offered as guides in deployment of this style

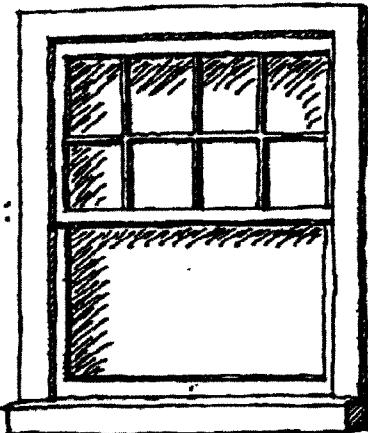


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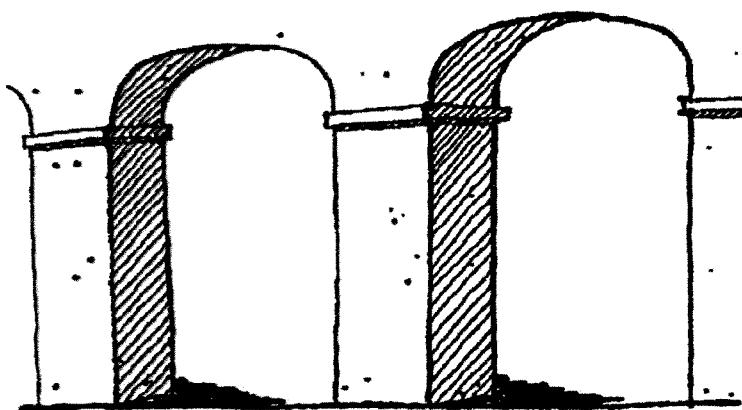
Mission-Concept
San Elijo Hills Specific Plan Amendment
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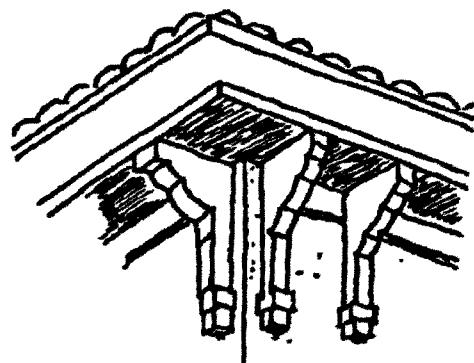
Mission shaped parapet w/ quatrefoil window



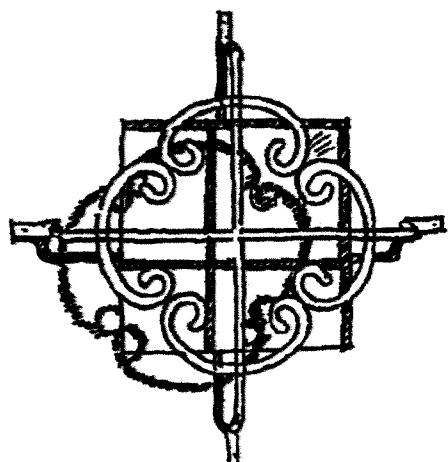
Large single hung window



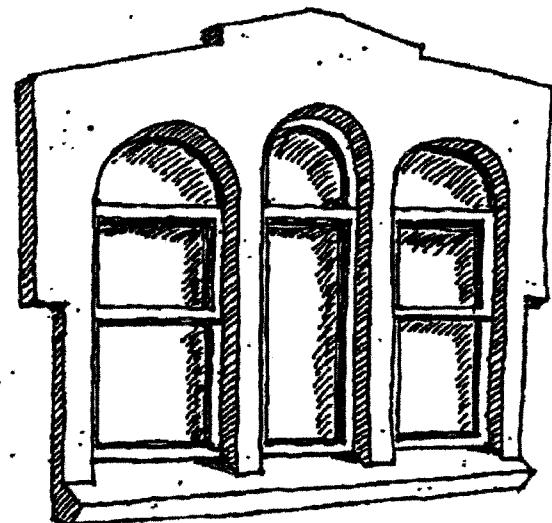
Semielliptical arches w/
banding at spring line



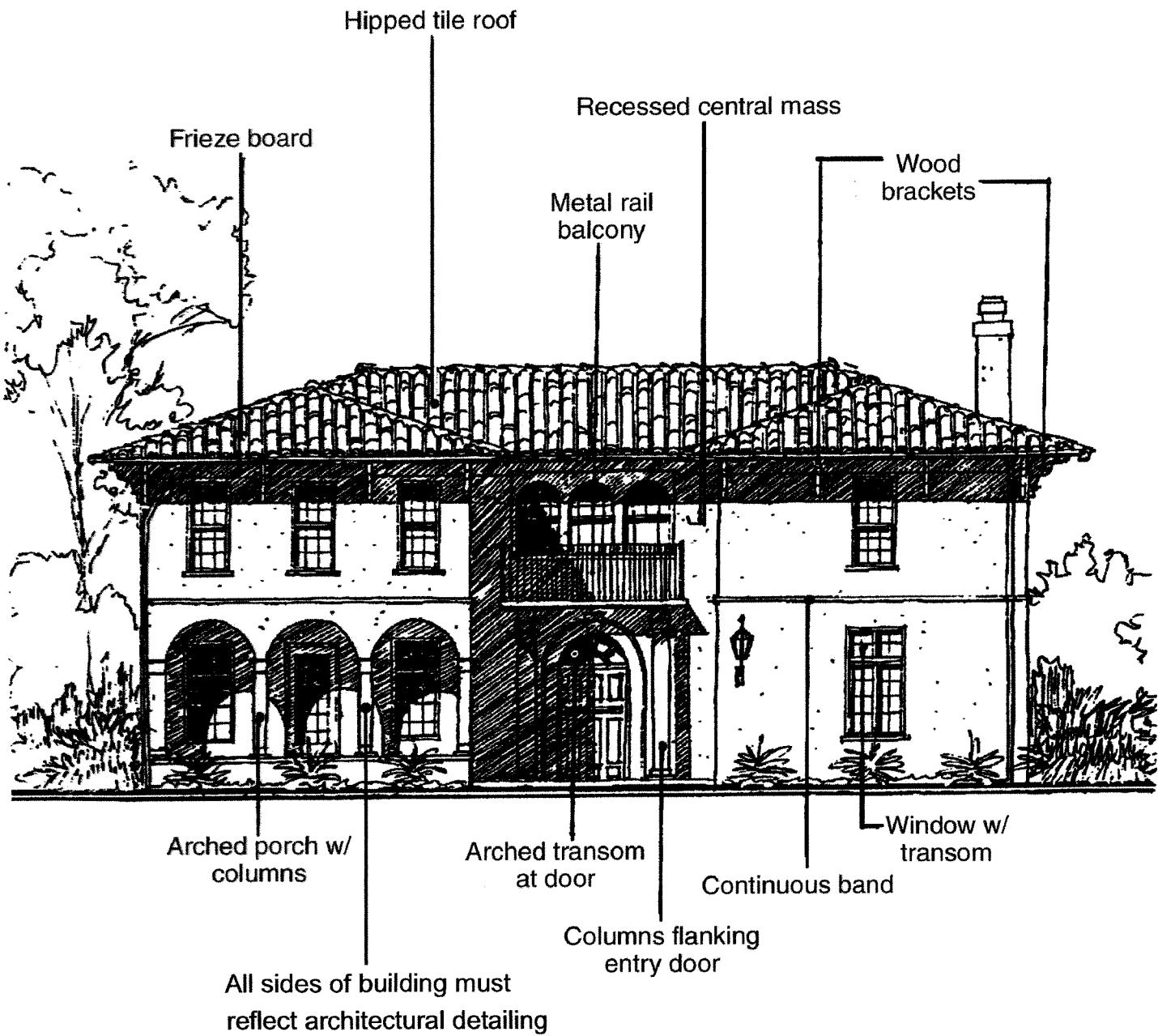
Roof braces w/ large overhang



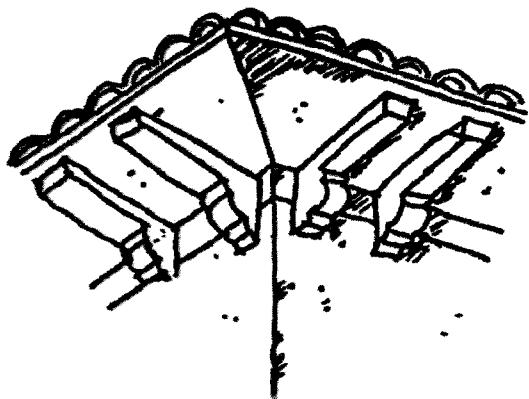
Decorative metal work



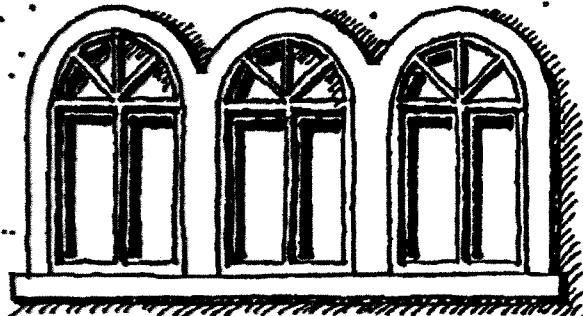
Casing around prominent window



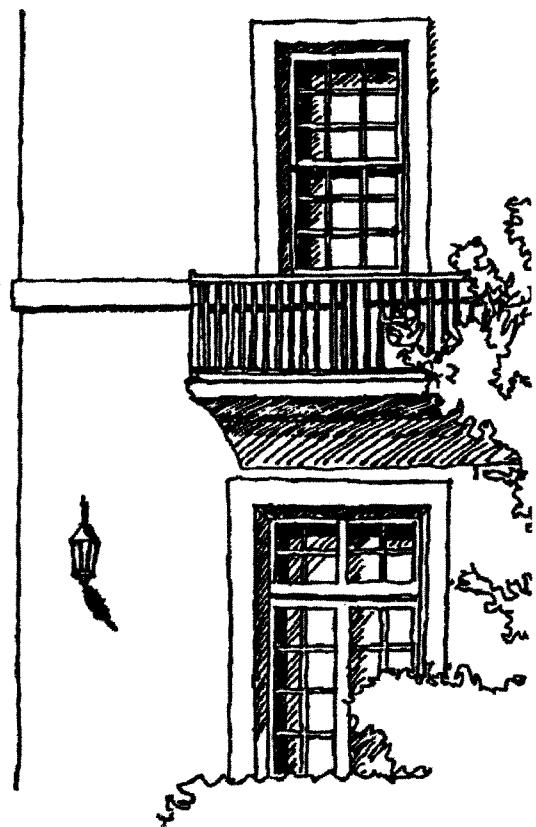
Developing its form from the Italian Palazzos of the Renaissance, the neo classical roots are clearly expressed on the elevation and the plan. The rational and symmetrical layout of the building is organized around a central rectangular mass with a large hipped roof. Additional subordinate masses may be utilized to flank this mass. A front porch shall be designed as part of the entry or independent of it. The form of the building is symmetrical with the entry located at the mid point, with a Palladian type porch having a central arch flanked by columns. The roof overhangs are soffited with carved brackets supporting the eaves. The roof pitch should be 4:12 to 6:12 with overhangs greater than 1'-6". The walls shall be finished in stucco, brick, or stone. The detailing is classical in a subdued manner, neither ornate nor barren. The following details are offered as a guide in deployment of this style.



Roof braces w/ frieze board



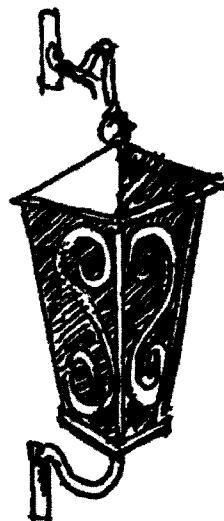
Series of arched windows
w/ fan transom



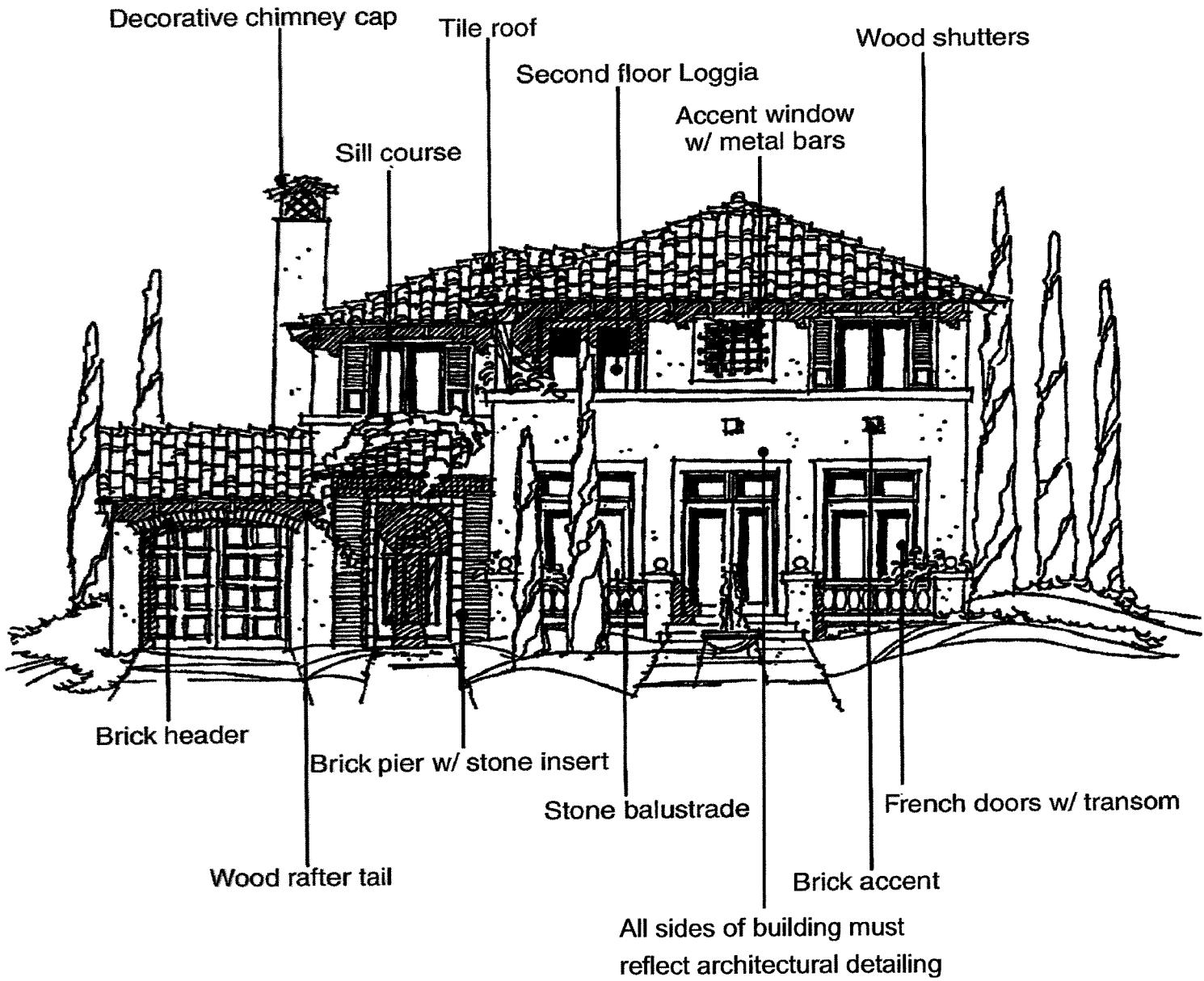
Aligned window and door units
w/ casting, metal rail, banding



Palladian composition entry



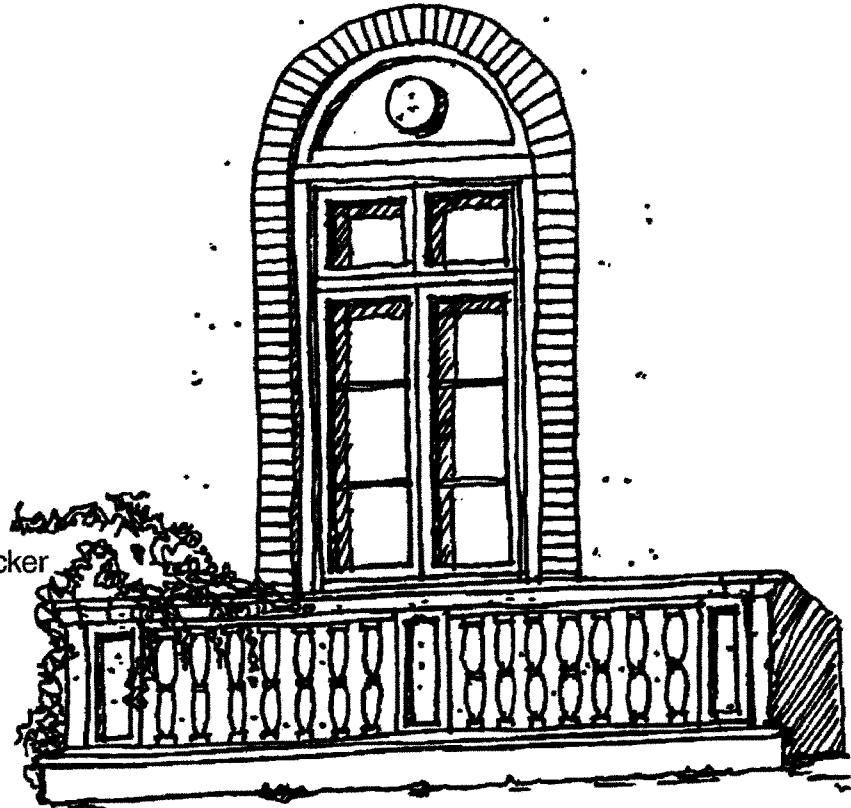
Decorative lamp



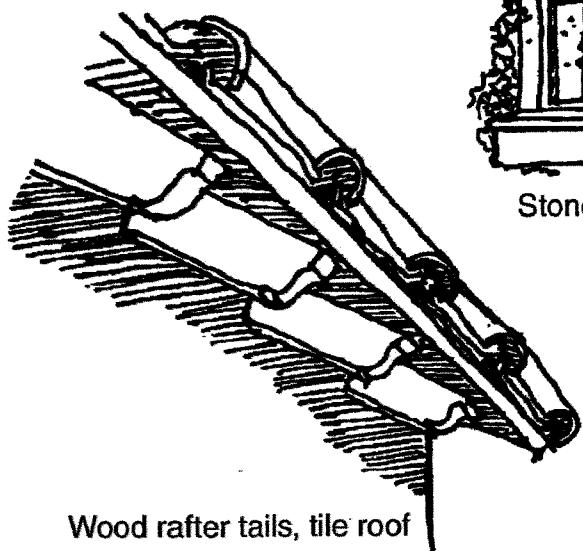
Developed from the Renaissance onward, the Tuscany Villa strives to become a part of the surrounding landscape through sheer mass and color. These homes are two stories or greater. There is one central rectangular mass with a large hipped or gabled roof. Additive masses shall use hipped, gable or shed roofs and be subordinate to the main roof. Overhangs are 2'-0" and contain wood rafter tails at the eaves and wood ridge beams at the rakes. The roof slopes are between 4:12 and 6:12 with blended 'S' tile. The entry shall be protected by a loggia or by a recessed or a framed opening. A square tower element may rise along the central mass and first and second loggias are often utilized and composed of segmented or full arches. The walls are finished in stucco, brick, or stone. A mix of materials is encouraged to enhance the rustication of this style. Detailing is used in a subdued, heavy manner and not to be ornate or barren. The following details are offered as a guide in deployment of this style.



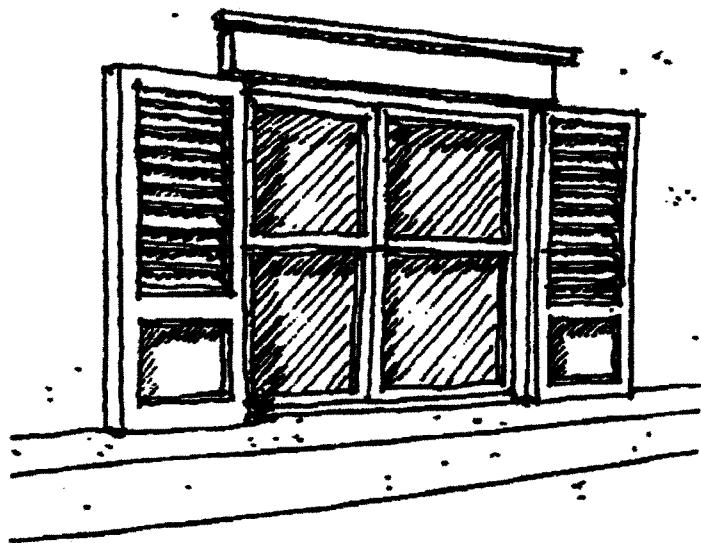
Arched entry, wood door w/ knocker



Stone ballustrade, french doors w/ transom, brick casing



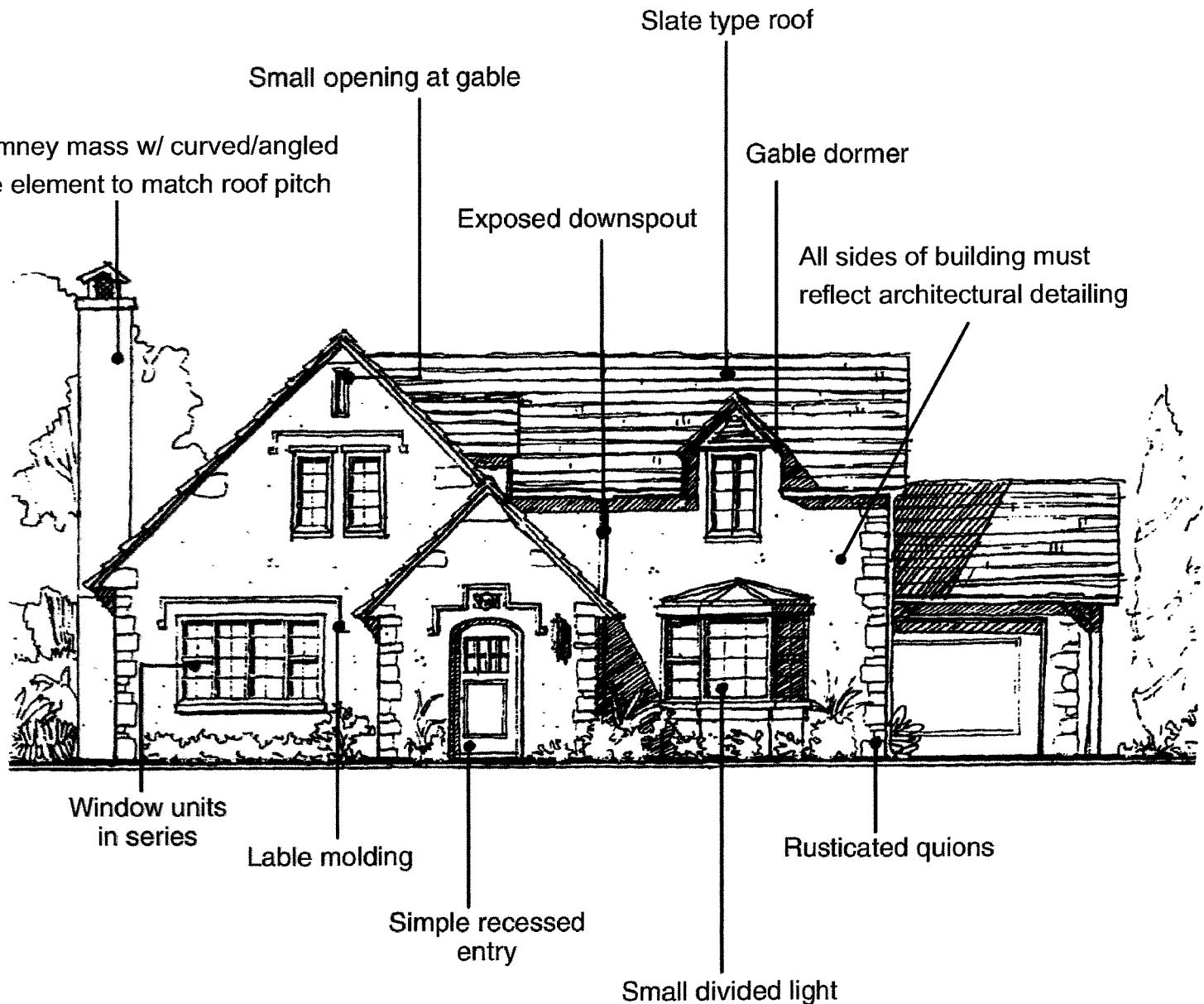
Wood rafter tails, tile roof



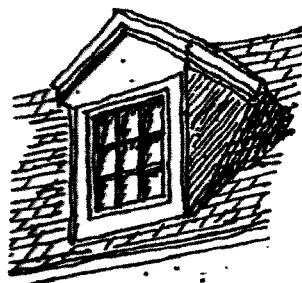
Sill course, header casing, wood shutters



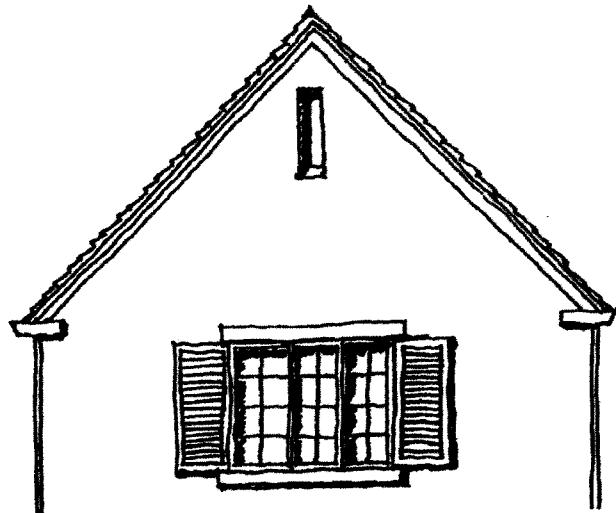
Decorative chimney cap



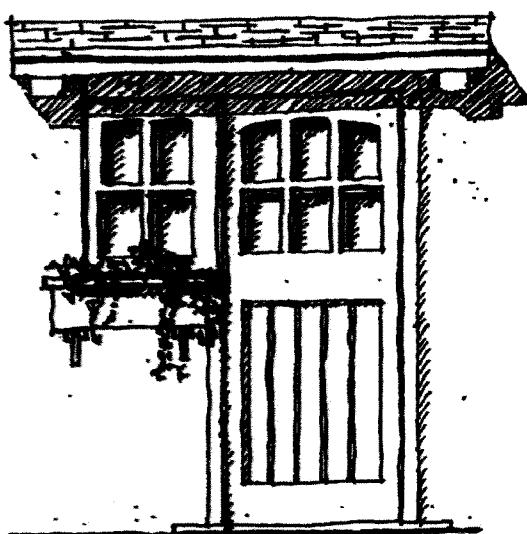
Taking cues from English Gothic, this style is in the Romantic traditions of the 19th century. These homes shall be one and a half or two stories. The massing is composed of numerous rectangular parts, which interlock and are articulated with strong gable forms. An asymmetrical composition of form with projecting bow or bay windows, dormers, and varying plate heights, roof lines and masses are typical. Roof forms are predominately gable with an occasional half hipped roof with overhangs between 1'-0" and 2'-0" and slopes of 5:12 and 12:12, and open soffits with 2x rafter tails. The finish material is stucco with brick accents or rusticated quoins as accents. Roofing material is flat tiles representing slate or wood shakes in texture and color. Detailing relies on a subtle use of various components which gently add to the picturesque quality of the style. The following details are offered as a guide in the deployment of this style.



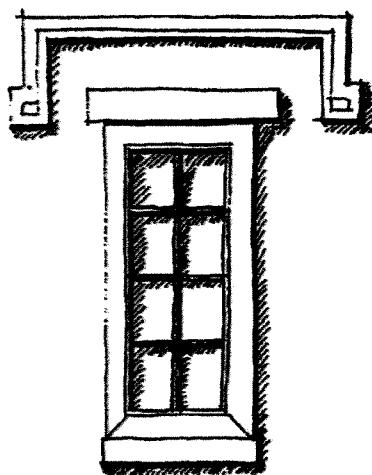
Gable dormer



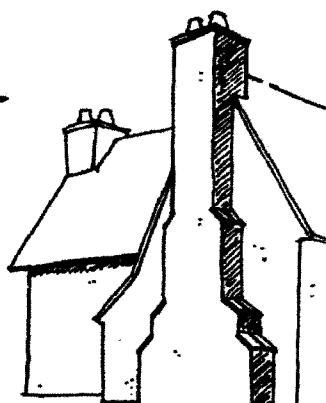
Clean rake, small thin recess at gable, shutters at windows



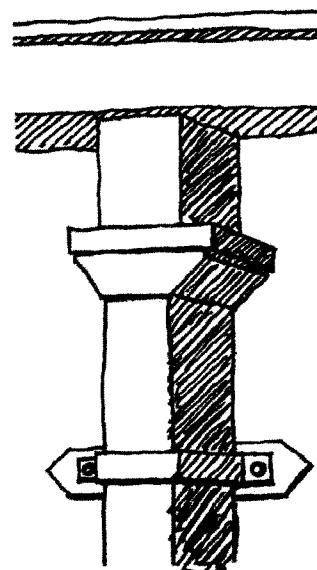
Entry door w/ roof awning



Label molding at window



Gable forms w/ multiple flue chimney

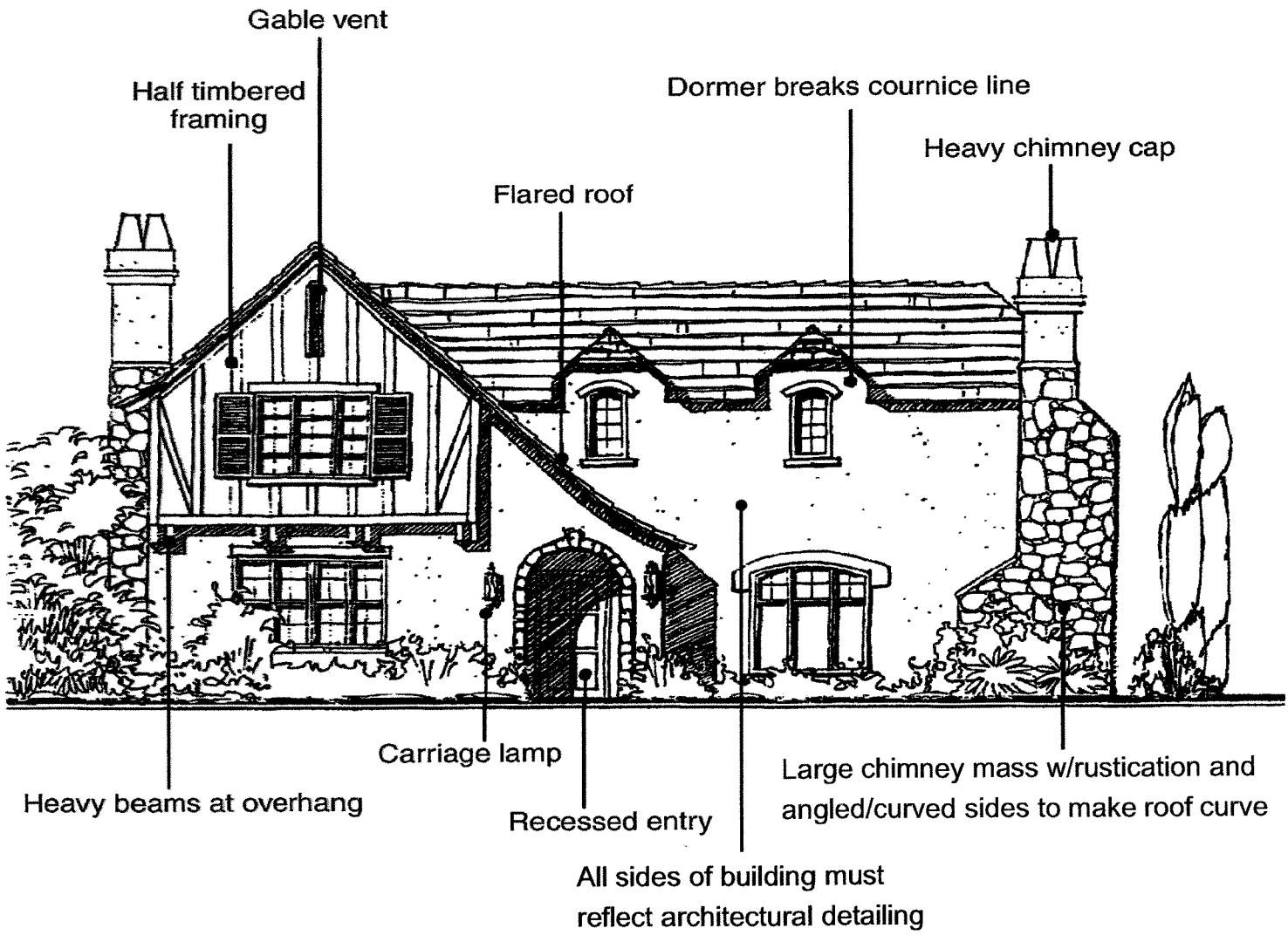


Decorative metal downspout

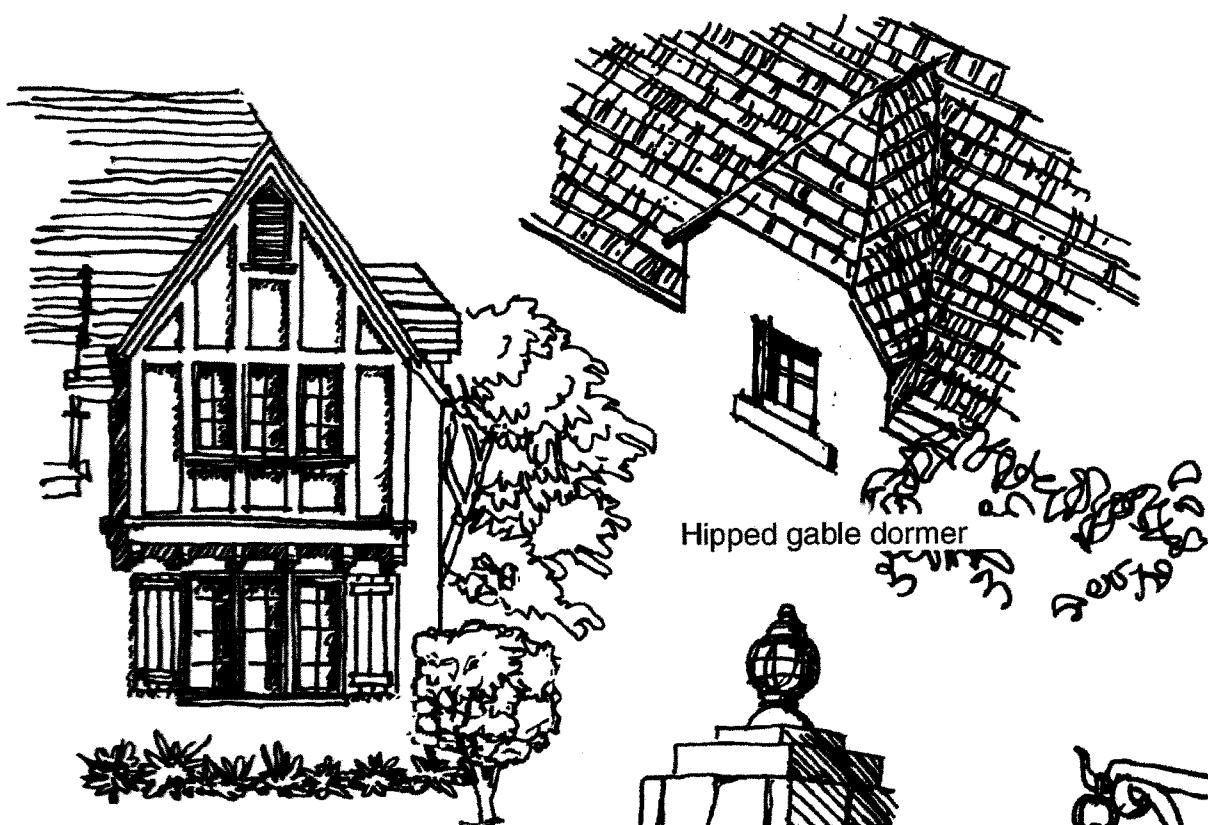


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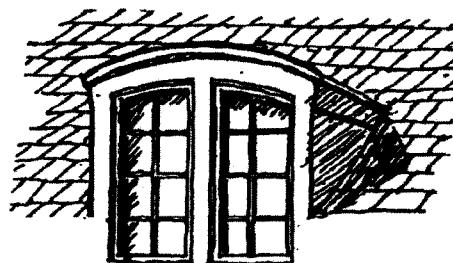
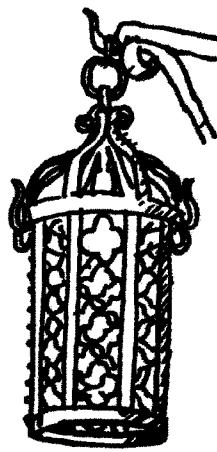
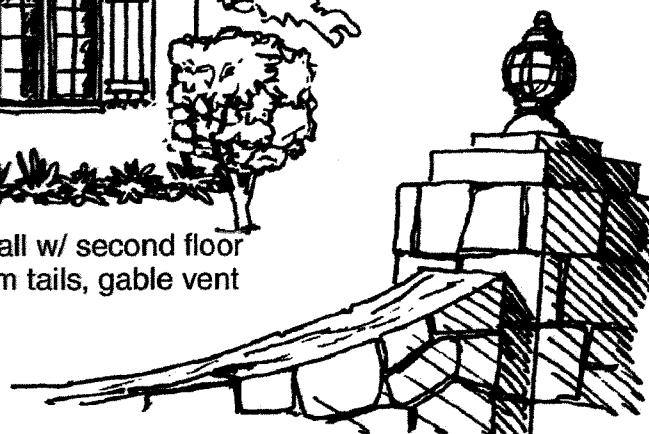
English Country-Details
San Elijo Hills Specific Plan Amendment
Exhibit IV:33 Page IV:62

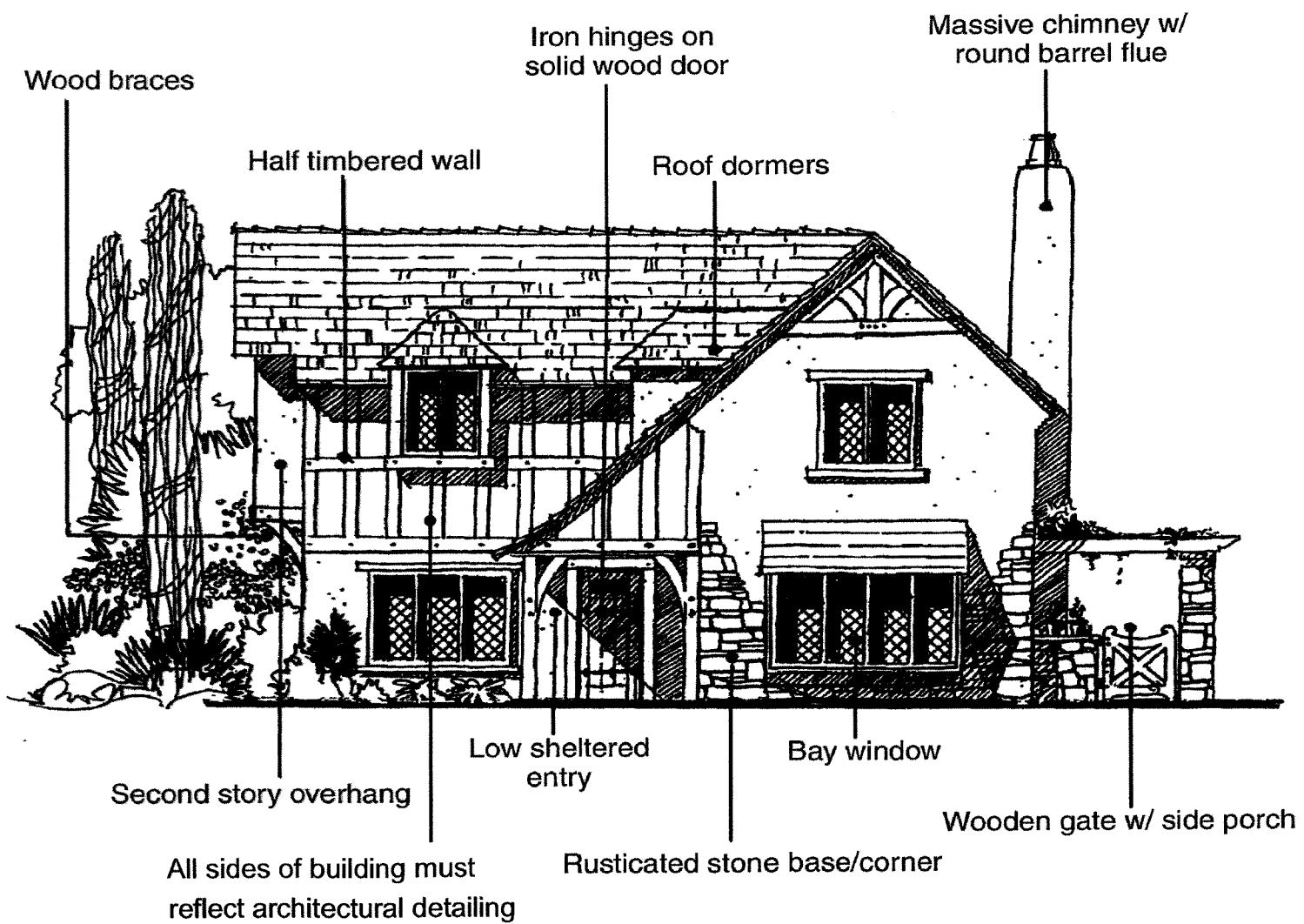


The French Country style is a vernacular term used to describe homes which have been relaxed from the formal devices utilized in a 17th and 18th century Chateaux. The style employs rusticated and formal elements. The roofline is prominent and interrupted with additions and dormers. A central mass is often a steeply pitched roof rotunda, or rectangular form with a bulky presence. Gables, hips, Dutch gables, Dormers, chimneys, and rotundas add to the composition. Segmented arches, bay windows, and truncated rectangles should be used. Roof lines are complex with slopes greater than 5:12. Overhangs at the eaves and rakes shall be less than 2'-0". The line of the roof should change slope as it descends from the ridge to the end of the eave and should flare out horizontally. Thick rafter tails or beams should protrude. The entry shall be carved into the wall (6" min.) or a small braced roof ensemble may be used for protection. Walls consist of stucco; stucco with half-timber, stone or brick shall be used in a collage manner. Roof materials should replicate textured wood shake, low profile tile or slate. The following details are offered as a guide in deployment of this style.



Hipped gable dormer

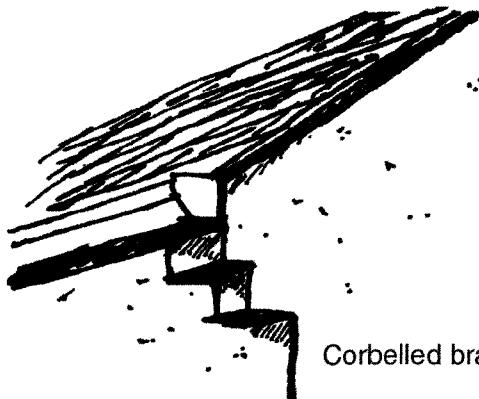




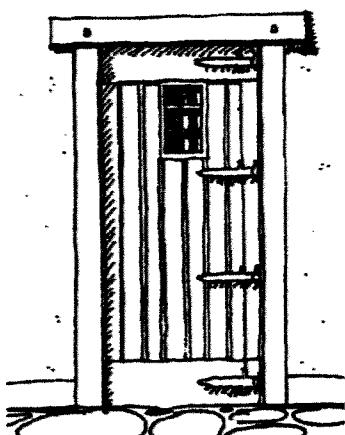
The style was patterned after Medieval buildings of the 16th century England and Continental Europe. It uses an eclectic approach to form and detailing with a handcrafted appearance being the goal. These homes are sometimes referred to as English Manor or Tudor homes. The mass is compact and rectangular, with two simple forms employed. Its elevations are broken up into various parts by the use of additive elements. Dormers, chimneys, covered porches, and overhanging second floor massing creates interest and movement. Wall mass is broken down into a series of rectangles by fenestration and half timbering with a vertical appearance. The roof is dominant with a minimum 5:12 pitch that may change to a shallower pitch at the eave. The eave and rakes at 4" to 2'-0", with a corbel brace integral with the wall. The entry is usually sheltered by a porch or second floor overhang. Wall materials of stucco, wood siding and second floor half timbering with rusticated stone elements at walls, base, and corners are employed. Wood columns and beams are to be rough as to give a handcrafted appearance. Roof materials are flat tile with the appearance of slate or wood. Details are used as softening elements to the major forms. The following details are offered as a guide in deployment of this style.



Half timbering w/ truss form, wood form, wood brace, decorative chimney



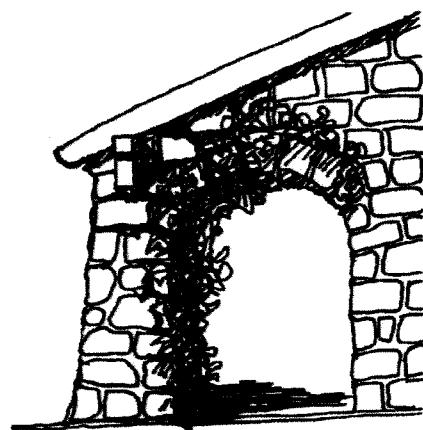
Corbelled brace at rake



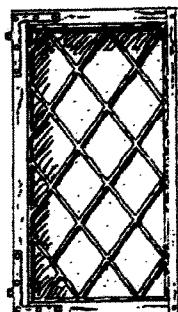
Heavy wooden door w/
metal hinges, pegs at trim



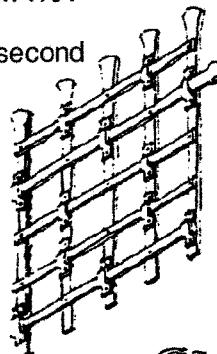
Bay window, half timbering , second
floor overhang



Rusticated stone

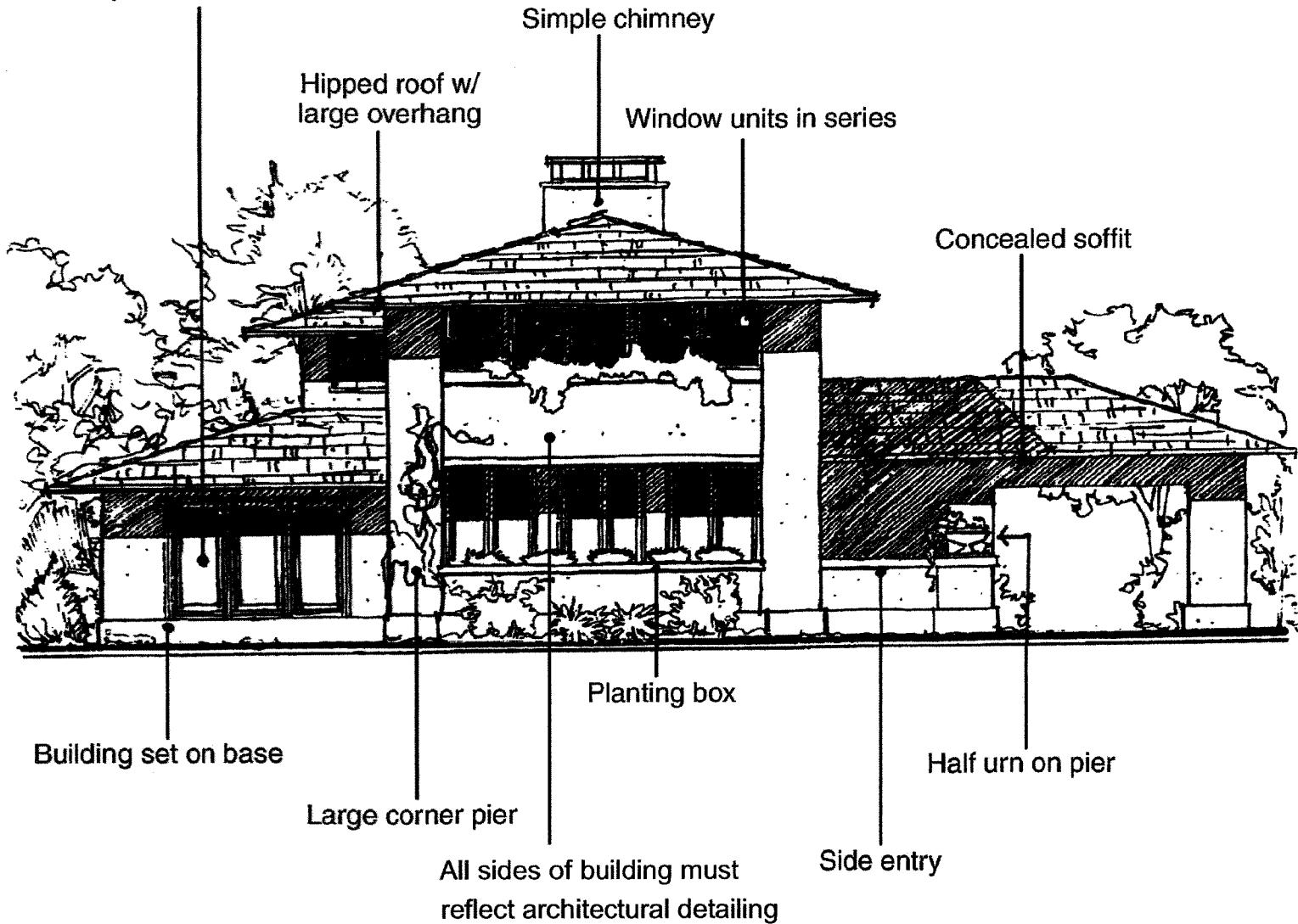


Diagonal divided light window

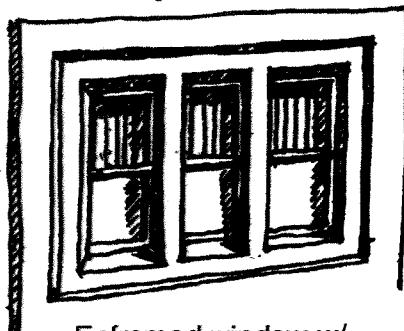


Heavy metal hardware

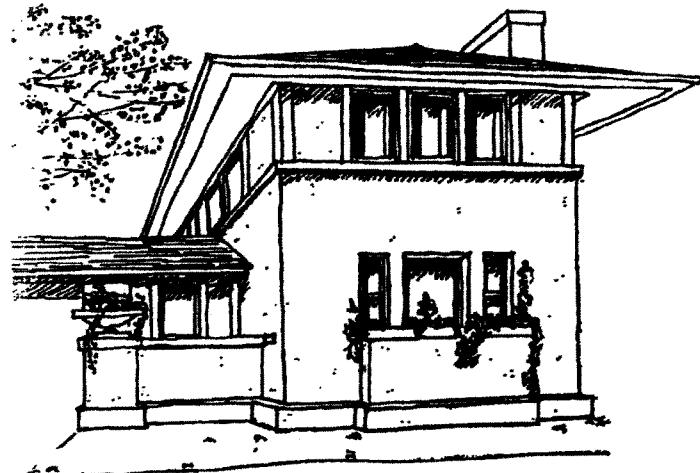
Windows w/ header height
equal to soffit line



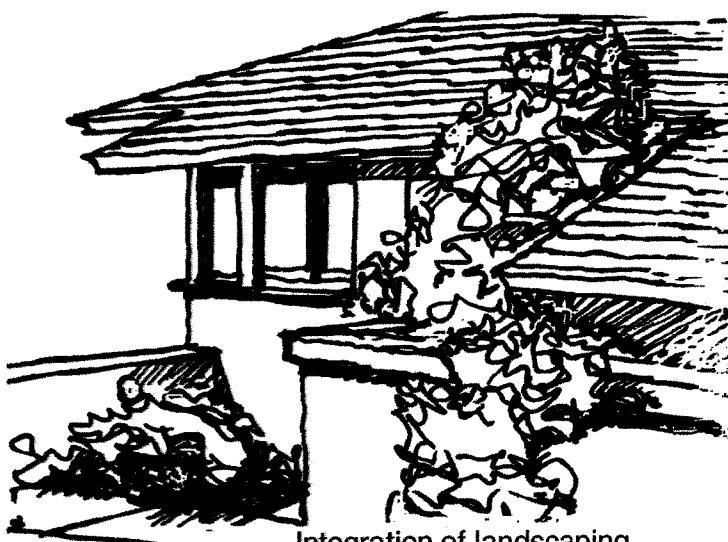
Developed in the later half of the 19th century, this style employs massive corner piers, horizontal grouped windows, and low-pitched roofs with large overhanging eaves, and is indigenous to America. Massing consists of numerous rectangular interlocking geometric solids of varying relief punctured by voids assembled into various forms. A semi circular form is sometimes used. Chimneys are massive rectangular forms and are located in the central part of the structure. The base of the building acts like a plinth, on which the walls above rest. The roofs are very shallow pitched and hipped between 3:12 and 5:12. The cornice line should not be broken except for chimneys. Overhangs at the eave shall be enclosed and project a minimum of 2'-0", and greater is recommended. Three or more windows grouped in a series to create a ribbon effect should be located on the elevations. The entry may be located on the side elevation and be subdued in its appearance. Roman brick or deeply scored brick is the preferred wall material. Stucco or horizontal bevel siding may also be used. If materials are used in conjunction with one another, a horizontal band should separate them. Roofing material shall be flat or low profile tile representing slate or shakes or composition shingles. Detailing of this style is limited to a few applied items. The following details are offered as a guide in deployment of this style.



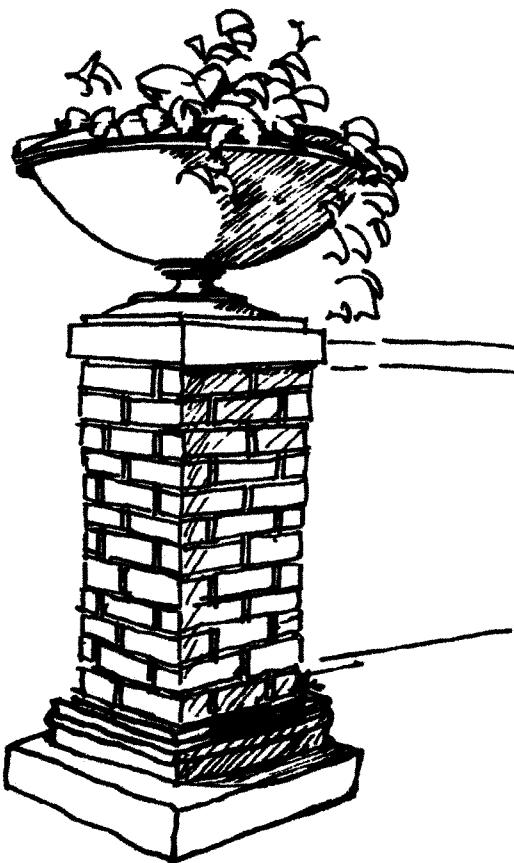
Enframed window w/
decorative motif



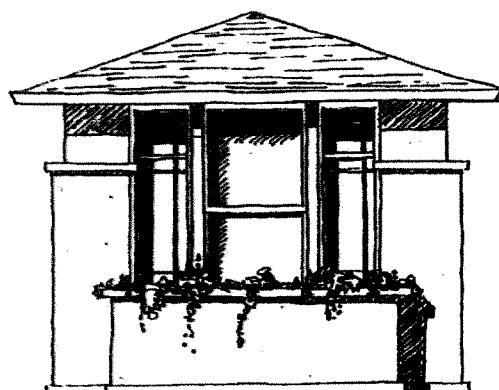
Concealed eave w/ large overhang,
panel division of wall



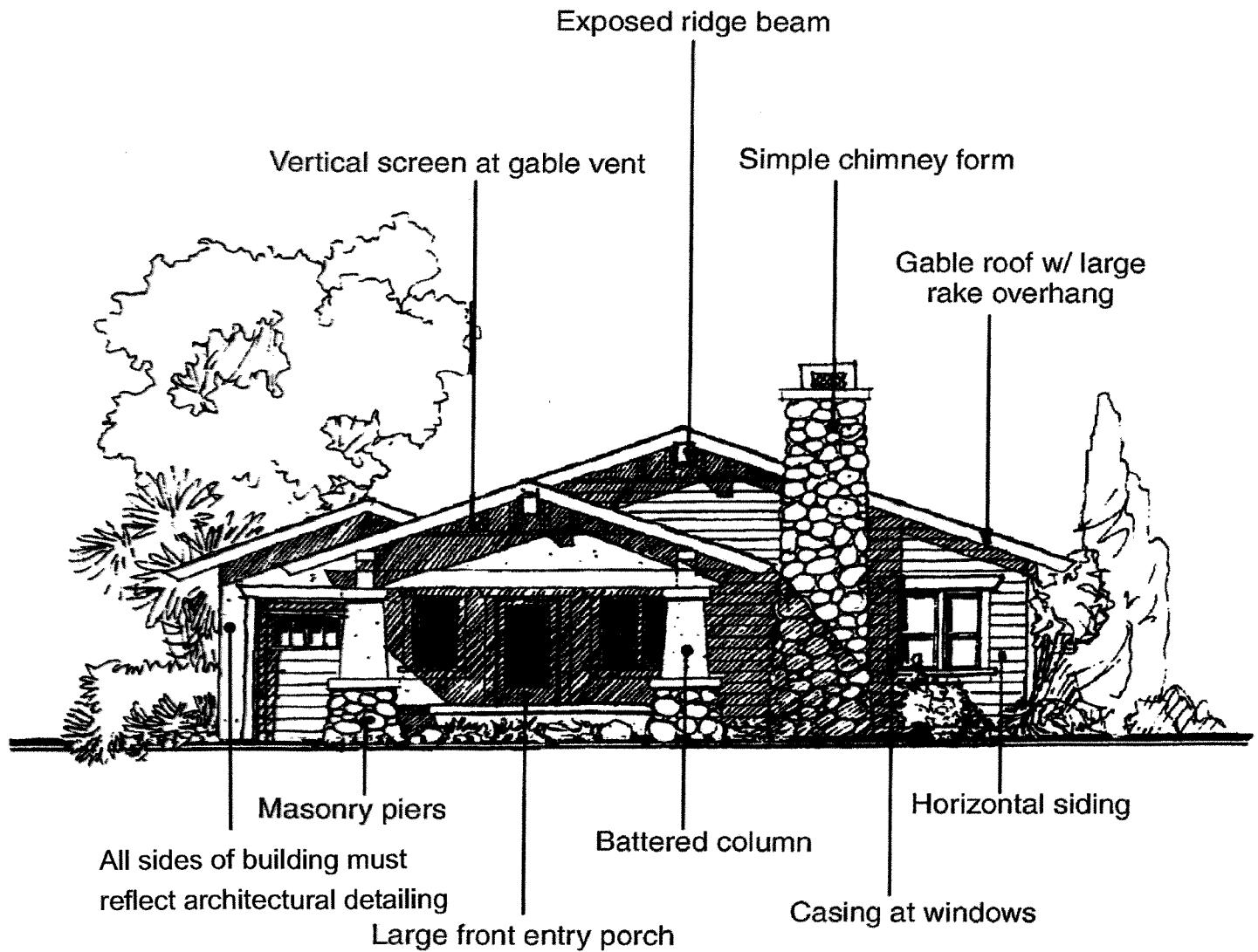
Integration of landscaping
and patio w/ home



Brick pier w/ concrete cap and base, half urn



Corner pier, divided light window,
hipped roof, planting box



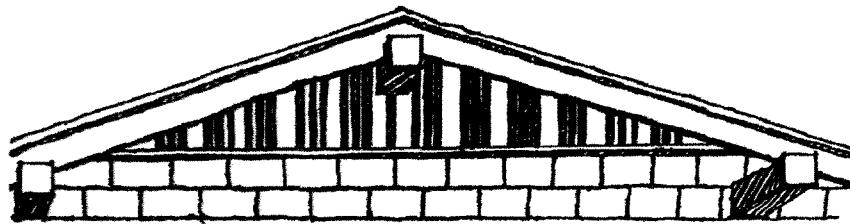
This style was crystallized just after the turn of the 20th century in America. It is a subtype of the Craftsman Style but proliferated to such a degree that it developed its own typology. The Bungalow has a rectangular mass that is expressed with a shallow pitched gable roof with large overhangs at the eave. Full-hipped roofs shall be discouraged. Roof slope is between 3:12 and 5:12 with overhangs at a minimum of 2'-0". The dynamic form shall be contained in the roof and its supports. A sheltered porch, either roofed or trellised, shall be attached to the front or side elevation. A battering of the following shall be required; a wall, piers, columns, or chimney. The form may be symmetrical, but asymmetry is encouraged. Various combinations of materials may occur on the elevations. Stucco, horizontal wood siding, shake siding, fieldstone and brick are materials to be utilized. Often the triangular shape of the gable end will be accented with a change of material and color. These materials shall be rusticated and not highly finished in appearance. The roof materials shall be flat/low profile tile representing wood shake or composition shingle. Detailing the roof supports, porch columns, and base piers are essential in the articulation of this style. The following details are offered as a guide in deployment of this style.



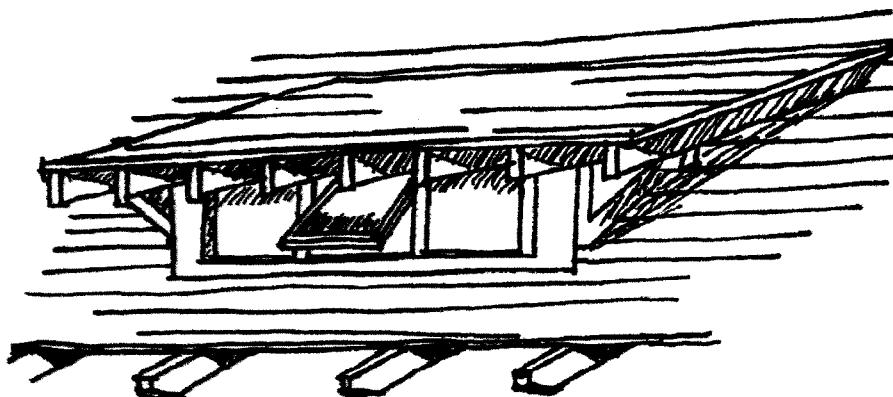
1645 BIRCHWOOD PLACE, SUITE 112
SAN DIEGO, CALIFORNIA 92126
(619) 451-4710, FAX (619) 450-4192
info@rpassociatesinc.com

California Bungalow-Concept

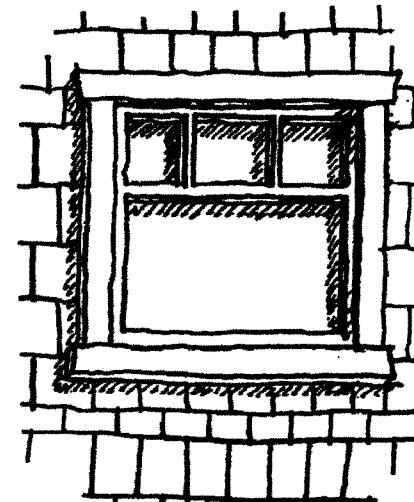
*San Elijo Hills Specific Plan Amendment
Exhibit IV:40 Page IV:69*



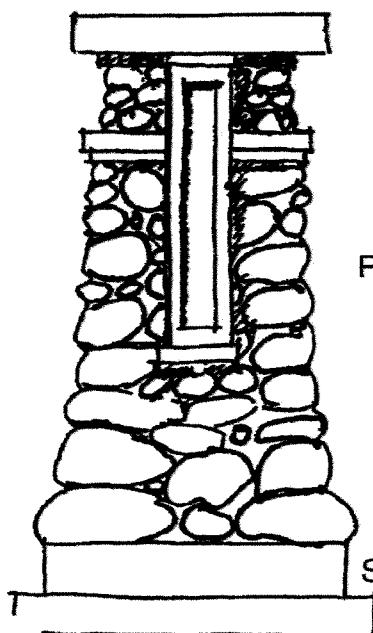
Screened gable vent, ridge beam, beam tail



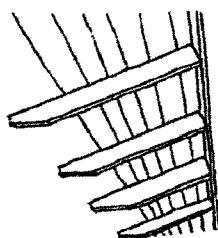
Shed dormer, roof rafters



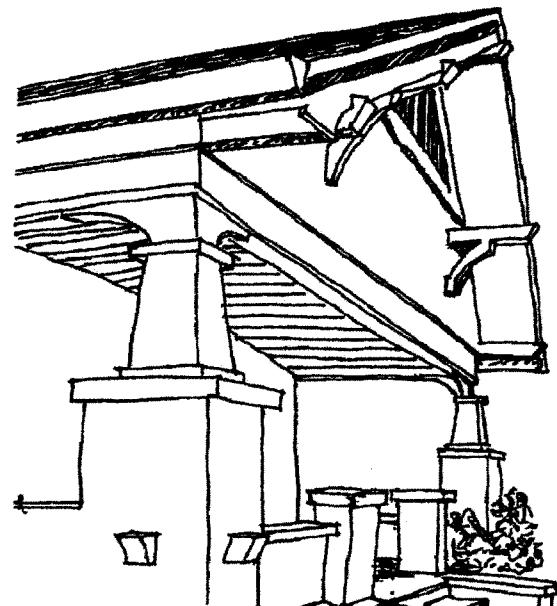
Window casing



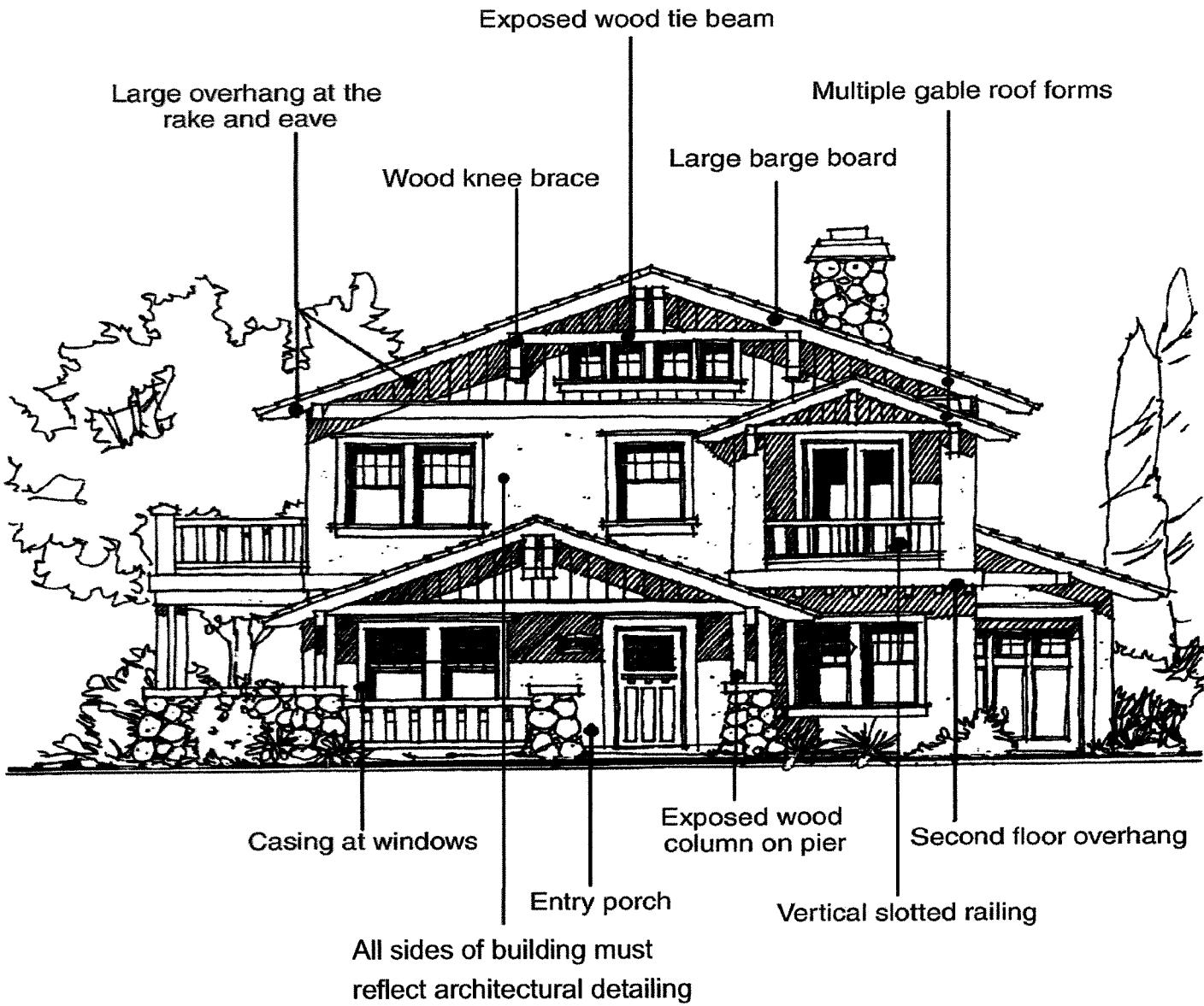
Stone pier w/ inset motif



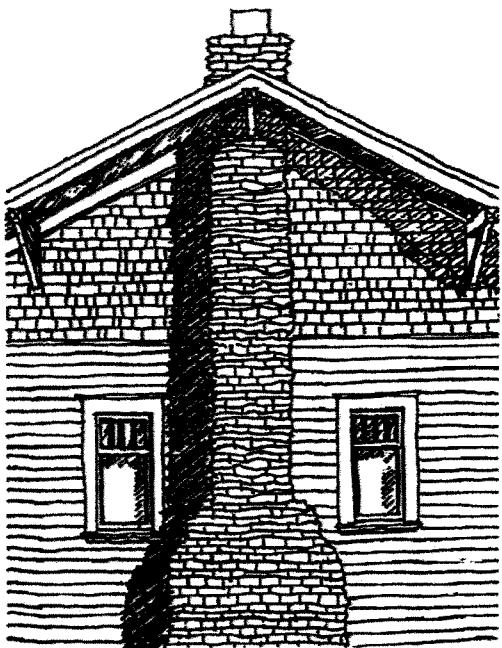
Roof rafters w/ wood soffit



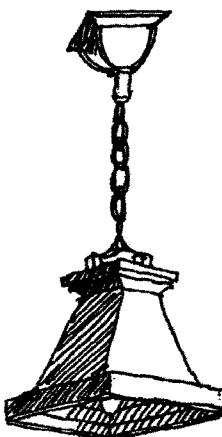
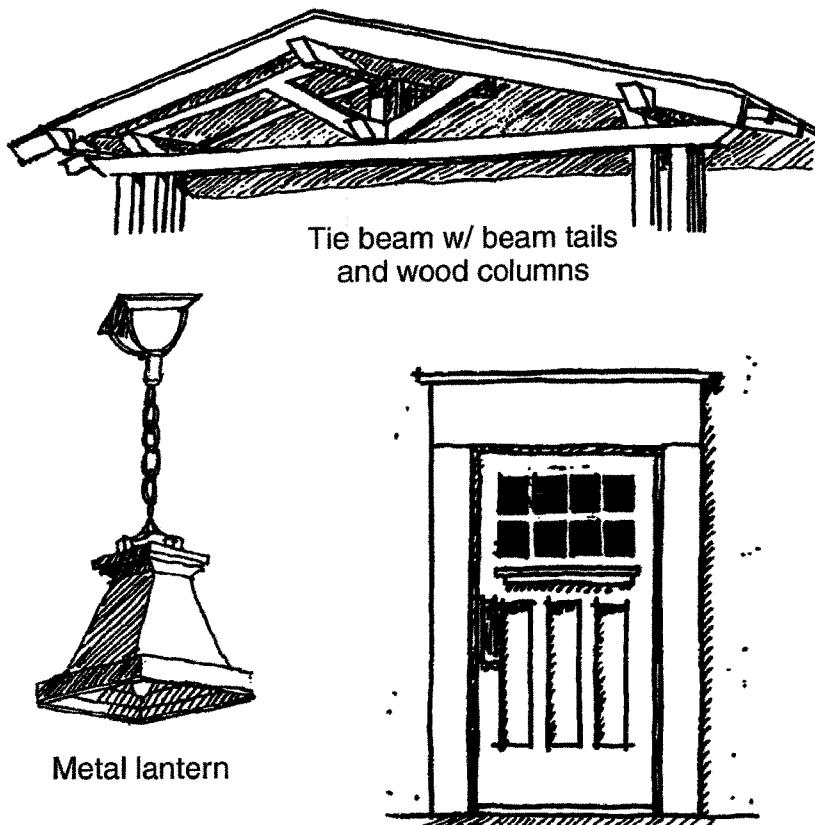
Entry porch w/ battered columns, piers, knee braces, gable vent



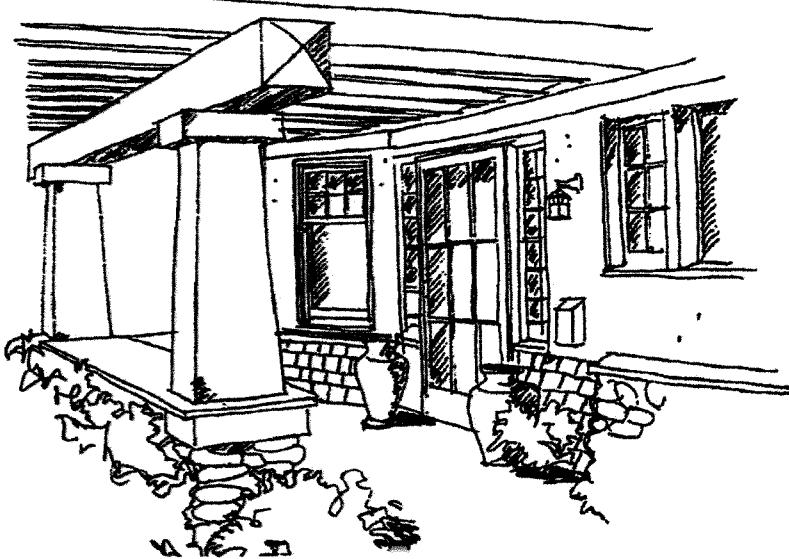
This style is similar but more elaborate than the Bungalow Style. Its roots are more closely tied to the Arts and Crafts movement of the late 19th, and early 20th centuries. The style wishes to reveal the hidden beauty inherent in the materials and structure used to construct the building. Rectangular masses shall be expressed with shallow pitched roof forms. The forms shall be an asymmetrical composition in elevation. The roof should be gable, hipped, half hipped, or shed with a slope of 3:12 to 6:12. The rake and eave shall have a minimum overhang of 2'-0" and greater. Rafter tails at eaves and knee braces and/or beam-ends at the rake. The entry shall have a covered porch with articulated pier bases, columns, and wood handrails. Second story balconies and sleeping porches are encouraged and detailed similar to the front porches. Stucco, horizontal wood siding, shake siding, board and batten, fieldstone, and brick are typical finish materials, and are encouraged to be used in a composition. These materials shall be rusticated and not highly finished in appearance. Often the triangular shape of the gable end will be accented with a change of material and/or color. The roof materials shall be flat/low profile tile to represent slate or wood shakes. Detailing lies in keeping subtle geometric patterns evident. The following details are offered as a guide in deployment of this style.



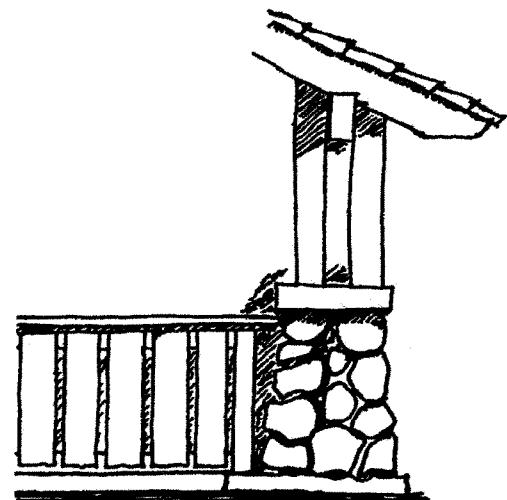
Rusticated brick chimney w/
flanking windows, knee braces



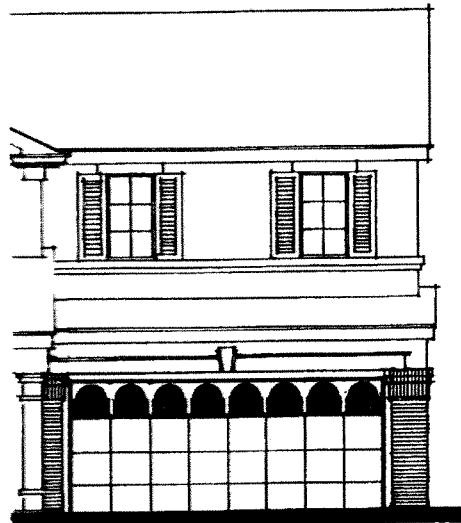
Metal lantern



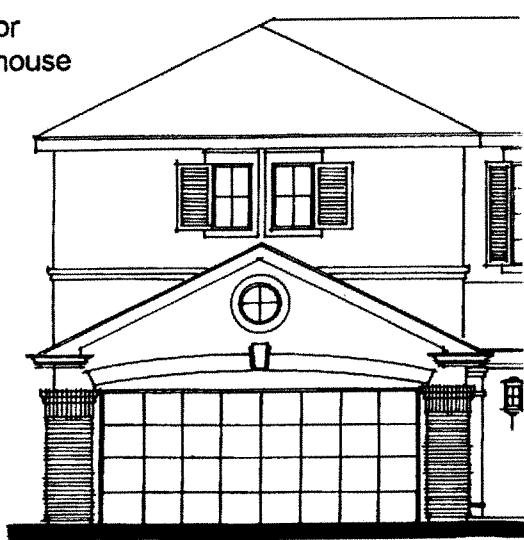
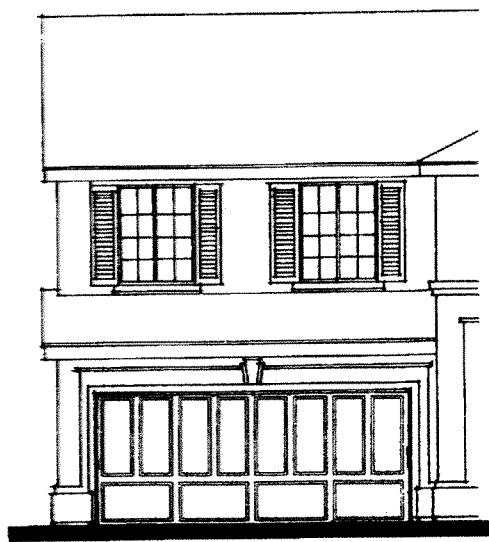
Battered columns on stone pier
w/ beam porch entry, metal lantern



Stone pier w/ wood columns
and wood railing

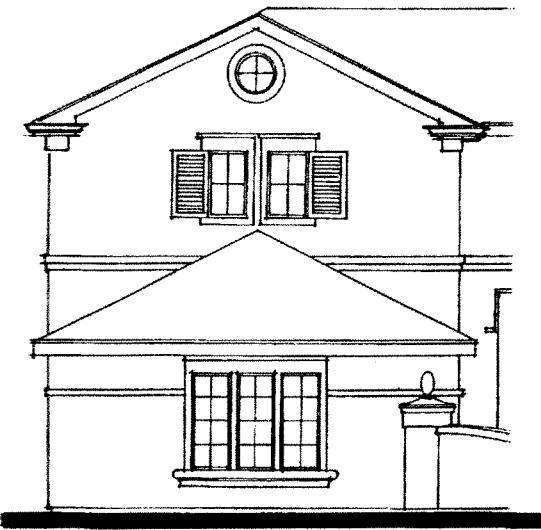


Providing a variety of garage door surrounds adds identity to each house

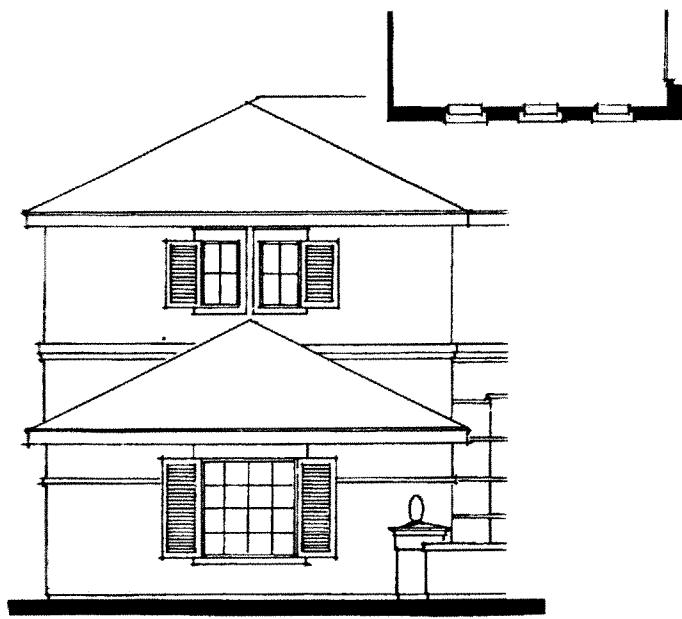


Straight-In-Garages
San Elijo Hills Specific Plan Amendment
Exhibit IV:44 Page IV:73

Hip roofs and single story elements
on swing-in garages are
desired to soften streetscape



Windows should be provided on swing-in
garages

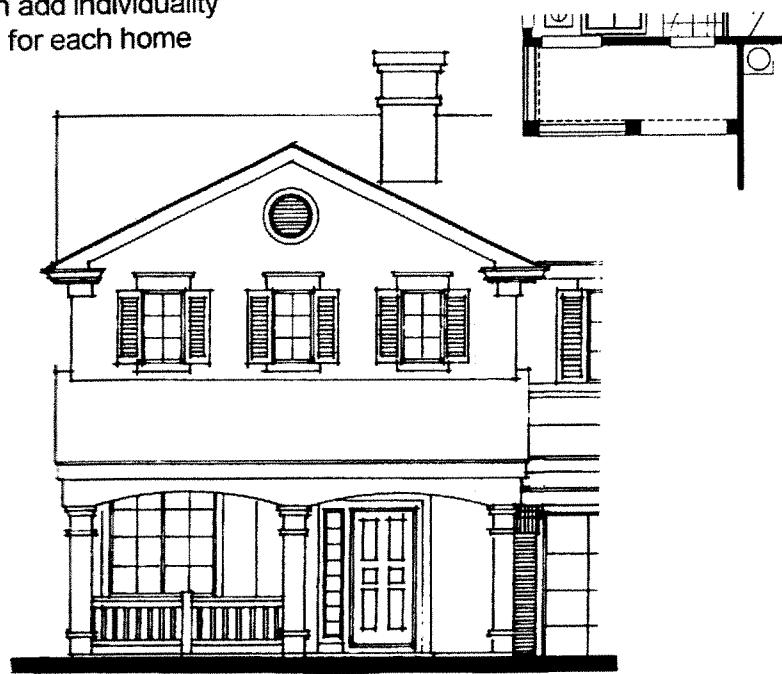


Swing-In-Garages

*San Elijo Hills Specific Plan Amendment
Exhibit IV:45 Page IV:74*

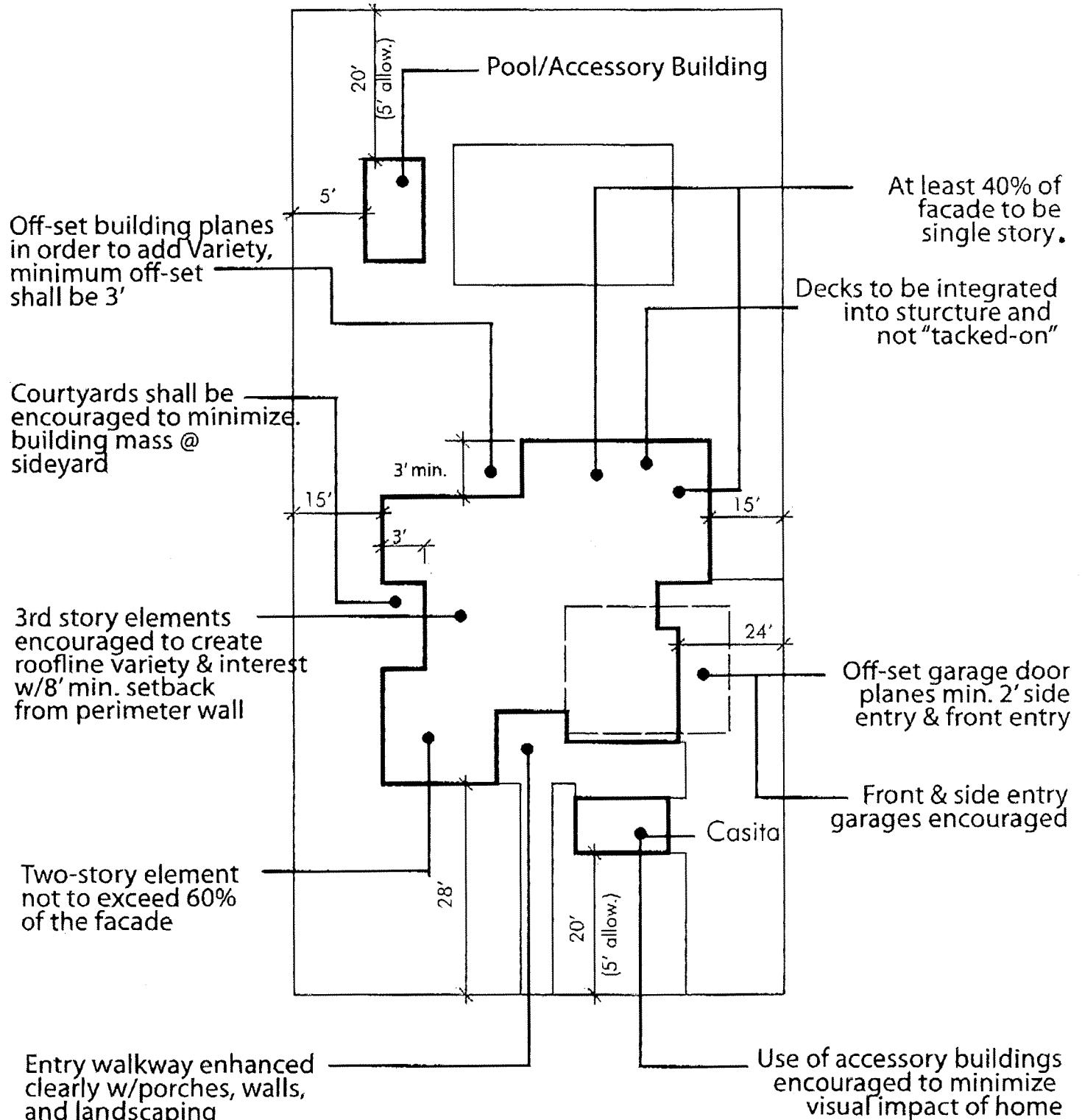


Eave treatment, post details and railings can add individuality to porches for each home



Porches

*San Elijo Hills Specific Plan Amendment
Exhibit IV:46 Page IV:75*

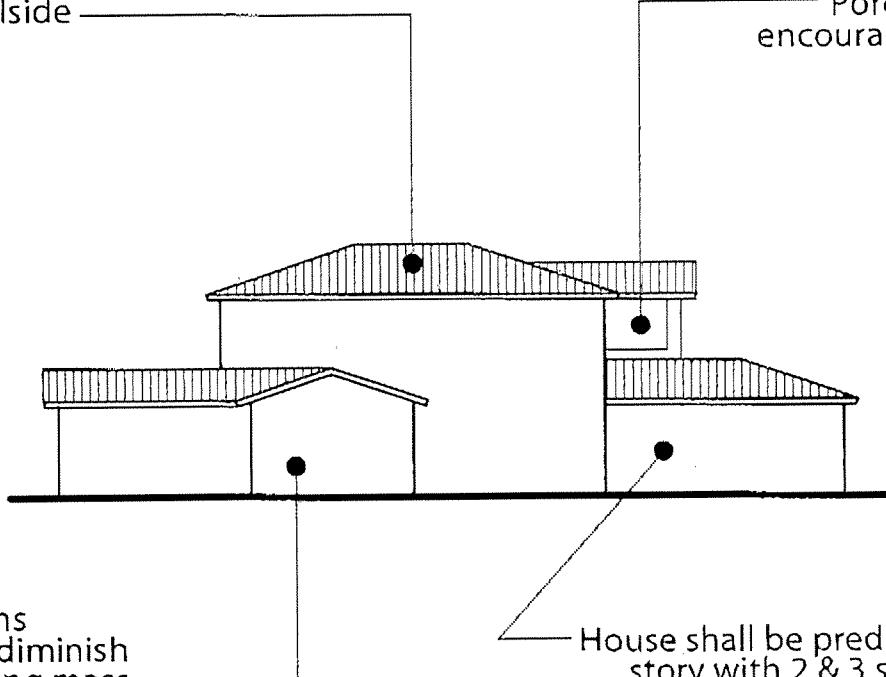


Estate Home-Flat Pad

San Elijo Hills Specific Plan Amendment

Exhibit IV:47 Page IV:76

Roof forms should complement hillside



Porches & balconies encouraged to articulate building facade

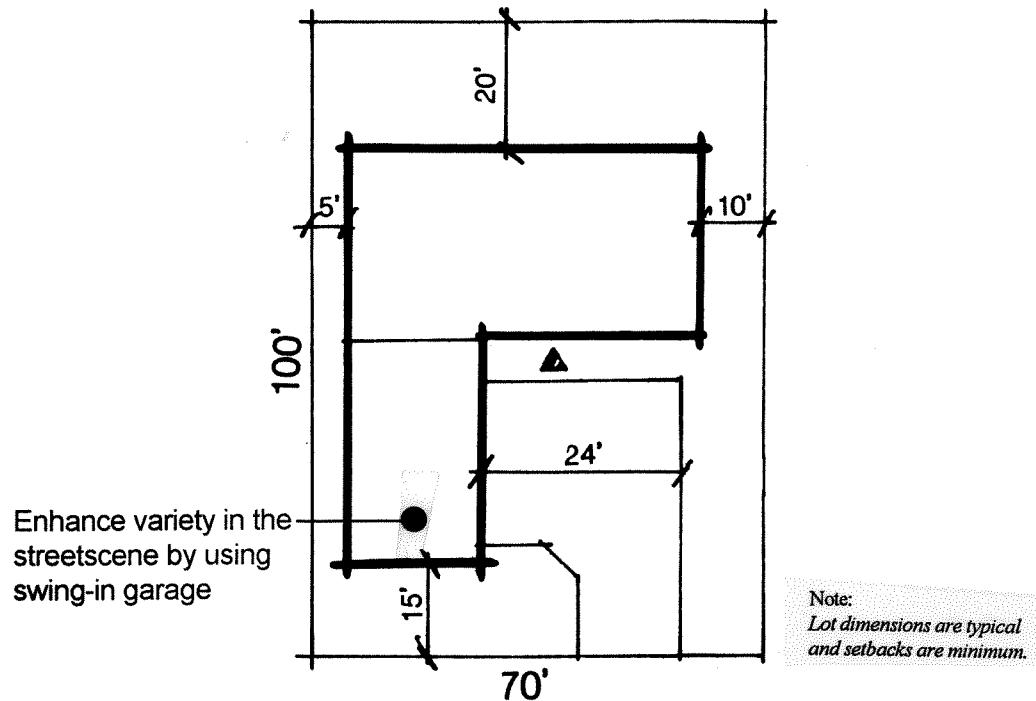
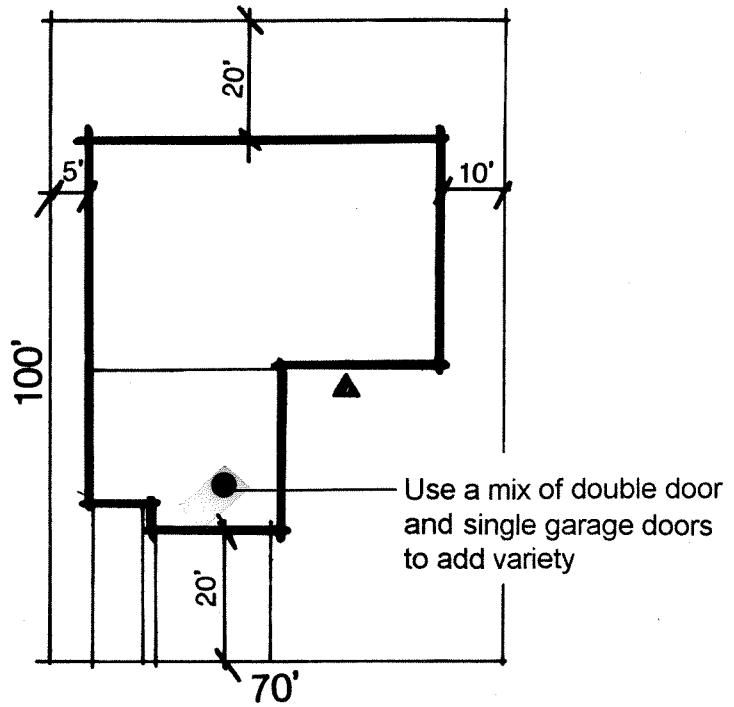
Plane projections encouraged to diminish impact of building mass

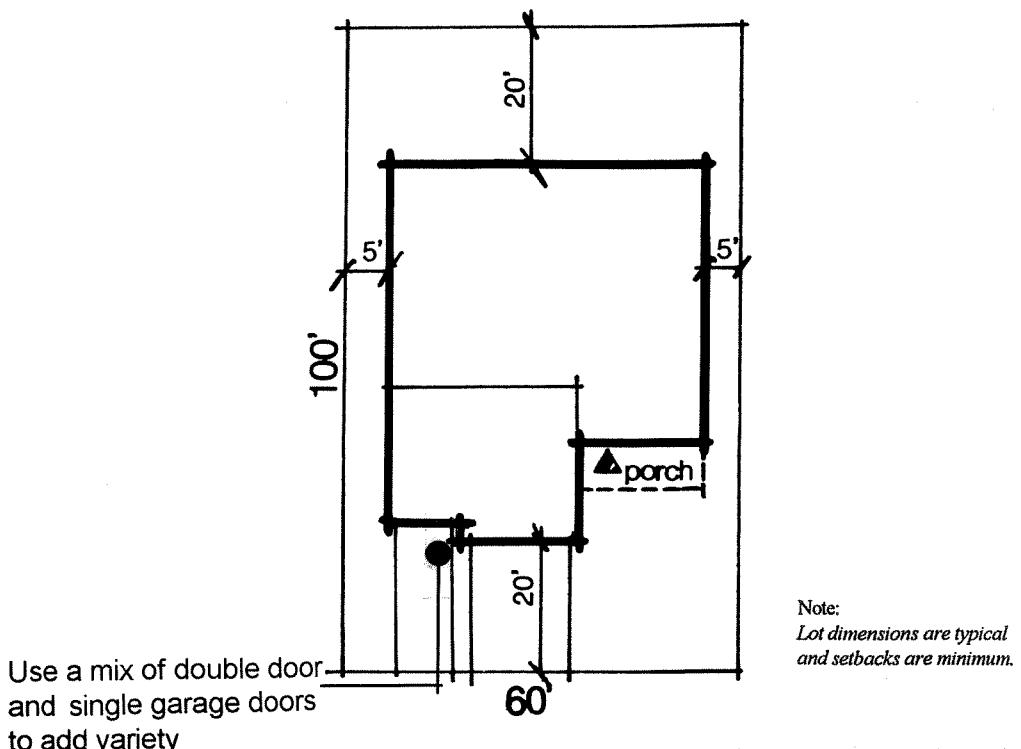
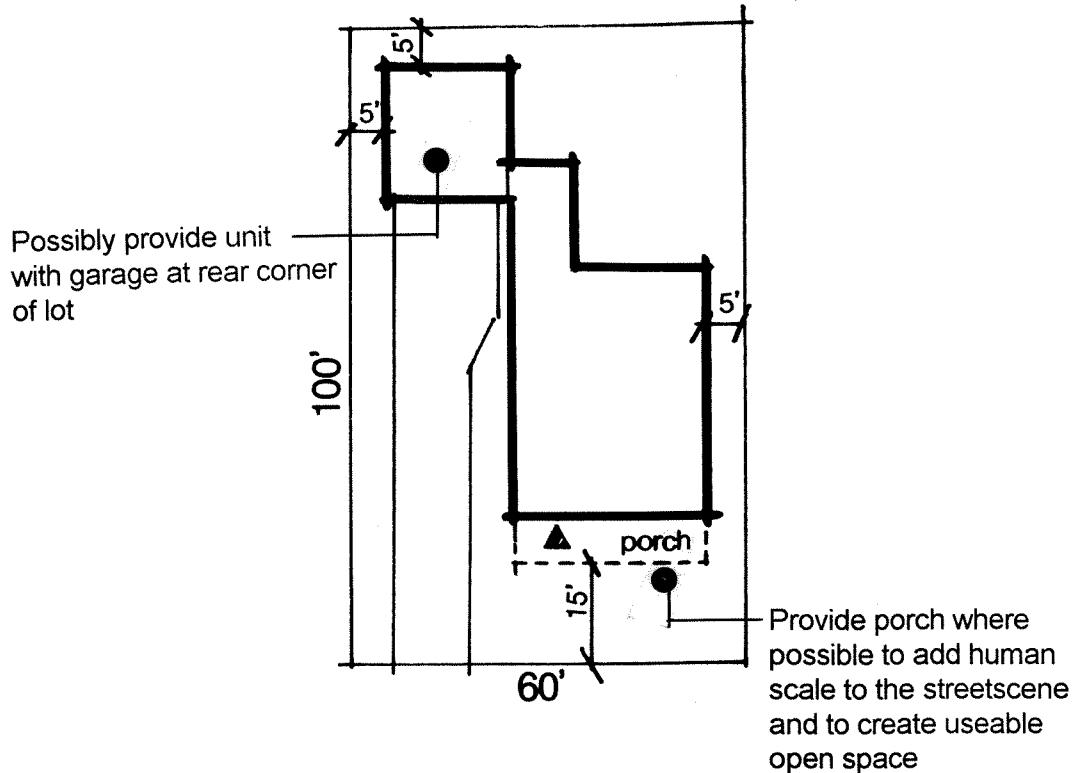
House shall be predominantly single story with 2 & 3 story elements to enhance articulation of houses and to diminish impact of building on the view shed

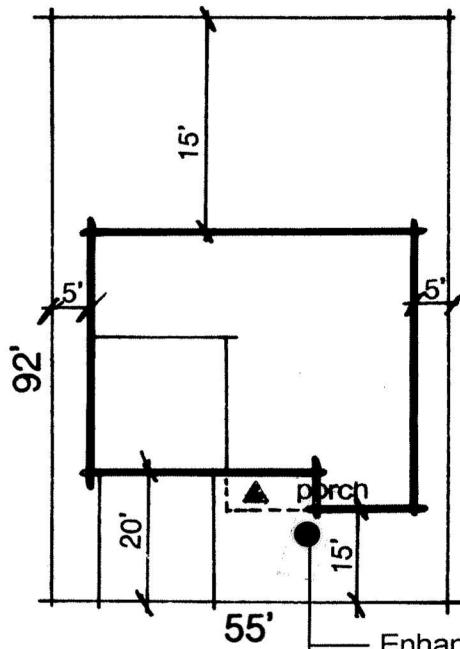
Estate Home-Flat Pad Section

San Elijo Hills Specific Plan Amendment

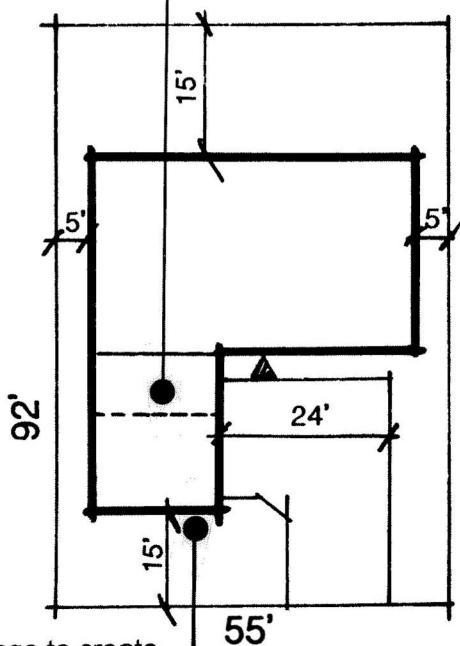
Exhibit IV:48 Page IV:77



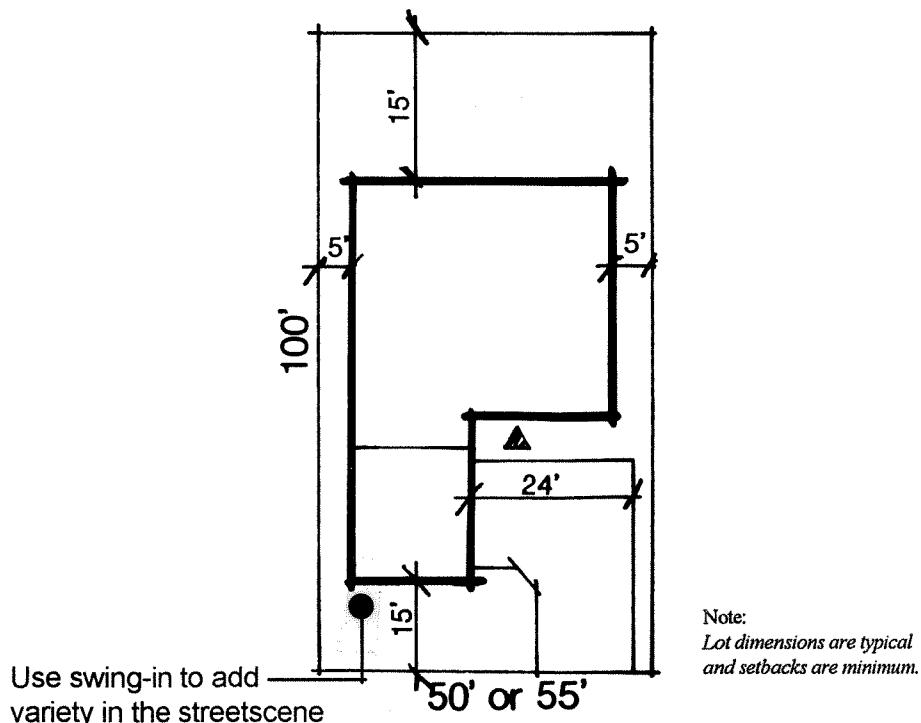
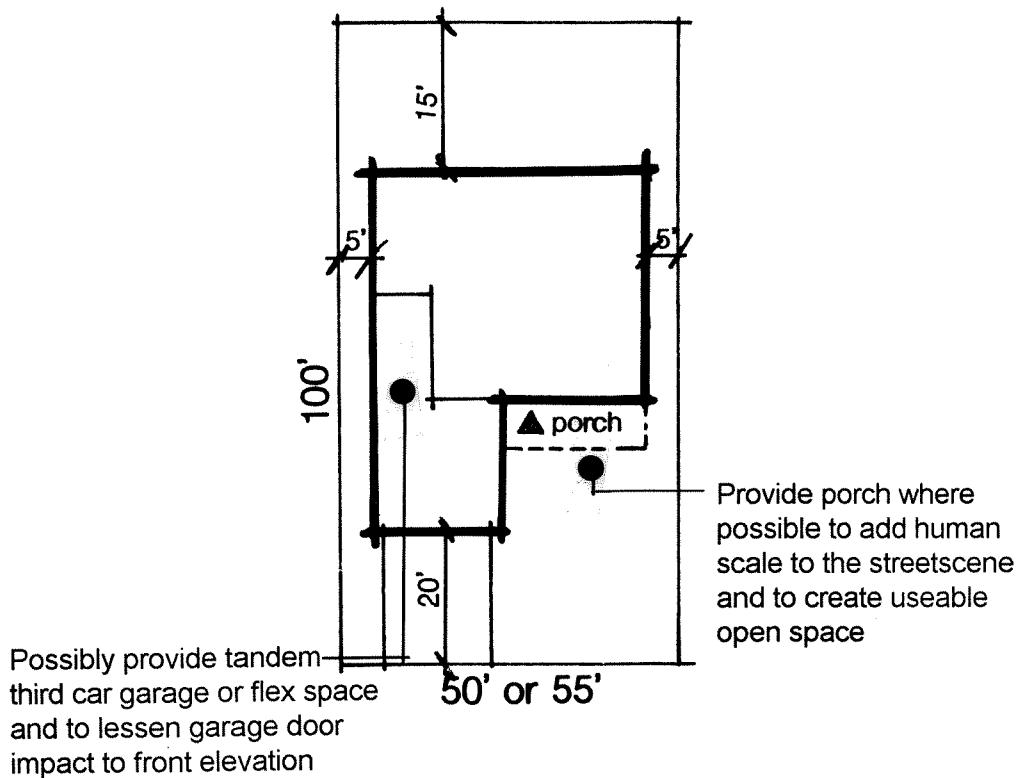




Use second story architecture to create variety in streetscene

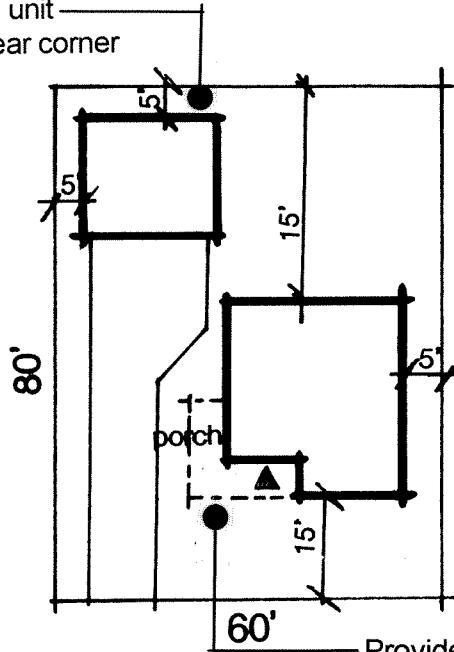


Use swing-in garage to create variety in streetscene



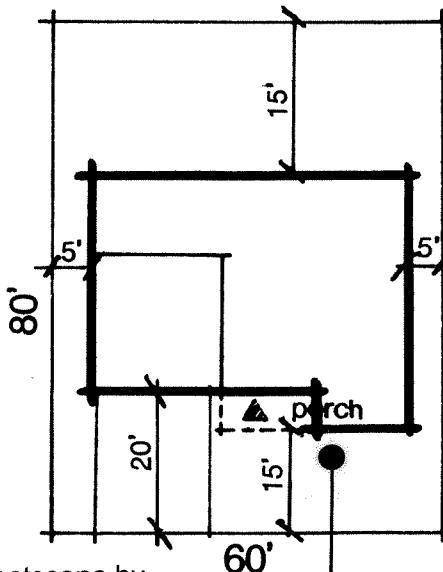
Single Family Detached
(5,000 & 5,500 s.f. Lots)
San Elijo Hills Specific Plan Amendment
Exhibit IV:52 Page IV:81

Possibly provide unit
with garage at rear corner
of lot

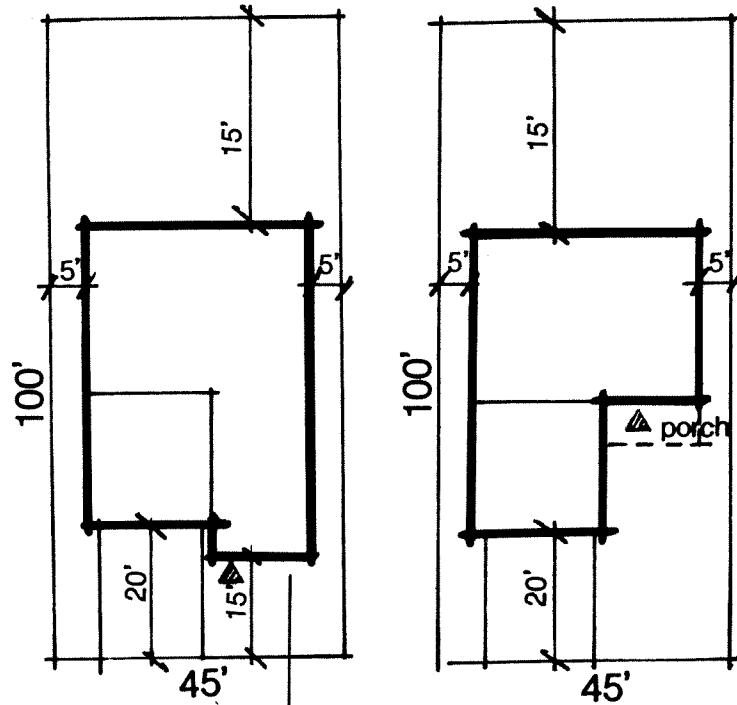


Provide porch where
possible to add human
scale to the streetscene
and to create useable
open space

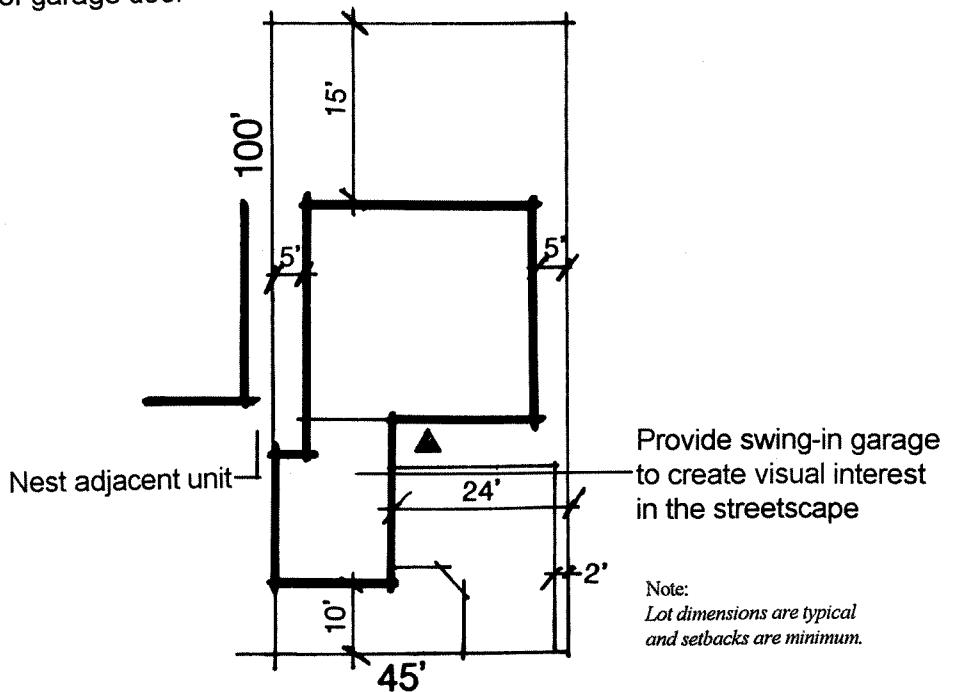
Enhance streetscene by
pulling unit and/or porch
in front of garage door



Note:
Lot dimensions are typical
and setbacks are minimum.

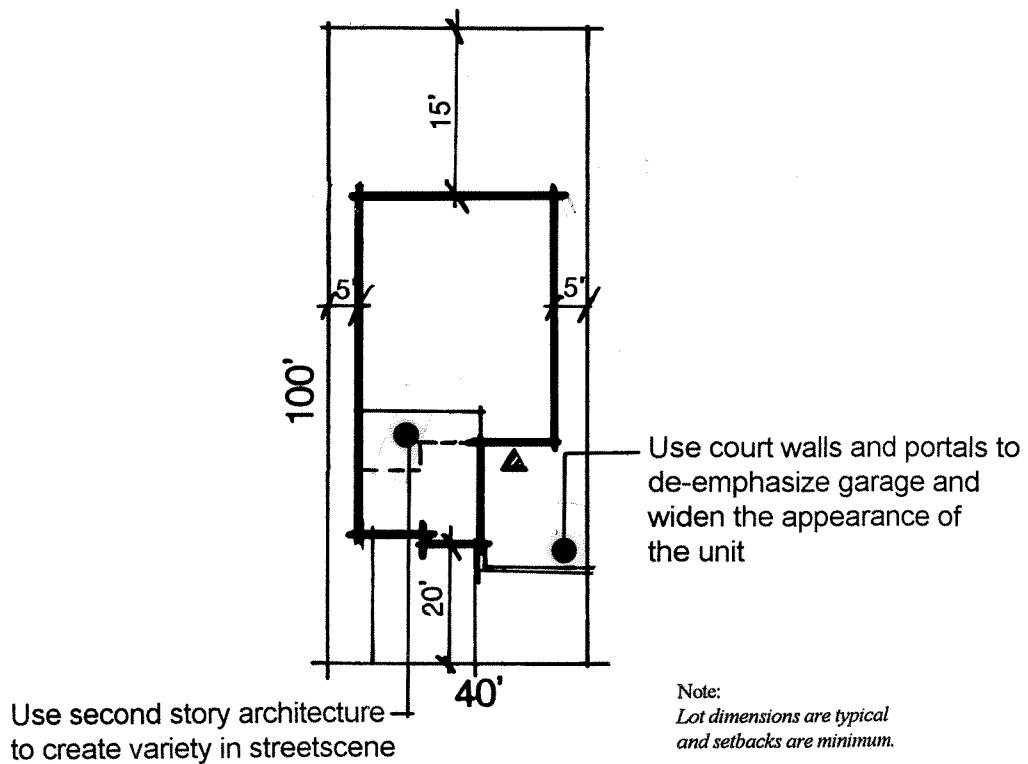


Enhance streetscene by
pulling unit and/or porch
in front of garage door

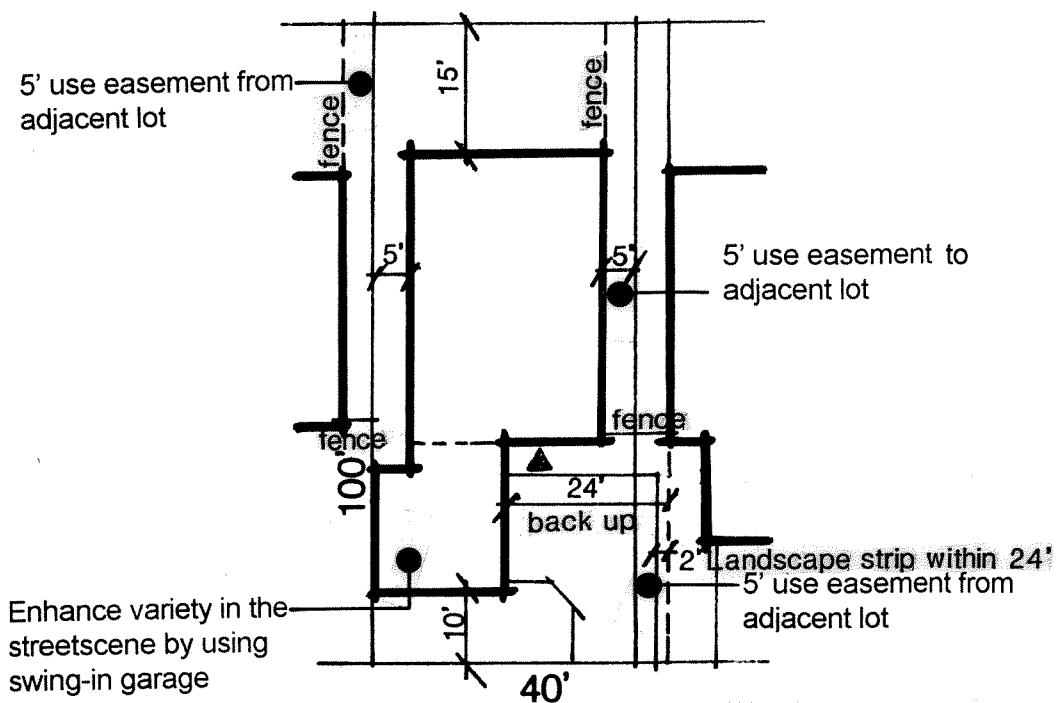


Single Family Detached (4,500 s.f. Lots)

San Elijo Hills Specific Plan Amendment
Exhibit IV:54 Page IV:83



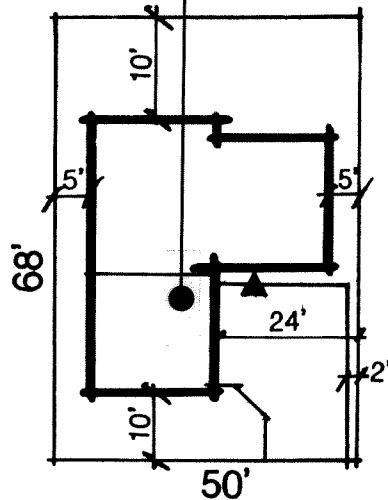
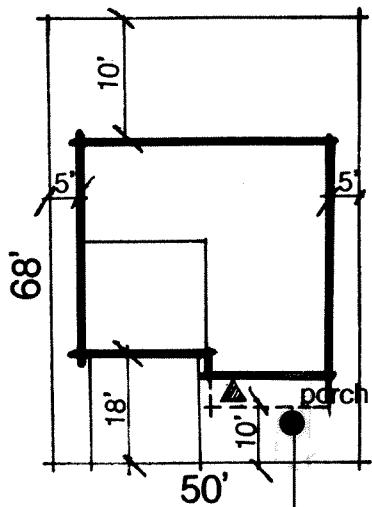
Note:
Lot dimensions are typical
and setbacks are minimum.



Single Family Detached (4,000 s.f. Lots)

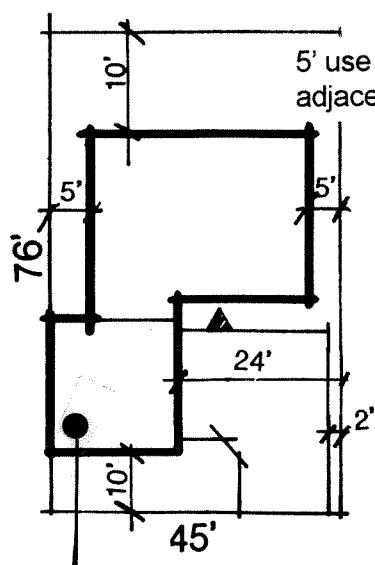
San Elijo Hills Specific Plan Amendment
Exhibit IV:55 Page IV:84

Use swing-in to add variety in the streetscene



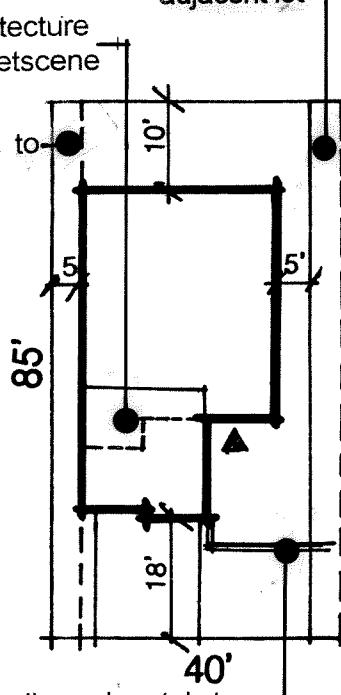
Enhance streetscene by pulling unit and/or porch in front of garage door

Use second story architecture to create variety in streetscene



Provide swing-in garage to create visual interest in the streetscene

5' use easement from adjacent lot



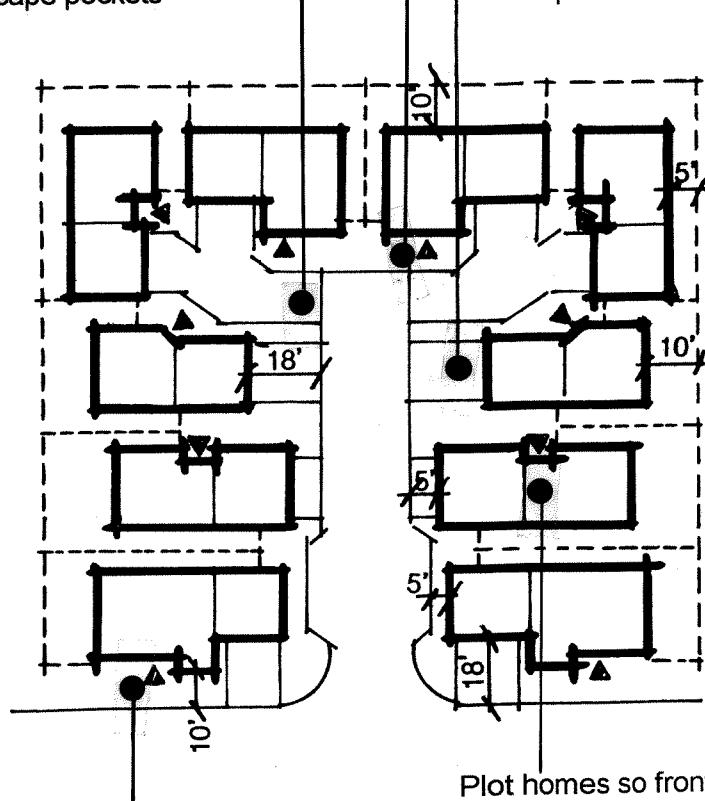
Use court walls and portals to de-emphasize garage and widen the appearance of the unit

Note:
Lot dimensions are typical and setbacks are minimum.

Architecture provides an interesting vista at the end of the court

Provide more setbacks at the end of the court to create a sense of openness and more landscape pockets

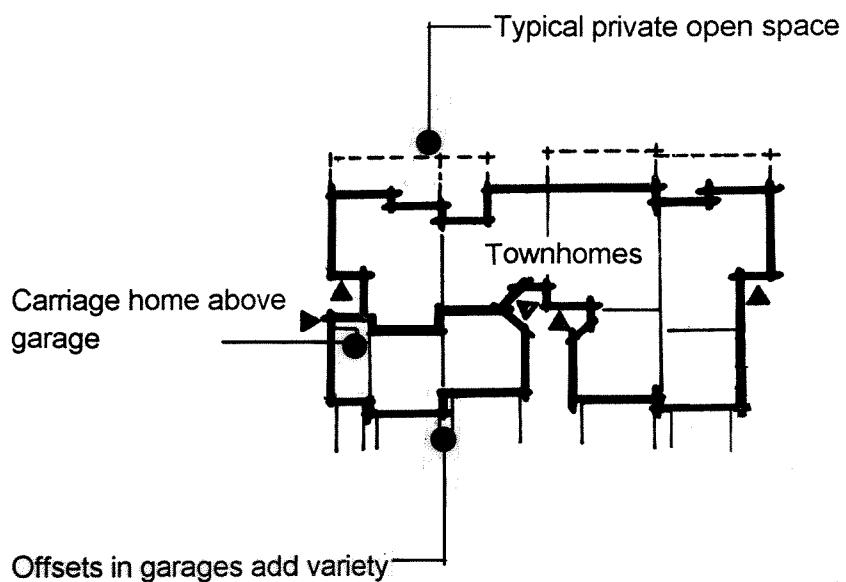
Provide as many long aprons as possible to soften streetscape and provide convenient parking



"Mansion" home adjacent to internal loop/spine road is a unique opportunity to create a strong architectural statement on the streetscape

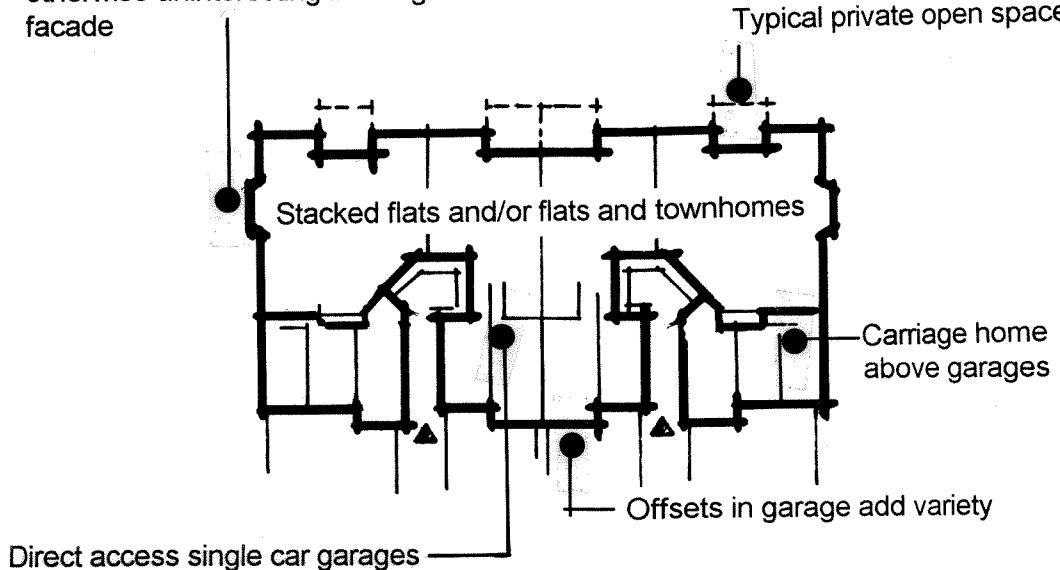
Plot homes so front door individuality is achieved

Note:
Setbacks may vary.

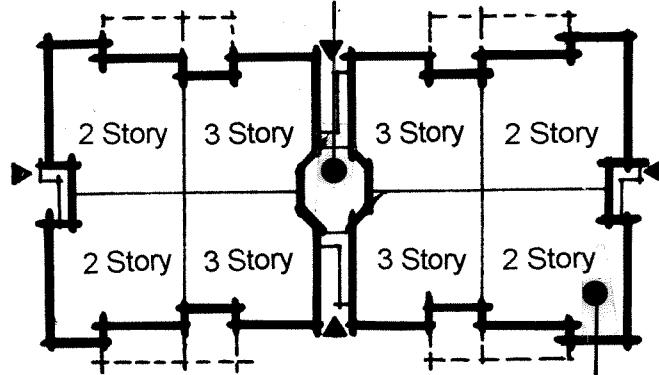


Bay windows add interest in an otherwise uninteresting building facade

Typical private open space

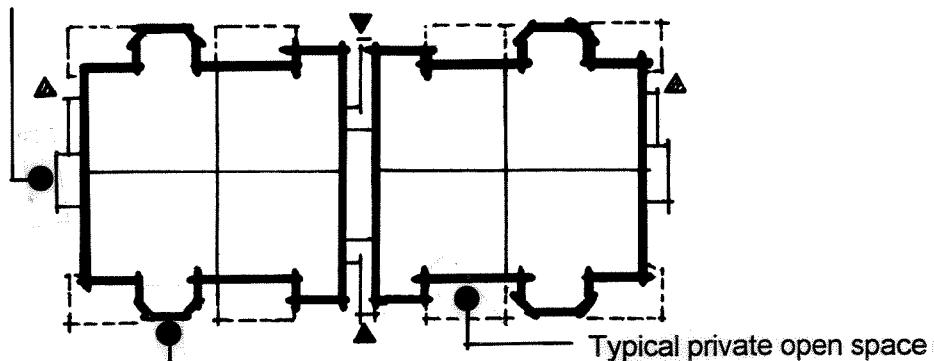


Breezeways provide easy access to homes which are not adjacent to parking

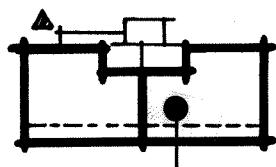


When possible step buildings at ends from two story to three story to soften the streetscape and add variety in the roofscape

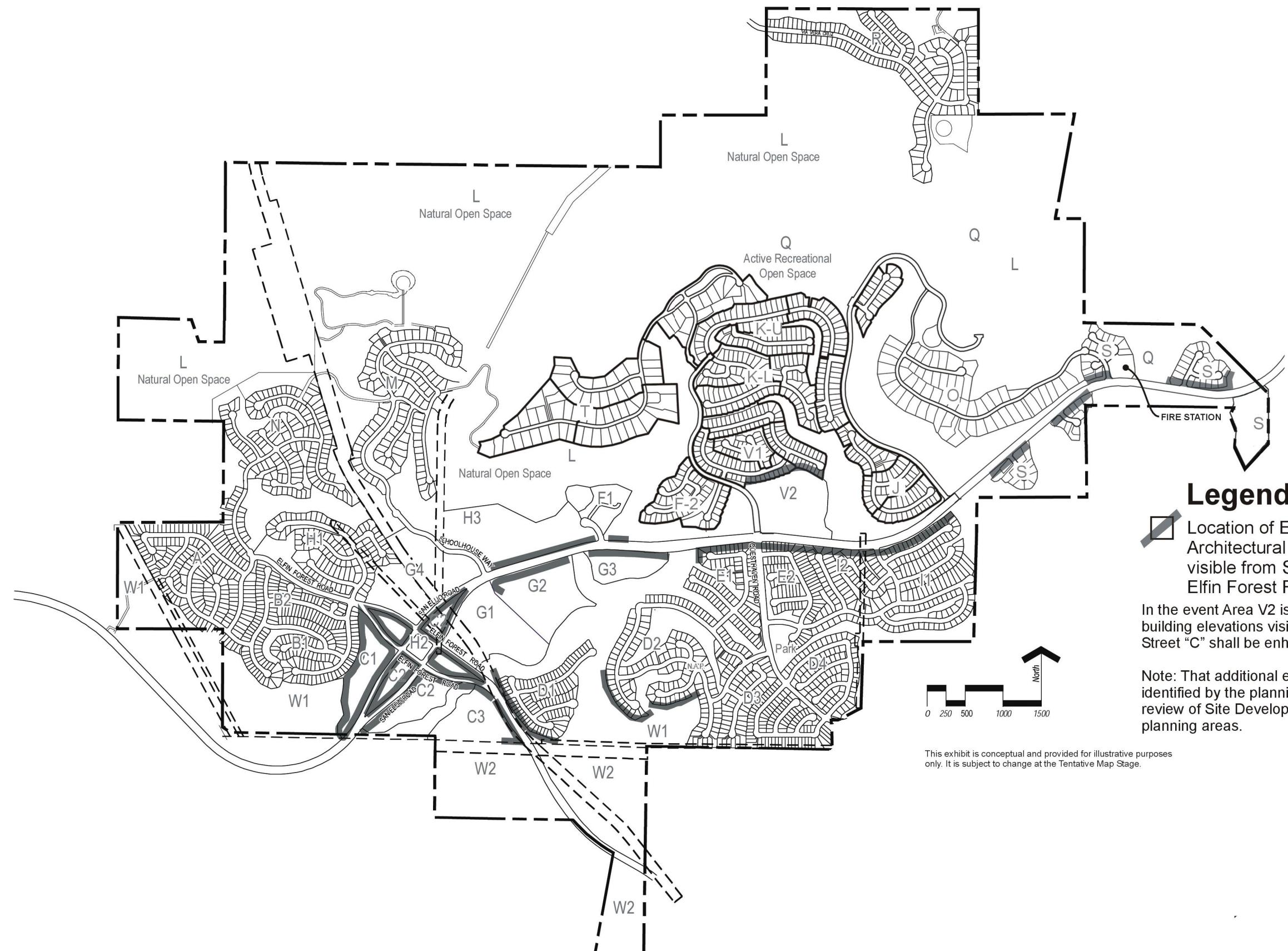
Stairs at building ends add architectural detail



Articulation of the building facades should be provided



Carriage homes over carports



Location Plan

Enhanced Architectural Elevations

San Elijo Hills Specific Plan Amendment

This exhibit is conceptual and provided for illustrative purposes only. It is subject to change at the Tentative Map Stage.



FRONT ELEVATION



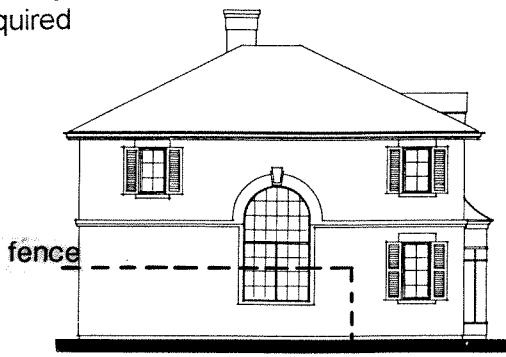
REAR ELEVATION

Architectural enhancements such as shutters, banding and window trim are required on building walls adjacent to major streets and open space identified on previous map (Exhibit IV 43)



RIGHT ELEVATION

When sound walls screen the first floor, only second story enhancements are required



LEFT ELEVATION

Enhanced Architectural Elevations (Second Story)

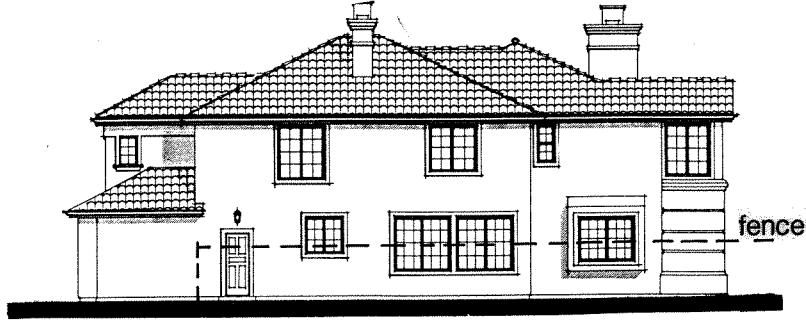


FRONT ELEVATION



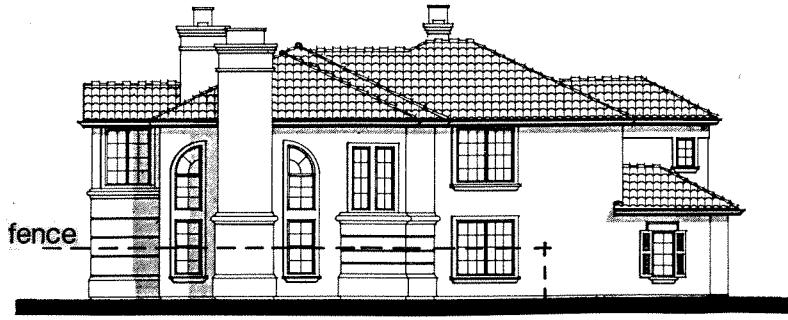
REAR ELEVATION

On more expensive homes stucco scoring and/or other siding materials are enhancements which can be used in addition to those in the previous (Exhibit IV 44).



RIGHT ELEVATION

Where transparent walls expose entire building walls, first and second floor enhancements are required.



LEFT ELEVATION

2. Mixed Use/Town Center Architectural Guidelines

The following pages outline requirements and illustrate examples of the style proposed for the mixed use/town center zone. These components shall be incorporated into the design of buildings for this zone.

a. Overall Character

- 1) The proposed character of the town center is consistent with that of traditional town architecture and planning. See Exhibits IV:64 through IV:68. The principle of hierarchy is employed in that the majority of buildings are to read as background buildings. These buildings will have a consistency of form, use of materials and an appropriate treatment of ornamental detailing. Buildings serving a civic function are regarded as primary and will receive the most attention to detail.
- 2) A consistent and harmonious set of building forms is proposed. Traditional building types and traditional urban forms provide a pleasing rhythm to the street and block patterns. Soft or eroded building corners are avoided except in the case of civic buildings where the gesture gives prominence to the building and its civic function.
- 3) The town center will offer a pedestrian circulation system linking the mixed use and adjacent neighborhoods. All streets with mixed use structures will have sidewalks where the combination of a 5 foot setback and a 10 foot to 18 foot pedestrian zone will afford comfortable and safe pedestrian use. See Exhibits IV:69 and IV:70.

b. Building Form and Facade

- 1) Town center buildings should be designed with a strong recognizable base, body and crowning element. The choice of materials for each of these elements is to reflect an appropriate representation of its function.
- 2) Building forms and facades should be broken into short vertical sections that are representative of the historical character of Southern California town buildings of the 1920s. The design of a building façade should reflect the nature and use of the original design as adaptively renovated over time. A variation of building heights, parapets, flat and pitched roofs, and building materials is encouraged to provide greater visual diversity and authenticity.
- 3) Composition of building facades should reflect an understanding of traditional building juxtapositioning where the sense of solidity and architectonic expression reinforces the notion of town.

c. Building Materials Allowed

The following building materials shall be allowed for use in exterior wall construction.

- 1) Brick
- 2) Stone — natural and custom
- 3) Wood — up to 20 percent of exterior façade
- 4) Limestone or pre-coat concrete for window and door details
- 5) Stucco or cement plaster
- 6) Standing seam metal
- 7) Exterior insulation finishing system
- 8) Concrete, concrete block or cinder block
- 9) Granite
- 10) Marble
- 11) Any other proposed materials that meet the established level of quality as determined by the Planning Director

d. Building Materials Not Allowed

The following building materials shall not be permitted for use in exterior wall construction.

- 1) Ceramic tile
- 2) Plywood
- 3) Vertical siding
- 4) Vinyl or aluminum siding
- 5) Plastic siding
- 6) Corrugated or reflective metal panels

e. Massing

Massing of buildings should reflect the physical force of load bearing where appropriate. This look is intended to instill a sense of quality and the perception that the town center complex will last for generations.

f. Openings

1. The proportion of openings should reflect solid load bearing structures wherever possible. Long unsupported spans are to be avoided unless the design of the span is treated as if an arch, lintel, corbel, or any other architectonic device traditionally used for such function. Long horizontal expanses of windows are to be avoided.
2. Solid to void ratios must be carefully considered so as to be consistent with traditional themes. Depending on the material, fewer voids may be appropriate as in the case of solid masonry structures while longer spans and more openings may be visually acceptable in structures made of wood.

g. Storefronts

Unique storefront designs are encouraged through the creative use of signage, entry motifs and varied color palettes. Components of a typical storefront include the entry door, display windows, transom windows, storefront columns, awnings, vertical support walls, decorative lintels, second and third floor windows that are spaced and proportioned to the façade with decorative trim, sills and hoodmolds; and finally a decorative cornice on a parapet or pitched roof.

h. Residential Units

- 1) Residential uses shall be permitted to be located above the first floor of any mixed use building.
- 2) Live/work units may permit residential dwelling on the ground floor if the location is approved by the Planning Director.

i. Open Space

The town square and neighborhood park are considered integral components of the mixed use/town center zone. These open spaces are intended for use by town center residents in lieu of any outdoor space requirements as part of the residential unit itself. This condition applies only to those residential units where the living space is above a nonresidential use or unit.

j. Parking

Parking within the town center zone will be accomplished through collective parking standards to be implemented as part of the Site Development Plan review process. (See Section IV "Collective Parking Standards.) One goal of the town center program is to maximize the legibility of town center buildings through their orientation to the street. Within this orientation, on-street parking is encouraged and large parking lots are sited behind the main building mass. In this position, the large parking fields become secondary visual elements yet are functionally sized to accommodate the projected parking needs.



Town Center Illustrative Plan

San Elijo Hills Specific Plan Amendment

Exhibit IV:64 Page IV:96



LEGEND

- INSTITUTIONAL
- PARK/OPEN SPACE
- RESIDENTIAL
- RETAIL/MIXED USE
- MARKET/COMMERCIAL
- OPEN AIR MARKET/ CLOCK TOWER
- OTHER



SAN ELIJO ROAD SOUTH C2-A EAST ELEVATION A-A
1/16" = 1'-0"



ELFIN FOREST ROAD WEST C2-A NORTH ELEVATION B-B
1/16" = 1'-0"



SAN ELIJO ROAD NORTH C2-A WEST ELEVATION C-C
1/16" = 1'-0"



architects bp
11848 BERNARDO PLAZA COURT, SUITE 112
SAN DIEGO, CALIFORNIA 92128
858 592-4710 FAX 858 592-4193
admin@abpa-inc.com
associates inc.

San Elijo Town Center
San Elijo Hills Specific Plan Amendment
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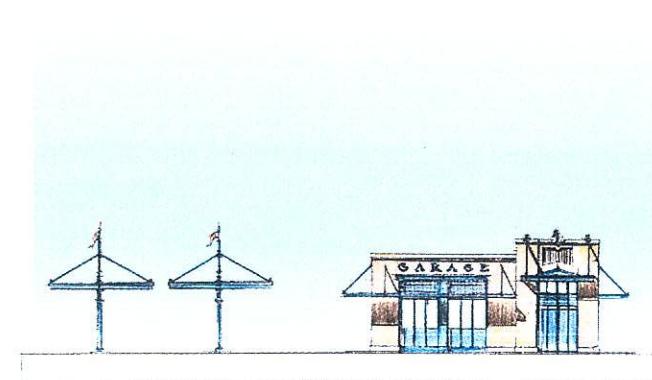


SAN ELIJO ROAD SOUTH C2-C WEST ELEVATION D-D
1/16" = 1'-0"



C2-A SOUTH ELEVATION E-E
1/16" = 1'-0"

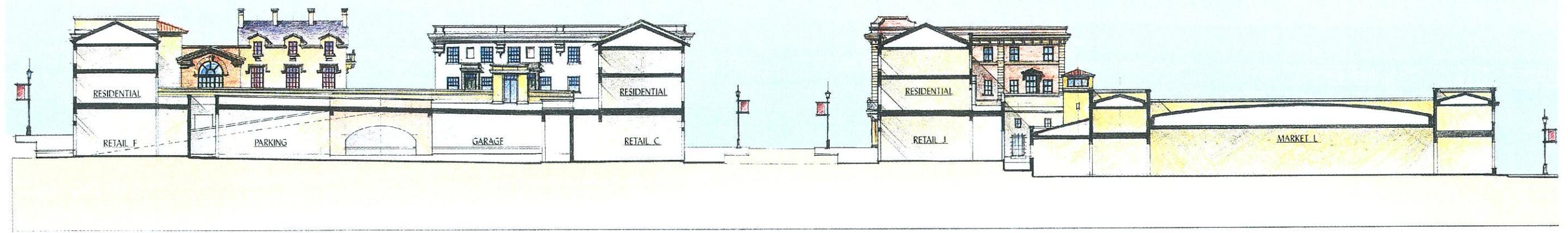
C2-C SOUTH ELEVATION/MARKET E-E
1/16" = 1'-0"



C2-A GAS STATION SOUTH ELEVATION E-E
1/16" = 1'-0"



ELFIN FOREST ROAD EAST H2-B SOUTH ELEVATION G-G
1/16" = 1'-0"



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San Elijo Town Center
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Out Door Seating Area



Typical Bench



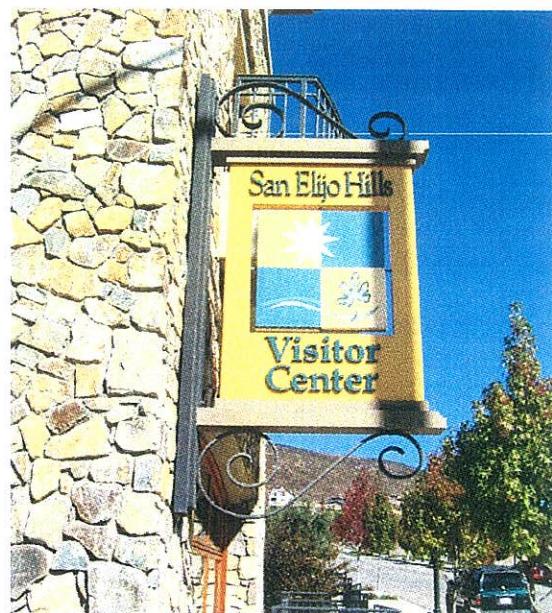
Typical Street Furniture



Typical Acessories

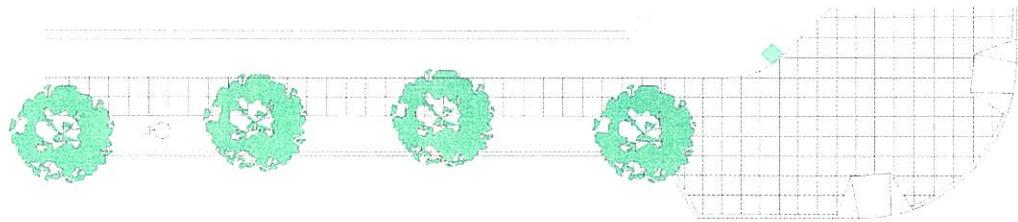


Overhead Signage

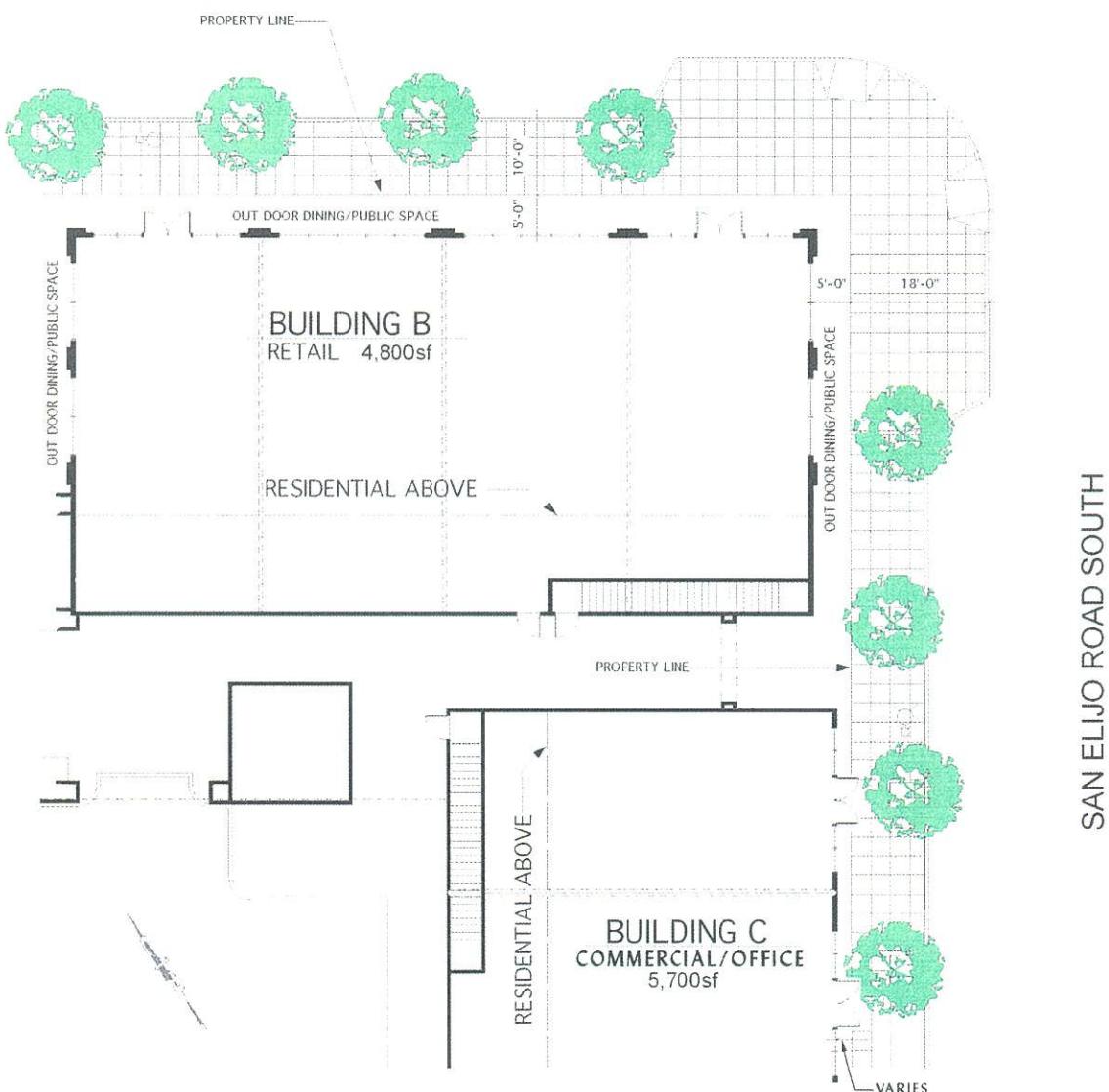


Wall Signage

Town Center Concept
Landscape/Street Furniture
San Elijo Hills Specific Plan Amendment
Exhibit IV:69 Page IV:101

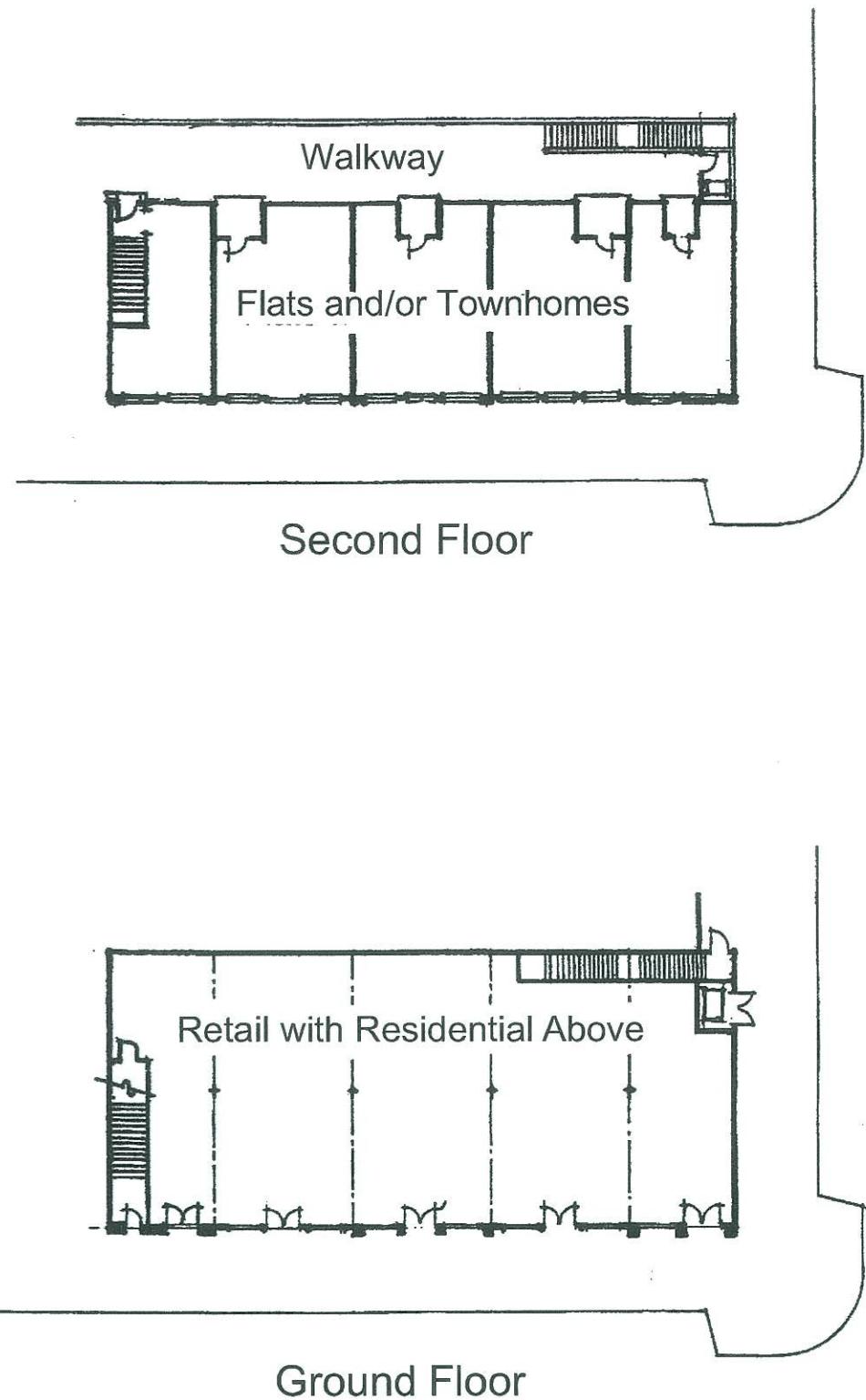


ELFIN FOREST ROAD WEST



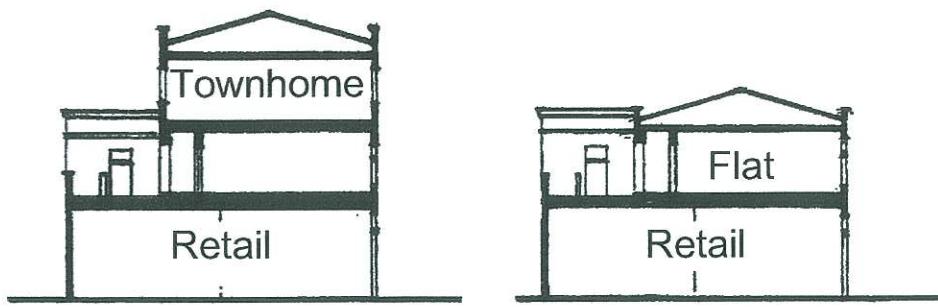
Concept Site and Set Backs

*San Elijo Hills Specific Plan Amendment
Exhibit IV:70 Page IV:102*



Combination Mixed-Use with Shopkeeper's Unit

*San Elijo Hills Specific Plan Amendment
Exhibit IV:71 Page IV:103*



Mixed-use

Combination Mixed-Use with Shopkeeper's Unit

San Elijo Hills Specific Plan Amendment
Exhibit IV:72 Page IV:104

E. Environmental Guidelines

The San Elijo Hills Subsequent Environmental Impact Report ("SEIR") identifies potentially significant environmental impacts, which could result if the project is not properly developed. The SEIR also prescribes specific mitigation measures designed to reduce or eliminate these impacts. The environmental guidelines will assist in the implementation of the mitigation measures.

An Environmental Resource Mitigation, Monitoring and Reporting Program shall be developed and approved after the input of the responsible State and Federal agencies (if any such input is required). Additional consultants, (traffic, archeology, biology, visual) under contract to the City and paid for by the developer under a three party contract, may be needed, as required by the Planning Director, to implement the Environmental Resource Mitigation, Monitoring, and Reporting Program.

F. Land Use Guidelines

This section provides the site development regulations that apply to the land uses approved for San Elijo Hills.

There are five land uses. They include Residential, Mixed Use, Community Services/Institutional, Open Space, and Temporary.

Any development standard or guidelines not specifically provided in the Specific Plan shall be governed by the applicable local, regional, or state building codes.

The following pages include detailed descriptions of each land use. Development matrices are provided for Residential, Mixed Use, and Community Services/Institutional.

1. Residential Land Use Categories

Residential land use shall be regulated as provided by the categories of Estate, Single Family Detached, Patio, Cluster Detached/Attached, and Multifamily.

In order to allow flexibility during buildout, the applicant shall be allowed to transfer density between any planning area as long as the overall built unit count does not exceed 3398 units and the total dwelling units (du) transferred does not exceed 15% of the original planning area du as specified on the approved Tentative Tract Map. For Planning Areas C-2, H-2, V-1 and V-2, where alternative products are possible, there is no transfer limitation.

Any residential planning area may be developed under a less intense land use at any time. If the school district chooses not to develop the V-2 school site, the planning area may be developed under the Multifamily, Cluster Detached/Attached or any one of the Single Family Detached land use categories. However, the overall project dwelling unit count shall not be exceeded except as provided for by the conditions herein.

a. Estate

The Estate land use category is proposed for San Elijo Hills Planning Areas O and T. These Planning Areas are located at the higher elevations of San Elijo Hills due to grading considerations. Estate lot sizes are a minimum of 20,000 square feet. The Estate sites may be occupied by custom homes. The following development regulations shall be incorporated into the development plan review for the Estate planning areas.

- 1) Estate home designs will be individually tailored to the unique terrain features of each lot.
- 2) Sensitivity to architectural design and massing shall be employed to approximate the line of existing topography. This sensitivity shall be achieved through:
 - a. Architectural standards that result in structures that do not dominate natural topography.
 - b. Architecture of a scale that blends well with the line and form of the natural topography.
 - c. Architectural articulation on all sides of structures.
 - d. Height and story restrictions in key areas.
- 3) It is expected the architectural style for Estate homes shall be given a wider range of interpretation due to the custom character of the Estate planning areas.
- 4) In order to assure higher design sensitivity registered architects and landscape architects will prepare home designs.
- 5) Balconies and decks should be integral to the home design as opposed to just tacked on.
- 6) Where possible, roof forms should be complimentary to the hillside nature of the lot.
- 7) The rear elevations of downhill units must have the same level of detail as the front elevations.
- 8) Special attention should be given to streetscene and entry areas given the shallow setbacks possible.
- 9) Strict control on exterior colors and materials is required due to high visibility and potentially large building mass.
- 10) Where Estate homesites provide a garage with two or more full-sized parking spaces, a second garage having minimum dimensions of 12 feet by 16 feet shall be allowed.

A typical Estate home layout is depicted on Exhibit IV:48, and a development standards matrix with specific development guidelines is shown on Table IV:3, page 112.

b. Single Family Detached

Eighteen single-family detached planning areas, with lots ranging from 4,000 –to 10,000 square feet, are located in Planning Areas A, B-1, B-2, D-1, D-2, D-4, E-1, E-2, F-2, H-1, I-1, I-2, J, K, M, N, R and S. The following development regulations shall be incorporated into the development plan review for all Single-Family Detached residential areas:

- 1) A minimum of three floor plans shall be provided within each planning area.
- 2) A minimum of three alternative elevation treatments should be provided for each floor plan type during site plan review.
- 3) When possible, single-story plans or two-story plans with single-story elements shall be sited on the street side of corner lots.
- 4) Front yard setbacks shall be varied to prevent a monotonous street scene.
- 5) Rear and side elevations of homes which are located adjacent to areas of high visibility along San Elijo Road and adjacent to open space uses shall be designed with enhanced rear or side elevations (whichever is exposed). Enhanced elevations shall include but not be limited to window treatment, architectural details, siding material, use of colors, shutters, etc. See Exhibit IV:61, for the location of areas where enhanced elevations are required.

Additional enhanced elevations may be identified by the Planning Director during detailed review of site development plans for individual planning areas.

- 6) Offsets, pop-outs, overhangs, recesses and porches shall be used to avoid large unbroken expanses of building planes.
- 7) Location of garages should vary, with use of side entry garages and “pulling” the living area of the house in front of the garage. These techniques are encouraged to de-emphasize the presence of the garage. Also, in larger lot neighborhoods pushing the garage to the corner of the rear yard with access along the side of the lot is allowed as an alternative configuration.

- 8) A second garage having minimum dimensions of 12 feet by 16 feet shall be allowed on lots which also provide a garage having two or more full-sized parking spaces.
- 9) Corner lots at project entries for 5,500 sf and smaller lots (but not Cluster Detached/Attached lots) shall incorporate a combination of one- and two-story product, two-story product with one-story elements exposed to the corner or larger setbacks, to minimize the impact of two-story building mass.

Typical single-family lots are depicted on Exhibits IV:47 through IV:55, and a development standards matrix is shown on Table IV:3.

c. Patio Home

Two patio home planning areas with minimum lot and pad sizes of 3,400 square feet are located at San Elijo Hills in planning areas D3 and V1. Homes can either be detached, zero lot line or duplex. In addition to the Patio Home standards, planning area V1 also can be built out to Cluster Detached/Attached standards. However, the overall project dwelling unit count of 3,466 cannot be exceeded. The following development regulations shall be incorporated into the development plan review for all patio home planning areas.

- 1) A minimum of three floor plans shall be provided within each planning area.
- 2) A minimum of three alternative elevation treatments should be provided for each floor plan type during site design review.
- 3) When possible, single-story plans or two-story plans with single-story elements shall be sited on the street side of corner lots.
- 4) Front yard setbacks shall be varied to prevent a monotonous street scene.
- 5) Rear and side elevations of homes which are located adjacent to areas of high visibility along San Elijo Road and adjacent to open space uses shall be designed with enhanced rear or side elevations (whichever is exposed). Enhanced elevations shall include but not be limited to window treatment, architectural details, siding materials, use of colors, shutters, etc. See exhibit IV:61 for location of areas where enhanced elevations are required.

Additional enhanced elevations may be identified by the Planning Director during detailed review of site development plans for individual planning areas.

- 6) Offsets, pop-outs, overhangs, recesses and porches shall be used to avoid large unbroken expanses of building planes.
- 7) The location of garages should vary, with use of side entry garages and “pulling” the living area of the house in front of the garage. These techniques are encouraged to de-emphasize the presence of the garage. Also, in larger lot neighborhoods pushing the garage to the corner of the rear yard with access along the side of the lot is allowed as an alternative.
- 8) A second garage having minimum dimensions of 12 feet by 16 feet shall be allowed on lots which also provide a garage having two or more full-sized parking spaces.

Typical Patio Home lots are depicted on Exhibit IV:56 and a development standards matrix with development guidelines is shown on Table IV:3.

d. Cluster Detached/Attached

Two planning areas, C-1 and G-3, provide for Cluster Detached/Attached residential uses at San Elijo Hills. A portion of Area C-2 also can be built out to the Cluster Detached/Attached category. These Planning Areas allow the development of detached single-family or attached dwellings. The Cluster Detached/Attached category may include clustered single family in the courtyard concept, townhomes, stacked flats, duplex or condominiums. The Cluster Single Family homes are a relatively new concept, which is in response to the trend away from attached condominiums and towards affordable detached homes on smaller lots at higher densities. Without exceeding the overall project wide unit count of 3,466, Planning V-1 and V-2 also can be built out to the Cluster Detached/Attached standards. Cluster Detached/Attached Planning Areas can also be developed at Patio or Single Family Detached standards in conformance with Table IV:3, as long as the overall project unit count of 3,466 is not exceeded. The following development regulations shall be incorporated into the development plan review for all Cluster Detached/Attached planning areas:

- 1) Attached dwellings shall maximize the feeling of open space and respond to recreational and view amenities.
- 2) Buildings shall be oriented in varying directions where possible to enhance the streetscene.

- 3) Utility and trash areas shall be screened either by the use of fences/walls or landscaping.
- 4) Parking areas shall be visually screened adjacent to public roads or public open space through the use of walls berthing, building placement, landscaping or other methods.
- 5) Clusters should be designed to be small intimate "micro-neighborhoods".
- 6) Courts should have guest parking in or adjacent to the court.
- 7) Court streetscenes consisting of only garage doors is not allowed.
- 8) Garage setbacks shall vary in courtyards with the use of 18' aprons encouraged.
- 9) Where possible, minimize the plotting of buildings where garage doors face each other, especially when 5' garage aprons are utilized.
- 10) Recreational amenities and/or tot lots are to be provided within each Planning Area.
- 11) Careful attention shall be given to unit/guest parking.

In addition, the following general guidelines apply to Cluster Attached/Detached products:

- 1) Vary front building setbacks.
- 2) Emphasis must be put on interior court landscaping.
- 3) Guest Parking: eliminate on-street parking, except guest parking which can be provided in either parallel or head-in bays, on courts or private streets.
- 4) Strict CC&Rs enforcement of resident use of guest stalls, garage parking rather than storage in garages.

Typical Cluster Detached/Attached footprints are shown on Exhibit IV:57. A development standards matrix for development guidelines is shown on Tables IV:4A and IV:4B.

e. Multifamily

Four Planning Areas, C-3, F-1, H-2 and H-3, provide for Multifamily residential uses at San Elijo Hills. Area C-2 also provides for Multifamily uses as a part of the Mixed Use land use designation. Planning Area C-3 also can be built out to Cluster Detached/Attached or Patio Home standards. The following development regulations shall be incorporated into the development plan review for all Multifamily planning areas:

1) When possible, buildings should step down at ends to soften massing.

2) Building setbacks shall be varied to prevent a monotonous streetscene.

3) Elevations of buildings, which are located adjacent to areas of high visibility along San Elijo Road and adjacent to open space uses or park, shall be designed with enhanced elevations. Enhanced elevations shall include but not be limited to window treatment, architectural details, siding materials, use of colors, shutters, etc. See Exhibit IV:61 for location of areas where enhanced elevations are required.

Additional enhanced elevations may be identified by the Planning Director during detailed review of site development plans for individual planning areas.

4) Offsets, pop-outs, overhangs, recesses and porches shall be used to avoid large unbroken expanses of building planes.

5) Carports or accessory building such as laundry buildings shall be designed to compliment the architecture of the main buildings.

6) A system of pedestrian walkways shall be provided which are designed to be safe from vehicular traffic.

7) Utility and trash areas shall be screened either by the use of fences, walls or landscaping.

8) Parking areas shall be visually screened adjacent to public roads or public open space through the use of walls, building placement, landscaping or other methods.

9) Two and three story stacked flat units are anticipated.

10. Recreational amenities and/or tot lots are to be provided within each planning Area.

11) Careful attention shall be given to provisions for unit/guest parking.

Typical multifamily footprints (Exhibit IV:60) and a Development Standards Matrix (Tables IV:4A and IV:4B) with development guidelines follow this section.

Detached Residential Development Standards

Table IV:3

Category	Estate 100' deep flat pad	Single Family Detached										Patio	
VILLAGES	O,T ^{14,15}	R	S ^{14,15}	M, F2	I1, N, D2, J, K	H1, I2	A, E1, R	D4	B1	B2, D1, E2	G3, D3, V1		
USES					For sale single family detached homes on fee simple lots						For sale single family detached or duplex on fee simple lots ¹⁰		
GENERAL													
Min. Lot Size (s.f.)	20,000 ¹⁶	10,000	7,000	6,000	5,500	5,000 (w/s)	5,000	4,800 (w/s)	4,500	4,000 s.f.	3,400 s.f.		
Min. Lot Width	100'	80'	70'	60'	55'	50'	50'	60'	45'	40'	40'		
Min. Cul/Knuckle Frontage ¹	33'	33'	33'	33'	33'	33'	33'	33'	33'	33'	33'		
MAX. BUILDING COVERAGE	35%	60%	60%	60%	60%	60%	60%	60%	60%	60%	65%		
SETBACKS^{2,17}													
Front													
Unit	25' or 15'	15'	15'	15'	15'	15'	15'	15'	15'	15'	10'		
Garage	25' or 20'	20'/15'	20'/15'	20'/15'	20'/15'	20'/15'	20'/15'	20'/15'	20'/15'	20'/15'	20'/18'		
Swing-in Garage	25' or 20'	15'	15'	15'	10'	10'	10'	10'	10'	10'	10'		
Back up for Swing-in ³	24'	24'	24'	24'	24'	24'	24'	24'	24'	24'	24'		
Side ¹³													
Interior	5'/30'	5 min/10.	5 min./15 tot.	5/10'	5/10'	5/10'	5/10'	5/10'	5/10'	5/10'	5/10' or 0/5 ⁴		
Corner	15'	10'	15'	10'	10'	10'	10'	10'	10'	10'	10'		
Rear													
Unit	30'	20'	20'	20'	15'	15'	15'	15'	15'	15'	10'		
Attached Garage	5'	5'	5'	5'	5'	5'	5'	5'	5'	5'	5'		
Accessory ⁵													
To any property line	5'	5'	5'	5'	5'	5'	5'	5'	5'	5'	5'		
HEIGHT⁶	35'	35'	35'-25 ⁹	35'	35'	35'	35'	35'	35'	35'	35'		
MAX. STORIES	3	2	2 w/3 rd story element	2	2	2	2	2	2	2	2		
PARKING													
Overall/DU ⁷	2.33	2.33	2.33	2.33	2.33	2.33	2.33	2.33	2.33	2.33	2.33		
Garage/DU	2	2	2	2	2	2	2	2	2	2	2		
Guest/DU	.33	.33	.33	.33	.33	.33	.33	.33	.33	.33	.33		
Inside garage dimension-double	20' x 20'	20' x 20'	20' x 20'	20' x 20'	20' x 20'	20' x 20'	20' x 20'	20' x 20'	20' x 20'	20' x 20'	20' x 20'		
Inside garage dimension-single ¹¹	12' x 16'	12' x 16'	12' x 16'	12' x 16'	12' x 16'	12' x 16'	12' x 16'	12' x 16'	12' x 16'	12' x 16'	12' x 16'		
Unenclosed stall dimension					Chapter 20.84 of City's Title 20 – Zoning Ordinance ⁸								
MIN. FLOOR AREA (S.F.)		1,200	1,200	1,200	1,200	1,200	1,200	1,200	1,200	1,200	900		

1. Flag lots 20' minimum frontage allowed.
2. To interior streets, (back of sidewalks or curb if no walk) or interior property lines. Special building, parking or landscape setback requirements may be required along certain village boundaries. See Specific Plan for additional information. Excludes architectural projections as defined by UBC.
3. Back-up space is defined as 24' clear either as hard surface or hard surface and low planting area (6" or less).
4. Use of easements or zero lot lines allowed. Duplex units to have 0' on attached side and 5' on open side.
5. Detached garages, trellis or patio structures. Pools & Casitas 5' from edge of pad (O, T, S).
6. Height defined in Section V. A Definitions, Page V:1. See Planning Area O, Item u. Other for locations of restricted lots.
7. Drive apron parking countable
8. Zoning Ordinance at time Specific Plan approved shall apply.
w/s = wide and shallow.
9. Maximum height north of San Elijo Road is single story / 25 feet. Max height south of San Elijo Road is 35'.
10. Duplex is not an allowed use for D3.
11. Second single-space garage is allowed provided first garage has two or more full-sized parking spaces.
12. Should the school district decide not to locate a school in Planning Area V2, this area can be developed at the Multifamily, Cluster Detached/Attached or any one of the Single-Family Detached categories as long as the maximum allowable overall unit count does not exceed 3,466 except as provided for the by the conditions herein.
13. Side yard setbacks shall be 5-foot minimum to property line. 30-foot separation between structures.
14. Refer to Chapter IV Section I. Lighting Standards, Item 5, Lighting Restricted Areas for special requirements.
15. Refer to Landscape Master Plan Item 2d. and Exhibit IV:7, Landscape Restricted Areas for special requirements.
16. Minimum Pad Size is 8,000 SF.
17. Area O lots less than 100 feet deep may have a minimum front yard setback from back of curb as follows: 15 feet to unit; 20 feet to garage.

Setback Standards

For single-family detached homes, front yard setbacks shall be a minimum of 20 feet to a straight-in garage and 10 feet to a swing-in garage measured from street right-of-way. If roll-up garage doors are installed, the 20-foot setback may be reduced down to a minimum of 15 feet. Front setbacks to the living unit shall be a minimum of 15 feet from the back of sidewalk.

For patio homes, front yard setbacks shall be a minimum of 20 feet to a straight-in garage and 10 feet to a swing-in garage measured from street right-of-way. If roll-up garage doors are installed, the 20-foot setback may be reduced to a minimum of 18 feet. Front setbacks to the living unit shall be a minimum of 10 feet from the back of sidewalk.

Cluster Detached/Attached and Multi-Family Development Standards

Table IV:4A

CATEGORY	CLUSTER DETACHED/ATTACHED			MULTI-FAMILY
	Cluster Detached	Attached with attached parking	Attached with detached parking	
VILLAGES	C1, G3, H2, V1	C1, C2, G3, H2 V1	C1, C2, G3, H2, V1	C2, C3, F1, H2, H3
USES	For sale single family detached or duplex on fee simple lots.	For sale condominium or fee simple ownership carriage flats, stacked flats, townhomes, or combination thereof.	For sale condominium carriage flats, stacked flats, townhomes or combination thereof.	For sale or rental carriage flats, stacked flats, townhomes, condominiums, condominiums/ apartments over retail/ commercial or combination thereof.
MAXIMUM GROSS DENSITY	18.0	18.0	18.0	25.0
GENERAL				
Min. Lot size (fee simple)	1,800 s.f.	1,500 s.f.	N/A	N/A
Min. Lot Width	30'	20'	N/A	N/A
Min. Cul/Knuckle	33'	20'	20'	
Flag Lot Frontage	20'	20'	N/A	N/A
MAX. BUILDING COVERAGE	65%	80%	65%	65%
SETBACKS¹				
Front				
Garage	5' or 18'	5' or 18'	5' or 18'	0'
Carport	0'	0'	0'	0'
Unit	10'	10'	10'	10'
Swing-In Garage	10'	10'	N/A	N/A
Side				
Interior or end	5/5 ² or 0/0 ²	0 ³	5'	5'
Corner on street	10'	10'	10'	10'
Rear				
Unit	10'	10'	10'	10'
Attached Garage	5'	5'	N/A	N/A
ACCESSORY⁴				
To interior property line, street, curb, walk	5'	0'	0'	0'
To building	10'	10'	10'	10'
SEPARATION				
Side to side	10'	10'	10'	10'
All other separations	20'	20'	20'	20'
VILLAGE BOUNDARY SETBACKS¹⁰				
Front	20'	20'	20'	20'
Side	5'	5'	5'	5'
Rear	10'	10'	10'	10'

Cluster Detached/Attached and Multi-Family Development Standards (continued)

Table IV:4B

CATEGORY	CLUSTER DETACHED/ATTACHED			MULTI-FAMILY
	Cluster Detached	Attached with attached parking	Attached with detached parking	
VILLAGES	C1, G3, H2, V1	C1, C2, G3, H2, V1	C1, C2, G3, H2, V1	C2, C3, F1, H2, H3
BUILDING HEIGHT⁶	35'	35'	40'	45'
MAX. STORIES	2	2	3	3
PARKING				
Overall/D.U. ⁷	2.33	2.33	2.33	2.33
Covered/D.U.	1	1	1	1
Guest/D.U.	.33	.33	.33	.33
Inside garage				
Dimensions—single	10' x 19'	10' x 19'	10' x 19'	10' x 19'
double	19' x 19'	19' x 19'	19' x 19'	19' x 19'
tandem	10' x 36'	10' x 36'	10' x 36'	10' x 36'
Carport dimension	9' x 19'	9' x 19'	9' x 19'	9' x 19'
Unenclosed stall dimensions	Chapter 20.84 of City's Title 20 – Zoning	Chapter 20.84 of City's Title 20 – Zoning	Chapter 20.84 of City's Title 20 – Zoning	Chapter 20.84 of City's Title 20 – Zoning
OPEN SPACE				
Private		200 SF ground unit/50 SF non-ground unit	200 SF ground unit/50 SF non-ground unit	200 SF ground unit/50 SF non-ground unit Note: No private open space is required in mixed use Planning Area C2 where residential is constructed over retail/commercial
MIN. FLOOR AREA (s.f.)	900	600	600	600

1 To interior private streets, parking, walks or building parcel property lines. Special building, parking or landscape setback requirements may be required along certain village boundaries. See Specified Plan for additional information. Excludes architectural projections as defined by UBC.

2 Use easements or zero lot line allowed. Duplex units to have 0' on attached side and 5' on open side.

3 Allows lot lines for interior units of a multi-plex building.

4 Detached garages, carports, trellis or patio structures.

5 From any public right of way.

6 Height defined as in City of San Marcos Title 20 Zoning Ordinance, definition page 7. (9/23/92)

7 Drive apron parking countable.

8 Zoning ordinance at time Specific Plan approved shall apply.

9 Should the School District decide not to locate a school in Planning Area V2, this area can be developed at the Multifamily, Cluster Detached/Attached, or any one of the Single-Family categories as long as the maximum allowable unit count does not exceed 3,466 except as provided for by the conditions here.

Setback Standards

For cluster/attached homes, front yard setbacks to a straight-in garage shall be either a maximum of 5 feet or a minimum of 20 feet and 10 feet to a swing-in garage, measured from the back of the sidewalk to the curb if there is no sidewalk. If roll-up garage doors are installed, the 20-foot setback may be reduced down to a minimum of 18 feet. All other setbacks shall conform with Table IV:4A.

For multi-family buildings, front yard setbacks to a straight-in garage shall be either a maximum of 5 feet or shall be a minimum of 20 feet measured from the back of the sidewalk to the curb if no walk. If roll-up garage doors are installed, the 20-foot setback

2. Mixed Use

There are two Mixed Use designated planning areas at San Elijo Hills; Area C-2 and a portion of Area H-2. These Mixed Use areas are intended to meet a portion of the residential and community services/institutional needs of the community as well as all the commercial needs. The following development regulations shall be incorporated into the development plan review for C-2 and that portion of H-2 that is designated Mixed Use.

- a. All buildings within a Mixed Use designation shall have complementary architectural styles.
- b. Parking shall be joint use and reciprocal between the uses as provided for by the Collective Parking Standards contained herein. Parking conformance must be demonstrated at the time of site plan review.
- c. To the extent possible, each Mixed Use area shall be pedestrian friendly through the implementation of plazas, outdoor eating areas for restaurants, paseos, promenades, landscape treatments, etc.
- d. The architectural style and scale of each component of the mixed use area (residential, commercial, community services/institutional) shall be complementary to each other and also to surrounding planning areas.
- e. Dock, trash and parking areas shall be visually screened from adjacent public roads or public open space through the use of walls, berthing, building placement, landscaping or other methods.
- f. Variety in roof height and building facades is encouraged to create interest in massing.
- g. Where possible vertical elements such as towers should be used to create a sense of place.
- h. Buildings should be sited and accessed to separate truck traffic and loading from passenger cars, circulation, parking and pedestrian circulation.
- i. Construction within a planning area may be phased. An approved development plan may be modified as provided for in Chapter VI.

A matrix with specific development standards (Table IV:5) follows.

3. Community Services/Institutional

There are several planning areas where Community Services/ Institutional uses are proposed. Planning Areas G-1, G-2 and V-2 are school sites. A fire station is designated for a portion of Planning Area S. There are Community Services/Institutional uses proposed in the Mixed Use planning areas C-2 and H-2. In addition, the project's water reservoirs and park sites are subject to the standards of this land use designation. The following development regulations shall be incorporated into the development plan review for the Community Services/Institutional Planning Areas.

- a. The architectural style and scale is to be consistent with the surrounding residential uses.
- b. Trash and parking areas shall be visually screened from adjacent residential or public open space through the use of walls, berthing, building placement, landscaping or other methods.
- c. All buildings within a Planning Area shall have complementary architectural styles.
- d. The structures in the Neighborhood Park should be compatible with the architectural style proposed for Planning Areas C-2 and H-2.

A matrix with specific development standards (Table IV:5) follows.

Mixed Use/Community Services/Institutional Development Standards

Table IV:5

<i>Designation</i>	<i>Commercial</i>	<i>Community Services/Institutional</i>	<i>Residential</i>
VILLAGES	C2, Portion of H2 ⁶	C2, G1, G2, G4, Portion of H2, V2 Area S Fire Station Site	C2 ⁶
USES	See Planning Area Development Regulations for Planning Areas C2 and H2	All public and quasi public uses. ¹	Multi family, cluster attached, residential over commercial See Table IV:4A and B for additional information
HEIGHT	45 ¹⁵	45 ¹⁵	52 ¹⁵
MAX. STORIES	3	3	3
SETBACKS			
Village Interior ²	0' or 5'	0' or 5'	0' or 5'
Front	0'	0' or 5'	0'
Side	0'	0' or 5'	0'
Rear	0'	N/A	0'
Pad Setbacks			
Village Boundary	0'	0' or 5'	
Front	0'	0'	
Side	0'	0'	
Rear			
BUILDING SEPARATION	As determined by UBC ³	As determined by UBC ³	As determined by UBC ³
PARKING	Per Section IV:G Collective Parking Standards	Chapter 20.84 of City's Title 20 – Zoning Per Section IV:G Collective Parking Standards in C2/H2 Mixed Use	Per Section IV:G Collective Parking Standards covered parking not required in residential mixed use
MIN. LOT SIZE	3.000 S.F. ⁴	3.000 S.F. ⁴	

- 1 Quasi-public uses such as, but not limited to, churches, pre-schools and/or day care, private or public schools and private or public clubs or fraternal organizations. See development regulations for each planning area.
- 2 To interior private streets and parking. Special building, parking or landscape setback requirements may be required along certain village boundaries. See Specific Plan for additional information. Excludes architectural projections as defined by UBC.
- 3 Ordinance or Code at time Specific Plan approved shall apply.
- 4 This minimum lot is intended to be utilized within an overall planned commercial development which will provide for reciprocal parking, access and related easements to serve the interior building pads.
- 5 Additional architectural projections may be approved at time of Site Plan review.
- 6 In area C2 and H2, there is a requirement for a 15' pedestrian zone adjacent to San Elijo and Elfin Forest Roads.

4. Open Space

The Open Space land use designation provides for two categories of open space. These are Natural Open Space and Refined Open Space.

Open Space is provided throughout San Elijo Hills. The primary Open Space planning areas are G-4, Q, L, W-1, and W-2.

Standards and regulations for this land use shall be as outlined in Chapters III, IV, and IV.

5. Temporary

During the build-out of the project the following temporary uses are permitted. These include, but are not limited to, aggregate extraction, per the approved Master CUP, home sales centers, commercial leasing offices, construction offices, and information centers.

Standards and Regulations in this land use shall be subject to City Municipal Codes and Ordinances and the approved conditional use permits.

G. Collective Parking Standards

1. Intent

Parking Standards for Planning Area C-2 and H-2 shall be per this section.

All contemplated land uses within these planning areas shall be provided adequate parking based on these Collective Parking Standards.

This provision allows the use of both off-street and 50% on-street parking spaces within and adjacent to these Planning Areas to satisfy the requirements of these standards.

2. Required Parking Spaces

The designated land use for Planning Area C-2 and H-2 is Mixed Use.

Within this designation, the use categories include commercial, community services/institutional and residential.

Parking for these planning areas shall be provided as follows:

Commercial and Community Services/Institutional: 4.3 parking spaces per thousand square feet of gross floor area.

Residential: All categories – 2.33 spaces per dwelling unit.

3. Shared Parking Plan

If a privately owned parking facility is to serve two or more separate properties or businesses, a legal agreement between owners guaranteeing access to, use of, and management of designated parking spaces is required.

- a. This written agreement shall be drawn to the satisfaction of the City Attorney and shall be executed by the affected parties assuring the continued availability of the number of stalls designated for shared use.
- b. The shared parking agreement must include a site plan indicating which parking spaces are intended to serve a designated use. The allocated spaces shall be designated based on pedestrian routes of travel.
- c. The shared parking agreement must include a signage plan that directs drivers and pedestrians to available parking.
- d. The shared parking agreement must also address accessibility, safety, and security through the assurance of lighting and long-term maintenance.
- e. The shared parking agreement shall be recorded against the affected properties.

4. Circulation Design

Traffic circulation within Planning Areas C2 and H2 has been designed to flow within the framework of a one-way couplet structure. Parallel on-street parking is provided throughout the planning areas and on opposing sides of San Elijo and Elfin Forest roads. Where off-street parking is provided, no vehicle will need to enter San Elijo or Elfin Forest roads in order to progress from one parking aisle to another aisle. If any off-street parking requires a one-way circulation flow, directional signs and markings shall be provided.

5. General Development Standards

Off-street parking Development Standards shall be per City Zoning Ordinance, Section 20.340 except that parking stall dimensions shall be a minimum of 9 x 20 unless compact car spaces are provided.

6. Location of Parking

All parking spaces required in the Mixed Use Planning Areas will be located either on-street or in off-street lots.

Clearly traversable pedestrian routes adjacent to public streets and on permanently established easements between buildings and structures shall be provided to connect parking areas.

7. Driveway Locations

Driveway locations will be placed so as to be compatible with the right in/right out turning movements associated with the one-way San Elijo and Elfin Forest roadway designs.

8. Illumination

Illumination standards shall be per Section I, Lighting Standards.

9. Landscaping

Landscaping standards shall be in conformance with the regulations contained herein.

10. Loading Spaces

A minimum of one Loading Space shall be provided for each 9,000 square feet of retail, restaurant and/or community services/institutional use.

A loading space is defined as an area 10 feet wide, 35 feet long with an overhead clearance of at least 14 feet which affords adequate ingress and egress for trucks.

Loading spaces shall be clearly marked and permanently reserved and maintained for the temporary parking of commercial vehicles while loading or unloading merchandise or materials.

H. Sign Program

1. Residential Planning Areas

Signs and graphics within the residential planning areas of San Elijo Hills will be of a consistent style and format. Design criteria affecting the sign program include architectural compatibility and the consolidation of information. Signage shall be designed to display the necessary information or direction as opposed to advertising a product or service.

- a. A Conceptual Sign and Fencing Program for San Elijo Hills shall be developed and submitted in conjunction with the Master Tentative Map, Master Street Tree Plan and Master Trail/Park Plans.
- b. Individual sign programs for residential planning areas shall be submitted as a part of the Development Plan Review process. Community Facility sign standards will apply to the following conditions:
 - Community Entry
 - Secondary Entries
 - Neighborhood Entries
 - School Entry
 - Park Entry
 - Trail System Information
 - Real Estate Directories

A sign system utilizing a consistent script and architecturally compatible materials will be developed. Three basic categories of Community Facility signs will be developed:

- Entry Monument(s)
- Facility Identification
- Entry Markers

The community entry monument occurs within San Elijo Road. (See Exhibit IV:8)

Facility identifiers will occur through the use of wall-mounted signs located near the pedestrian entry or doorway. Script type and style will match that of the entry monument. (See Exhibit IV:9)

Entry markers are simply columns of wood or concrete, which identify the entry in situations where wall mounted script, might not be visible. Wooden markers will be used for trail system information. Concrete or masonry markers will be used elsewhere. (See Exhibit IV:9)

Care should be given to ensure sight line visibility for traffic at intersections and driveways.

2. Mixed Use/Town Center

Signage and graphics within the town center shall be regulated by the following guidelines.

- a. External building signage shall be limited to the configuration of building façade signs, hanging signs or wall signs.
- b. Building façade signs shall be no more than two feet (2') in height and shall be in proportion to the building facade.
- c. Building façade signs shall be considered a cohesive design element within a building's elevation and in conjunction with window and door placement.
- d. A hanging sign shall be permitted to be a maximum of eight square feet in size and shall have a minimum clearance of eight feet (8') from the finished grade of the sidewalk to the bottom of the hanging sign.
- e. A wall sign shall be permitted to be a maximum of fifteen square feet in size within a maximum height of four feet (4') from finished grade at the base if free standing. Signage must be proportioned to the wall area upon which it is applied. Locations of wall signs must be approved on a site plan.
- f. The combined area of a business's identification signs shall not exceed one square foot (1SF) for each linear foot (LF) of the business's building frontage.
- g. Externally lighted signs are permitted if the light source is decorative and constitutes an architectural feature of the building façade. It must also be focused away from adjacent properties or streets.
- h. Internally lighted signs are permitted if the sign is constructed of individual letters and/or symbols that are individually lighted from within.

- i. Neon signage shall be permitted when less than three square feet (3SF) in total area and when they are located within the building.
- j. Signage and lettering shall be dimensional. Signs painted onto a building or wall surface are prohibited.
- k. Exterior building signage may only advertise the business transacted, goods sold or produced, or the service rendered on the premises where the sign is located. Safety or warning signage required by law is excluded.
- l. Storefront windows and doors shall be limited to a maximum of two square feet (2SF) of coverage with stickers, credit card decals, hours of operation, etc.
- m. Temporary sale or promotional signs shall be limited to fifteen square feet (15SF) or total area and shall only be permitted for up to a maximum of 45 days per year.
- n. Temporary signage shall only be attached to the inside of a storefront.
- o. Handwritten and/or typed signs are prohibited.
- p. Moving and/or flashing signs are prohibited.
- q. External posters and promotional signs are prohibited.
- r. Signage or lettering is prohibited on awnings or canopies.

I. Lighting Standards

The lighting and illumination standards for the San Elijo Hills will be complementary to the architecture and the land uses throughout the project area. All lighting shall be shielded to minimize light scatter and therefore maintain a dark sky and respect the rural character of the project area. Any potential lighting impacts to surrounding residential development will be mitigated through the use of shielded lighting.

1. Lighting Standards for Roadway

The height of streetlights shall vary and streetlights shall be placed at spacing as required by the City of San Marcos to provide adequate safety and security for motorists and pedestrians. Low pressure sodium lighting shall be used for all roadways or as otherwise determined by the City Engineer.

Streetlights on major and collector streets shall be a maximum of 30 feet in height. The light standard shall be a concrete pole or metal with a square box-type luminaire. The concrete pole is to have a visible aggregate and light sand-blast finish. The luminaire color is to match the pole.

For local streets, the light standards are proposed to be either 25 or 18 feet in height. Metal or concrete poles are allowed. The concrete or metal pole is to have a light sand-blast finish and a decorative, non-glare luminaire.

On those roadways identified on Exhibit IV:73 (page IV:124), no lighting standard or globes shall be visible to the northerly side of Cerro de Las Posas or break the ridgeline silhouette to the south.

2. Parking Lots

Light standards in parking areas shall be a maximum of 25 feet in height and shall provide illumination levels as required by the City of San Marcos.

Low pressure sodium lighting shall be used. Metal or concrete poles are allowed. The concrete pole is to have a light sand-blast finish, and the luminary is to be a box-type shape in a color to match the pole.

The Double Peak Amenity Area parking lot shall be restricted to security lighting only as required in the City of San Marcos. No light standards or globes shall be visible to the northerly side of Cerro de Las Posas or break the ridgeline silhouette to the south.

3. Lighting Standards for Recreational Areas

Playing field lighting, if installed, shall be shielded to ensure that light and glare does not spill over onto adjacent residential properties. In addition, mechanisms such as timers, etc. may be included in order to minimize night sky illumination.

Lighting on the Double Peak Regional Park shall be as required by the City of San Marcos. Lighting for trails shall be determined by the Trail Standards herein.

4. Decorative Lighting

Decorative and accent lighting, such as uplighting, may be used for landscaping, structures and signs, and could utilize fluorescent rather than low-pressure sodium fixtures if approved through the development review process.

Residential development identified on Exhibit IV:73 (page IV:124) shall be restricted through CC&Rs for conformance with the County's Dark Sky Ordinance.

5. Lighting Restricted Areas

In the lighting restricted areas illustrated on Exhibit IV: 73, street, trail and open space lighting fixtures shall be limited to low-profile fixtures with sharp lighting cutoff features as approved by the City of San Marcos. Residential lots (per Exhibit IV:73) in the lighting restricted area shall be deed restricted ensuring conformance with this provision. Exceptions may be made if approved by the Planning Manager.

J. Antennae Standards

The standards for placement of antennae are set forth to clearly define the health, safety, and aesthetic objectives for all residents of San Elijo Hills. The intent of these objectives is not to impose unreasonable limitations on or to prevent reception of satellite or land-based signals nor are they intended to impose costs that are excessive when compared to the purchase and installation costs of antennae equipment. Instead, these regulations provide for the orderly and aesthetically pleasing installation and use of electronic antennae devices while prohibiting to the extent possible unsightly antennae installations not screened from public view.



Lighting Restricted Areas
San Elijo Hills Specific Plan Amendment
Exhibit IV:73, Page IV:124

1. Permitted Devices

- a. Dish antennae, as defined in Chapter V, shall be considered as accessory to a main structure and shall be permitted in all planning areas subject to the provisions of this section.
- b. Satellite antennae, as defined in Chapter V, shall be considered as accessory to a main structure and shall be permitted in all planning areas subject to the provisions of this section.
- c. Conventional "stick" antennae, as defined in Chapter V, are prohibited in all planning areas.

2. Residential Area Restrictions

- a. Dish antennae
 - 1) When considering the placement of dish antennae, it is encouraged that it be located so as not to be visible from a street or public open space.
 - 2) If dish antennae placement is visible from a street or public open space, it shall be painted the same color as the surrounding structure.
 - 3) Masts required for the placement of dish antennae are discouraged. If a mast is necessary to receive or transmit an acceptable quality signal based on maintaining line of sight contact with a transmitter or view to a satellite, then the mast shall not exceed twelve feet or extend beyond the exclusive use area of a residence.
 - 4) If a mast is visible from a street or public open space, it also shall be painted the same color as the adjacent or surrounding structure.
 - 5) In a case where dish antennae is used to transmit fixed wireless signals, a label must be affixed to the device that provides adequate notice regarding potential radio frequency safety hazards, e.g. information regarding the safe minimum separation distance required between users and transceiver antenna; and a reference to the applicable FCC-adopted limits for radio frequency exposure.
- b. Satellite antennae
 - 1) Satellite antennae shall be ground mounted.
 - 2) Satellite antennae shall be located within a rear yard or side yard only; on a corner lot, satellite antennae shall not be located within the street side yard.
 - 3) Satellite antennae shall not exceed fifteen feet in height.

- 4) Satellite antennae shall be screened from adjacent properties and public view by a wall, fence or an appropriate mix of plant materials so that no more than twenty-five percent of the satellite antenna extends above the top of the screening material. Proposed satellite antenna screening shall be subject to the review and approval of the planning director.
- 5) Satellite antennae shall be located at least four feet from any property line.
- 6) No more than one satellite antenna shall be permitted per lot.
- 7) A satellite antenna shall not exceed ten feet in diameter.

3. Mixed Use/Community Services/Institutional Area Restrictions

a. Dish antennae

- 1) When considering the placement of dish antennae, it is encouraged that it be located so as not to be visible from a street or public open space.
- 2) If dish antennae placement is visible from a street or public open space, it shall be painted the same color as the surrounding structure.
- 3) Masts required for the placement of dish antennae are discouraged. If a mast is necessary to receive or transmit an acceptable quality signal based on maintaining line of sight contact with a transmitter or view to a satellite, then the mast shall not exceed twelve feet or extend beyond the exclusive use area of a residence or business.
- 4) If a mast is visible from a street or public open space, it also shall be painted the same color as the adjacent or surrounding structure.
- 5) In a case where a dish antenna is used to transmit fixed wireless signals, a label must be affixed to the device that provides adequate notice regarding radio frequency safety hazards, e.g. information regarding the safe minimum separation distance required between users and transceiver antenna; and a reference to the applicable FCC-adopted limits for radio frequency exposure.

b. Satellite antennae

- 1) No more than one satellite antenna shall be permitted per lot or business provided, however that additional antennae may be permitted by the planning director if there is more than one use on a lot or required by a business which cannot feasibly be served by a single satellite antenna.
- 2) Ground mounted

- (a) When a satellite antenna is ground mounted, it shall be located in the rear fifty percent of the lot.
- (b) Satellite antennae shall not exceed twenty-five feet in height.
- (c) Satellite antennae shall not be used as a sign or contain any advertising copy.
- (d) Satellite antennae shall be screened from adjacent properties and public view by a wall, fence or an appropriate mix of plant materials so that no more than twenty-five percent of the satellite antenna extends above the top of the screening material. Proposed satellite antennae screening shall be subject to the review and approval of the planning director.
- (e) Satellite antennae shall not be located in any required parking area.

3) Roof mounted

- (a) When a satellite antenna is roof mounted, it shall not exceed fifteen feet in height provided; however, that in no case shall the satellite antenna extend more than five feet above the permitted height of the building upon which it is located.
- (b) Roof-mounted antennae shall be screened by recessing the antenna into a building roof line or by constructing a screen out of similarly textured roofing or exterior wall material as the structure upon which it is located. It must be demonstrated to the satisfaction of the planning director that the antenna is not visible from ground level.

4. Variance to Standards

If after application of the standards set forth in this section a dish antenna cannot be physically located on an applicant's property or would result in the imposition of unreasonable costs considering the purchase and installation costs of the equipment, then the planning director shall grant a variance to these standards, but only to the extent necessary to allow the installation of one dish antenna to be located on the applicant's property in such a place and manner as to present the least impact on aesthetics from neighboring properties, streets and public open space taking into account the remaining health, safety and aesthetic regulations set forth in this section.

SECTION V

Planning Area Development Regulations



V. PLANNING AREA DEVELOPMENT REGULATIONS

The intent of this section is to apply the development standards in Chapter IV to each Planning Area. This section is divided into two subsections. The first subsection provides definitions, which are applied to the entire Specific Plan area. The second subsection describes standards, which apply to each Planning Area and can be found in the standard matrices in the previous chapter. Land uses not specified in the permitted uses section of the Planning Area standards, but which are found by the Planning Manager to be consistent with the intent and purpose of the specific Planning Area, and are similar to the allowed uses, are allowed.

A. Definitions

Accessory Structures - "Accessory structures" shall mean a detached subordinate structure located on the same lot, which is devoted exclusively to a use customarily incidental and subordinate to the principal structure.

Building Height - "Building" Height shall mean the vertical distance measured from the average level of the highest and lowest point of the building site covered by the building, to the highest point of the structure.

Casita – An additional bedroom, home office, or use area located on the same lot as a single-family detached residence, which does not require subdivision. A Casita may contain its own bathroom facilities but not a kitchen. It also may not, by deed restriction, be rented or sold separately from the appurtenant residence.

A Casita shall meet main building setbacks, standard height limits, overall lot coverage, floor area ratios, and other applicable requirements.

Accessory structure Casitas are allowed in Planning Areas A, H1, M, N, T, K, R, O, S, F2, J, D2, E1, I2, I1, and D4, on 25% of the lots that are 50' wide.

Conditional Use - "Conditional use" shall mean a use permitted on a particular site and within a zoning district only upon finding that such use in a specified location will comply with all the conditions and standards for the location or operation of such use.

Dish Antennae – An electronic device one meter or less in diameter or diagonal measurement that is used to receive direct broadcast satellite service, receive or transmit fixed wireless signals via satellite, receive video programming services via multipoint distribution services, or receive or transmit fixed wireless signals other than via satellite.

Front Yard - "Front Yard" shall mean a yard extending across the full width of the lot, having at no point a depth of less than the minimum required, horizontal distance between the front lot line, or its tangent, and the closest permissible location of the main building. A line at right angle to the front lot line or its tangent shall measure said distance. Front yard setbacks shall be measured from back of walk or R/W, if no walk.

Home Occupations - "Home occupations," as opposed to "live/work," shall mean an occupation customarily conducted as a secondary use entirely within a dwelling by the occupant of the dwelling in connection with which there is no display, no stock in trade, or commodity sold on the premises, and no persons employed: and which is conducted in such a manner that the outward appearance of the premise gives no indication of other than residential use, and which is not detrimental to the residential character of the neighborhood by virtue of traffic flow, noise, odor, or other adverse conditions. No signage is allowed.

Live/Work Unit – "Live/work units" shall mean those permitted dwelling units within the mixed use planning areas C2 and H-2 where the predominant use of the unit is residential and a licensed commercial activity approved by the City is also permitted.

Lot Coverage - "Lot Coverage" shall mean that portion of the area of a lot, expressed as a percentage, occupied by all buildings or structures which are roofed or otherwise covered (exclusive of eaves or overhangs) and which extend more than 3-feet above grade level.

Lot Size - "Lot Size" shall mean the total area exclusive of public streets within the boundary lines of the lot.

Lot Width - "Lot Width" shall mean the horizontal distance between the side lot line measured at right angles to the line comprising the depth of the lot at a point midway between the front and rear lot lines.

Minimum Floor Area - "Minimum floor area" shall mean the minimum total horizontal area expressed in square feet, of all the floors of a building included within the surrounding walls, including shafts and enclosed exterior stairwells.

Rear Yard - "Rear Yard" shall mean a yard extending across the full width of the lot, having at no point a depth of less than the minimum required horizontal distance as measured from the part of the main building nearest the rear lot line towards the rear lot line, and such measurement shall be along a line representing the shortest distance between said part of the main building and the rear lot line.

Satellite Antennae – "satellite antennae" or "satellite television antennae" shall mean any instrument or electronic device larger than one meter in diameter or diagonal measurement capable of receiving or transmitting television, microwave or other electronic communications from a transmitter or transmitter relay that is located in planetary orbit. This may include but is not limited to "satellite earth stations" or a "satellite receiving dish."

Shopkeeper Unit - The shopkeeper unit combines commercial and residential uses and is typically found in urban settings. This building was a common type throughout history and indeed made up most of what is considered fabric building in traditional cities. It has made resurgence recently as more and more people realize the benefits of working where they live and living where they work.

Entries for commercial and residential are distinct and separate even though they are found at street level. The commercial occupies the lower levels while the residential occupies subsequent floors. Residential may be occupied by shop owner or may be used as income generator. These fabric buildings are typically what form the body of the city or town. They help define streets and spaces, public and private. Great care ought to be taken to ensure that the heights of these fabric buildings reinforce the continuity of the city or town relative to the space that is adjacent whether a street or public square.

Side Yard - "Side Yard" shall mean a yard between the main building and the side lot lines extending from the required front yard, or the front lot line where no front yard is required, to the rear yard, the width of which side yard shall be measured horizontally from, and at right angles to, the nearest point of a side lot line toward the nearest part of a main building.

Stick Antennae – Any device, external to a structure, used to receive a distance over-the-air radio or television signal.

Temporary Uses - "Temporary uses" shall mean residential or commercial construction activities, including necessary construction offices and materials and equipment storage, subdivision sales and leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision.

B. Area Regulations

1. Planning Area A – Single Family Detached

a. Description

This Planning Area of approximately 36 acres is located in the southwest area of San Elijo Hills, north of San Elijo Road and to the west of the extension of Elfin Forest Road. Residential uses are to the east, an easement and Planning Area W-1 are to the west and the Quarry Park area of University Commons is to the north. The neighborhood consists of Single-Family Detached homes. Access is via Elfin Forest Road, and from Planning Area B2.

b. Permitted Uses

A development yield of approximately 171 Single-Family Detached homes is proposed in Planning Area A.

c. Conditional Uses Permitted

- 1) Private clubhouses or recreation centers.
- 2) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:

- a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Casita
- 2) Fences, walls, patios, and patio covers
- 3) Garages
- 4) Swimming pools, spas
- 5) Home occupations
- 6) Antennae per Section IV, Item J, Antennae Standards
- 7) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Lot Size

The minimum lot size allowed in Planning Area A shall be 5,000 square feet. Minimum lot width shall be 50-feet. The minimum front lot line width for lots fronting on cul-de-sacs or knuckles shall be 33-feet.

g. Lot Coverage

The maximum lot coverage for this Planning Area shall be 60 percent for all buildings on the site.

h. Building Setbacks

- 1) Front Yard - Front yard setbacks shall be a minimum of 20-feet to a straight-in garage and 15' to the unit and 10' to the swing-in garage measured from the back of sidewalk.
- 2) Side Yard - The minimum interior side yard set back shall not be less than 5-feet except that a zero-foot side yard shall be permitted on one interior side yard provided that the other side yard shall not be less than 10-feet, with minimum building separation equal to 10-feet. Corner lots shall have a minimum exterior side yard of 10-feet from the back of sidewalk.
- 3) Accessory structures and swimming pools shall not be located less than 5-feet from any property line and shall not encroach beyond existing side yard setbacks.

i. Building Height

Buildings and structures in this Planning Area shall not exceed a height of 35 feet.

j. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 1,200 square feet.

k. Off-Street Parking

Each dwelling unit shall have a two-car or three-car enclosed garage. The minimum inside dimension of the garage shall be 20 feet by 20 feet. A second garage having minimum dimensions of 12-feet by 16-feet shall be allowed on lots, which also provide a garage having two, or more full sized parking spaces. All garage doors shall be supplied with automatic garage door openers.

l. Accessory Structures

All accessory structures constructed in this Planning Area shall incorporate materials and colors, which complement the architectural style of the main structures and the neighborhood.

m. Entry Treatment

A neighborhood entry shall be allowed at the Planning Area entry from Elfin Forest Road. In addition, an unmarked entrance is allowed from Planning Area B2.

n. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

o. Slope Treatment

On perimeter slopes the arrangement of plant materials should result in a landscape character, which emulates, in texture and general form, the appearance of the surrounding open space slopes. New slopes shall be planted with an array of shrub masses and ground covers. Trees should be used in moderation and be concentrated predominantly towards the bottom of the slope, preserving view "windows" from elevated pads. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slopes fall.

p. Open Space

Commonly owned or adjacent areas of open space within the Planning Area shall be maintained by the Homeowner's Association (if any) or a Landscaping and Lighting District. Any areas designated natural open space, which is impacted by grading operations, shall be revegetated. Fuel management

requirements in open space areas shall be determined by the City Fire Marshal.

q. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

r. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

s. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

t. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

u. Other

Adequate separation between planning Areas A and B2 shall be demonstrated during tentative subdivision map review, through the use of landscaping, graded slope areas, signage, and edge treatments, as necessary and feasible, to the satisfaction of the Planning Manager.

2. Planning Area B1 - Single Family Detached

a. Description

Planning Area B1 consists of approximately 17 acres and is located in the southwest portion of San Elijo Hills on the northerly side of San Elijo Road. The area is bounded by residential on the west, north and east and natural open space to the south. The neighborhood consists of Single-Family Detached homes. Access is via Elfin Forest Road and from Planning Area B-2.

b. Permitted Uses

A development yield of approximately 93 Single-Family Detached homes is proposed in Planning Area B1.

c. Conditional Uses Permitted

1. Churches, temples, and other places of worship.
2. Private clubhouses or recreation centers.
3. Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

1. Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:

(a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

1. Fences, walls, patios, and patio covers
2. Garages
3. Swimming pools, spas
4. Home occupations

5. Antennae per Section IV, Item J, Antennae Standards
6. Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Lot Size

The minimum lot size allowed in Planning Area B1 shall be 4,500 square feet. Minimum lot width shall be 45-feet. The minimum front lot line width for lots fronting on cul-de-sacs or knuckles shall be 33-feet.

g. Lot Coverage

The maximum lot coverage for this Planning Area shall be 60 percent for all buildings on the site.

h. Building Setbacks

1. Front Yard - Front yard setbacks shall be a minimum of 20-feet to a straight-in garage and 15' to the unit and 10' to the swing-in garage measured from the back of sidewalk.
2. Side Yard - The minimum interior side yard setback shall not be less than 5-feet except that a zero-foot side yard shall be permitted on one interior side provided that the other side yard shall not be less than 10-feet, with minimum building separation equal to 10-feet. Corner lots, shall have a minimum exterior side yard of 10-feet from the back of sidewalk.
3. Rear Yard - Main structures shall not be located less than 15-feet from the rear property line except an attached garage can be 5' from the rear property line.
4. Accessory structures shall not be located less than 5-feet from any property line.

i. Building Height

Buildings and structures in this Planning Area, shall not exceed a height of 35-feet.

j. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 1,200 square feet.

k. Off-Street Parking

Each dwelling unit shall have a two-car or three-car enclosed garage. The minimum inside dimension of the garage shall be 20 feet by 20 feet. A second garage having minimum

dimensions of 12-feet by 16-feet shall be allowed on lots, which also provide a garage having two, or more full sized parking spaces. All garage doors shall be equipped with automatic garage door openers.

I. Accessory Structures

All accessory structures constructed in this Planning Area shall incorporate materials and colors, which complement the architectural style of the main structures and the neighborhood.

m. Entry Treatment

A neighborhood entry shall be allowed at the Planning Area entry from Elfin Forest Road. In addition, an unmarked entrance is allowed from Planning Area B2.

n. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

o. Slope Treatment

On perimeter slopes the arrangement of plant materials should result in a landscape character, which emulates, in texture and general form, the appearance of the surrounding open space slopes. New slopes shall be planted with an array of shrub masses and ground covers. Trees should be used in moderation and be concentrated predominantly towards the bottom of the slope, preserving view "windows" from elevated pads. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slopes fall.

p. Open Space

Commonly owned or adjacent areas of open space within the Planning Area shall be maintained by the Homeowner's Association (if any) or a Landscaping and Lighting District. Any areas designated natural open space, which is impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

q. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

r. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed.

Additional sign regulations are described in Chapter IV:H, Sign Program.

s. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

t. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

3. Planning Area B2 - Single Family Detached

a. Description

This Planning Area of approximately 19 acres is located in the southwest portion of San Elijo Hills to the north of San Elijo Road. Planning Area B2 is bounded by residential on the west, north and east and natural open space to the south. The neighborhood consists of Single-Family Detached homes. Access is taken from Planning Area A and Planning Area B1.

b. Permitted Uses

A development yield of approximately 103 single family detached residential units is proposed in Planning Area B2.

c. Conditional Uses Permitted

- 1) Churches, temples, and other places of worship.
- 2) Private clubhouses or recreation centers.
- 3) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:

- (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Fences, walls, patios, and patio covers
- 2) Garages
- 3) Swimming pools, spas
- 4) Home occupations

- 5) Antennae per Section IV, Item J, Antennae Standards.
- 6) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Lot Size

The minimum lot size allowed in Planning Area B2 shall be 4,000 square feet. Minimum lot width is 40-feet. The minimum front lot line width for lots fronting on cul-de-sacs or knuckles shall be 33-feet.

g. Lot Coverage

The maximum lot coverage shall be 60 percent for all buildings on the site.

h. Building Setbacks

- 1) Front Yard - Front yard setbacks shall be a minimum of 20-feet to a straight-in garage and 15' to the unit and 10' to swing-in garage measured from the back of sidewalk.
- 2) Side Yard - The minimum interior side yard shall not be less than 5-feet except that a zero-foot side yard shall be permitted on one interior side yard provided that the other side yard shall not be less than 10-feet, with minimum building separation equal to 10-feet. Corner lots shall have a minimum exterior side yard setback of 10-feet from the back of walk.
- 3) Rear Yard - Main structures shall not be located less than 15-feet from the rear property line except an attached garage can be 5' from the rear property line.
- 4) Accessory structures shall not be located less than 5-feet from any property line.

i. Building Height

Buildings and structures in this Planning Area shall not exceed a height of 35-feet.

j. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 1,200 square feet.

k. Off-Street Parking

Each dwelling unit shall have a two-car or three-car enclosed garage. The minimum inside dimension of the garage shall be 20 feet by 20 feet. A second garage having minimum dimensions of 12-feet by 16-feet shall be allowed on lots, which also provide a garage having two, or more full sized parking spaces. All garage doors shall be equipped with automatic garage door openers.

l. Accessory Structures

All accessory structures constructed in this Planning Area shall incorporate materials and colors which complement the architectural style of the main structure(s) and the neighborhood.

m. Entry Treatment

Unmarked entrances are allowed from Planning Areas A and B1.

n. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

o. Slope Treatment

On perimeter slopes the arrangement of plant materials should result in a landscape character, which emulates, in texture and general form, the appearance of the surrounding open space slopes. New slopes shall be planted with an array of shrub masses and ground covers. Trees should be used in moderation and be concentrated predominantly towards the bottom of the slope, preserving view "windows" from elevated pads. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slopes fall.

p. Open Space

Commonly owned or adjacent areas of open space within the Planning Area shall be maintained by the Homeowner's Association (if any) or a Landscaping and Lighting District. Any areas designated natural open space, which is impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

q. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

r. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

s. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

t. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

u. Other

Adequate separation between planning Areas A and B2 shall be demonstrated during tentative subdivision map review, through the use of landscaping, graded slope areas, signage, and edge treatments, as necessary and feasible, to the satisfaction of the Planning Manager.

4. Planning Area C1 - Cluster Attached

a. Description

Planning Area C1 includes approximately 11 acres located in the southwest portion of San Elijo Hills. The area is bounded by Planning Area C2 and San Elijo Road to the east, Planning Area H2 and Elfin Forest Road to the north, and Planning Area B1 to the west. The neighborhood consists of Cluster Detached/Attached homes. Primary access is via Elfin Forest Road, with additional access from San Elijo Road.

b. Permitted Uses

A development yield of approximately 162 units is proposed in Planning Area C1.

c. Conditional Uses Permitted

- 1) Churches, temples, and other places of worship.
- 2) Private clubhouses or recreation centers.
- 3) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:
 - (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Central Recreation Facility
- 2) Fences, walls, patios, and patio covers
- 3) Garages and carports
- 4) Swimming pools, spas

- 5) Home occupations
- 6) Antennae per Section IV, Item J, Antennae Standards
- 7) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Density

The maximum density for Planning Area C1 shall be 18.0 units per acre. See Table IV:4A & B

g. Lot Size

The minimum lot size and width allowed in Planning Area C1 is based on product type. See development standards matrix in Chapter IV for additional information. See Table IV:4A & B

h. Lot Coverage

Depends on product. See Chapter IV development standards matrix. See Table IV:4A & B

i. Setbacks

Depends on product. See Chapter IV development standards matrix. See Table IV:4A & B

j. Separations

Depends on product. See Chapter IV development standards matrix. See Table IV:4A & B

k. Building Height

Depends on product. See Chapter IV development standards matrix. See Table IV:4A & B

l. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 900 square feet for Cluster Homes and 600 square feet for Attached homes. See Table IV:4A & B

m. Off-Street Parking

Parking shall be provided on a ratio of two spaces per dwelling unit (one covered) and guest parking at .33 spaces per dwelling unit. See Table IV:4A & B

n. Accessory Structures

All accessory structures constructed in this Planning Area shall incorporate materials and colors which complement the architectural style of the main structure(s) and the neighborhood.

A typical site plan for Cluster Development is shown on Exhibit V:1.

o. Entry Treatment

A neighborhood entry shall be allowed at the Planning Area entry from Elfin Forest Road. In addition, a right in, right out access is allowed from San Elijo Road.

p. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

q. Slope Treatment

New slopes shall be planted with an array of shrub masses, ground covers, and trees. Plant materials shall be predominantly selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slopes occur.

r. Open Space

Commonly owned or adjacent areas of open space within the Planning Area shall be maintained by the Homeowner's Association, or a Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

s. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

t. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

u. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

v. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

w. Other

- (1) Enhanced landscaping, fencing and perimeter streetscape treatment along San Elijo Road/Elfin Forest Road shall be provided on site plan, and reflected in the right-of-way treatment, if not sufficiently addressed in the San Elijo Road right-of-way landscape concept plans.
- (2) Enhanced architectural treatment or screening of rear and side building elevations visible from San Elijo Road, Elfin Forest Road, or other public roads or open space shall be demonstrated.
- (3) Additional enhanced elevations may be identified by the Planning Manager during detailed review of the Site Development Plans for individual planning areas.



Site Plan-Planning Area C1

San Elijo Hills Specific Plan Amendment

This exhibit is conceptual and provided for illustrative purposes only. It is subject to change at the Tentative Map Stage.

Exhibit V:1 Page V:20

5. Planning Area C2 – Mixed Use

a. Description

Planning Area C2 consists of approximately 13 acres and is located at the southwesterly corner of San Elijo Road and Elfin Forest Road. The area is bounded by San Elijo Road to the northwest, Elfin Forest Road to the northeast, and open space to the southeast. Access is off San Elijo Road and Elfin Forest Road.

b. Permitted Uses

A maximum of 135,000 square feet of retail/commercial floor space is permitted in Planning Area C2. Within that maximum, the permitted uses include the following:

- 1) Antique store
- 2) Art gallery
- 3) Automobile parking lot or garage
- 4) Bakery, retail
- 5) Bank
- 6) Barber shops or beauty parlor
- 7) Book or stationary store
- 8) Café
- 9) Camera store
- 10) Candy store
- 11) Card or gift shop
- 12) Children's and infants' apparel store
- 13) Chinaware and pottery store
- 14) Clothing store
- 15) Computer and computer accessory store
- 16) Delicatessen
- 17) Department store
- 18) Dressmaking, millinery shop, tailor
- 19) Drug store
- 20) Dry cleaning or laundry agency
- 21) Dry goods or notions store
- 22) Electronics/appliance store
- 23) Employment agency
- 24) Financial institution
- 25) Florist shop
- 26) Food market

- 27) Fraternal organization
- 28) Furniture and interior design store
- 29) Gourmet/health food store
- 30) Hardware and home improvement store
- 31) Hotel
- 32) Hobby shop or toy store
- 33) Insurance agency/personal services
- 34) Jewelry store
- 35) Liquor store
- 36) Locksmith
- 37) Mail package store
- 38) Medical/dental offices
- 39) Men's and boys' apparel
- 40) Movie theater
- 41) Newspaper stand/shop
- 42) Offices (business or professional)
- 43) Optician/vision care
- 44) Personal services
- 45) Pet shop (completely enclosed, no open air runways)
- 46) Plant nursery/garden supply store
- 47) Photographic supplies/photography studio
- 48) Real estate and related services
- 49) Residential (85 cluster attached and/or multifamily units)
- 50) Restaurant with liquor
- 51) Restaurant without liquor
- 52) Retail general
- 53) Shoes and accessories
- 54) Showroom/commercial
- 55) Sporting goods
- 56) Supermarket
- 57) Travel bureau
- 58) Toys, crafts, and hobby shop
- 59) Women's and girls' apparel

Any similar use in character and anticipated impact to those listed above which conforms to the purpose and intent of the Town Center as determined by the City Manager.

c. Conditional Uses Permitted

Conditional uses may be permitted. These permitted uses would include any other uses not otherwise listed in this text which are of the same general character as the uses permitted by this text and are not inconsistent with its purpose as determined by the Planning Manager.

A conditional use permit is required for:

- 1) Arcade including Internet café, club, bar or cocktail lounge.
- 2) Automobile service station (maximum of one).
- 3) Automobile car wash (when combined with service station).
- 4) Daycare facility.
- 5) Health club or spa.
- 6) Preschool.
- 7) Drive-thru for bank or financial institution limited to APN 223-820-10 only. Drive-thru's for other uses are not permitted elsewhere within the Town Center.

d. Temporary Uses & Structures Permitted

- 1) Temporary uses and structures allowed include residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and residential signage located within the development, subject to the following minimum requirements:

- (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale or rent of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) All accessory structures constructed in this planning area shall incorporate materials and colors which complement the architectural style of the main structures within the planning area.

- 2) Garages and carports
- 3) Antennae per Section IV, Item J, Antennae Standards
- 4) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.
- 5) Home occupations
- 6) Live/work units
- 7) Shopkeeper units

f. Density

The maximum residential density for Planning Area C2 shall be 25 units per gross residential acre.

g. Lot Size

Commercial: A minimum lot size of 3,000 square feet will allow for stand-alone pads to be sold to individual operators. It is intended the commercial village will be designed as a comprehensive plan and individual pads could be sold in this context.

Residential: The minimum lot size and width allowed in Planning Area C2 is based on product type. See the development standards matrices in Chapter IV, Tables IV:4A & IV:4B and IV:5 for additional information.

h. Lot Coverage

Commercial: Incorporate standards contained herein in keeping with mixed use.

Residential: Depends on product. See Chapter IV development standards matrices.

i. Setbacks and Separations

See Development Standards matrices in Chapter IV.

j. Building Heights

See Development Standards matrices in Chapter IV.

k. Minimum Floor Area

Each residential dwelling unit shall contain a minimum floor area of not less than 900 square feet for Cluster Detached homes and 600 square feet for Cluster Attached and Multifamily homes.

l. Parking

Parking for residential units shall be provided at the ratio of two spaces per dwelling unit and guest parking at .33 spaces per dwelling unit.

Overall parking within Planning Area C2 shall be provided in accordance with the Collective Parking Standards contained herein.

m. Conceptual Site Plan

A conceptual site plan is shown on Exhibit V:2.

n. Entry Treatment

Given the mixed use proposed for this site, adequate access points are required to prevent traffic congestion. The one-way streets of the couplet roadway configuration allow convenient right-in/right-out or left-in/left-out access from San Elijo Road and Elfin Forest Road. Various signage will occur at these entries when approved on the Site Development Plan.

o. Landscape Architecture

The landscape treatment should complement the San Elijo Road corridor design theme and should be prepared in conjunction with the overall architectural and site development package.

p. Street Trees

Refer to Chapter IV, Section C for street tree requirements.

q. Slope Treatment

The arrangement of plant materials should result in a landscape character consistent with Zone Two. New slopes shall be planted with an array of shrub masses, and ground covers. Trees should be used in moderation and be concentrated predominantly toward the bottom of slopes. Plant materials shall be selected from the Candidate Plant List, Table IV:1, transitioning into predominantly native plant materials as listed for Zone Two.

r. Open Space

Commonly owned or adjacent areas of natural open space within the Planning Area shall be maintained by the Property Owner's Association or a Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

s. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

t. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale or lease of a residential building, property or premise is allowed. Additional residential and commercial signage standards are listed in Chapter IV, Section H.

u. Animal Regulation

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

v. Recreational Vehicle Storage

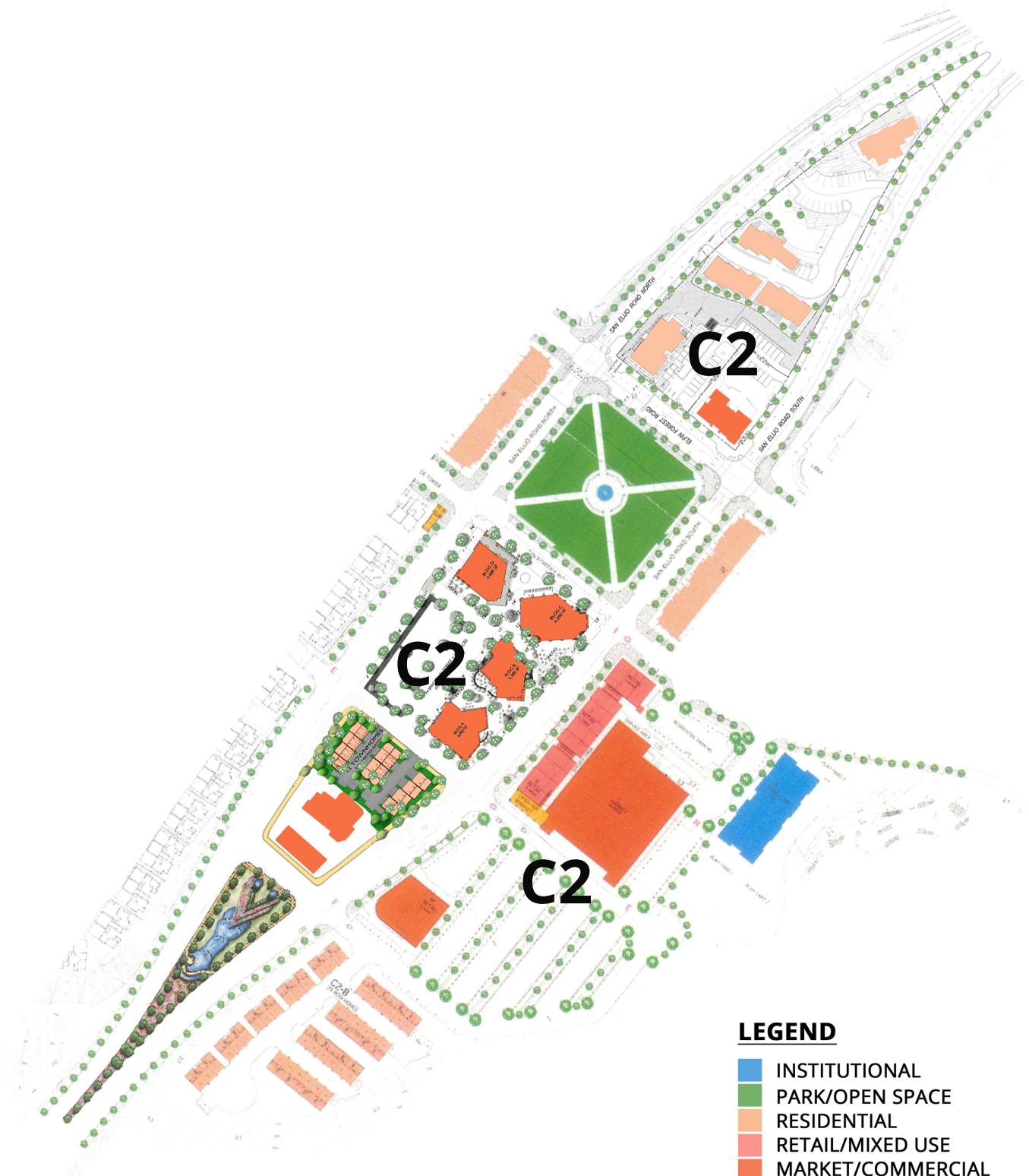
The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets, within parking lots or in areas visible from streets for purposes other than loading and unloading is prohibited.

w. Other

- 1) A conceptual site plan for the entirety of Planning Area C2 shall be reviewed and approved by the City for this area, including all grading, architecture, building design and landscaping. Incremental phasing of development is allowed, subject to the approved site plan.

- 2) Town Center architecture shall dictate the architectural styles for Planning Area G4 (Park). All fencing/signage and landscaping for the corners of San Elijo Road/Elfin Forest Road shall be integrated, and complimentary to the overall San Elijo Corridor design theme.
- 3) Enhanced architectural treatment to all rear elevations of structures, as viewed from San Elijo and Elfin Forest Roads (unless screened from view) shall be demonstrated. If not sufficiently addressed in the San Elijo Road Right-of-Way Landscape and Improvement Plans, landscaped setbacks, fencing and grading shall implement all site design guidelines in the Specific Plan.

Additional enhanced elevations may be identified by the Planning Manager during detailed review of the Site Development Plan.



LEGEND

- █ INSTITUTIONAL
- █ PARK/OPEN SPACE
- █ RESIDENTIAL
- █ RETAIL/MIXED USE
- █ MARKET/COMMERCIAL
- █ OPEN AIR MARKET/ CLOCK TOWER
- █ OTHER

6. Planning Area C3 - Multifamily (Income Qualifying)

a. Description

This Planning Area of approximately 12 acres is located in the south-central portion of San Elijo Hills. The multifamily residential neighborhood is located along the south property line and southwest of Elfin Forest Road. Open space and Planning Area C2 are to the northwest, and Planning Area D1 is located across Elfin Forest Road to the northeast. Planning Area W2 is to the south. This neighborhood consists primarily of income qualifying multifamily homes, which will be built out as rental units for individuals and families, whose income falls into the very low-income category. Access is from Elfin Forest Road.

b. Permitted Uses

A development yield of approximately 204 multifamily units is proposed in Planning Area C3.

c. Conditional Uses Permitted

- 1) Churches, temples, and other places of worship.
- 2) Private clubhouses or recreation centers.
- 3) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:
 - (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Fences, walls, patios, and patio covers
- 2) Garages and carports
- 3) Swimming pools, spas
- 4) Home occupations
- 5) Antennae per Section IV, Item J, Antennae Standards
- 6) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Density

The maximum density for Planning Area C3 shall be 25.0 units per acre.

g. Building Setbacks

All structures and parking shall be located a minimum of 20-feet from the edge of right-of-way along Elfin Forest Road. There are also 5-foot side and 10-foot rear setbacks. See development standards matrix in Chapter IV for additional information.

h. Distance Between Buildings

No dwelling structure shall be located closer than 10-feet side to side or 20-feet in all other instances.

i. Building Height

Buildings and structures in this Planning Area shall not exceed three stories or a height of 45-feet.

j. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 600 square feet

k. Private Open Space

All ground floor dwelling units shall have a minimum of 200 square feet of private open space patio area and each dwelling unit not located at ground level shall have a minimum of 50 square feet of private open space balcony area or as otherwise approved by the City Manager.

I. Off-Street Parking

Each residential unit shall have a minimum of two parking spaces per dwelling unit, one of which shall be covered (carport), plus one space for every three residential units for guest parking or as otherwise approved by the City Manager. A minimum setback of 10-feet shall be maintained between dwelling units and parking/driveway areas. The minimum carport or open parking stall is 9-feet x 19-feet.

m. Trash Enclosures

The walls of all trash enclosure structures shall be constructed of solid masonry materials. Minimum wall height is 6-feet. Trash enclosures shall have decorative heavy gauge metal gates. All enclosures shall be located a minimum of 5-feet from any building or structure.

n. Storage

Each unit shall provide a secured storage area, which shall not be located within the dwelling unit. The storage area may be located in the patio or balcony area but shall not be included in the private open space calculation. If the storage area is located in a carport it shall not lessen square footage from the required parking area.

o. Entry Treatment

A neighborhood entry shall be allowed at the Planning Area entry from Elfin Forest Road. An additional an right-in, right-out access is allowed from Elfin Forest Road

p. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

q. Slope Treatment

The arrangement of plant materials should result in a landscape character which transitions to the surrounding open space slopes. New slopes shall be planted with an array of shrub masses and ground covers. Trees should be used in moderation and be concentrated predominantly toward the bottom of slopes, preserving view windows. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slopes fall. Transition slopes shall select predominantly native materials as listed for the Zone Two plant list.

r. Open Space

Commonly owned or adjacent areas of natural open space within the Planning Area shall be maintained by a management Association or a Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated and transition to a natural state. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

s. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

t. Conceptual Site Plan

Exhibit V:3 shows a typical site plan for an Income Qualifying Multifamily neighborhood.

u. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

v. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

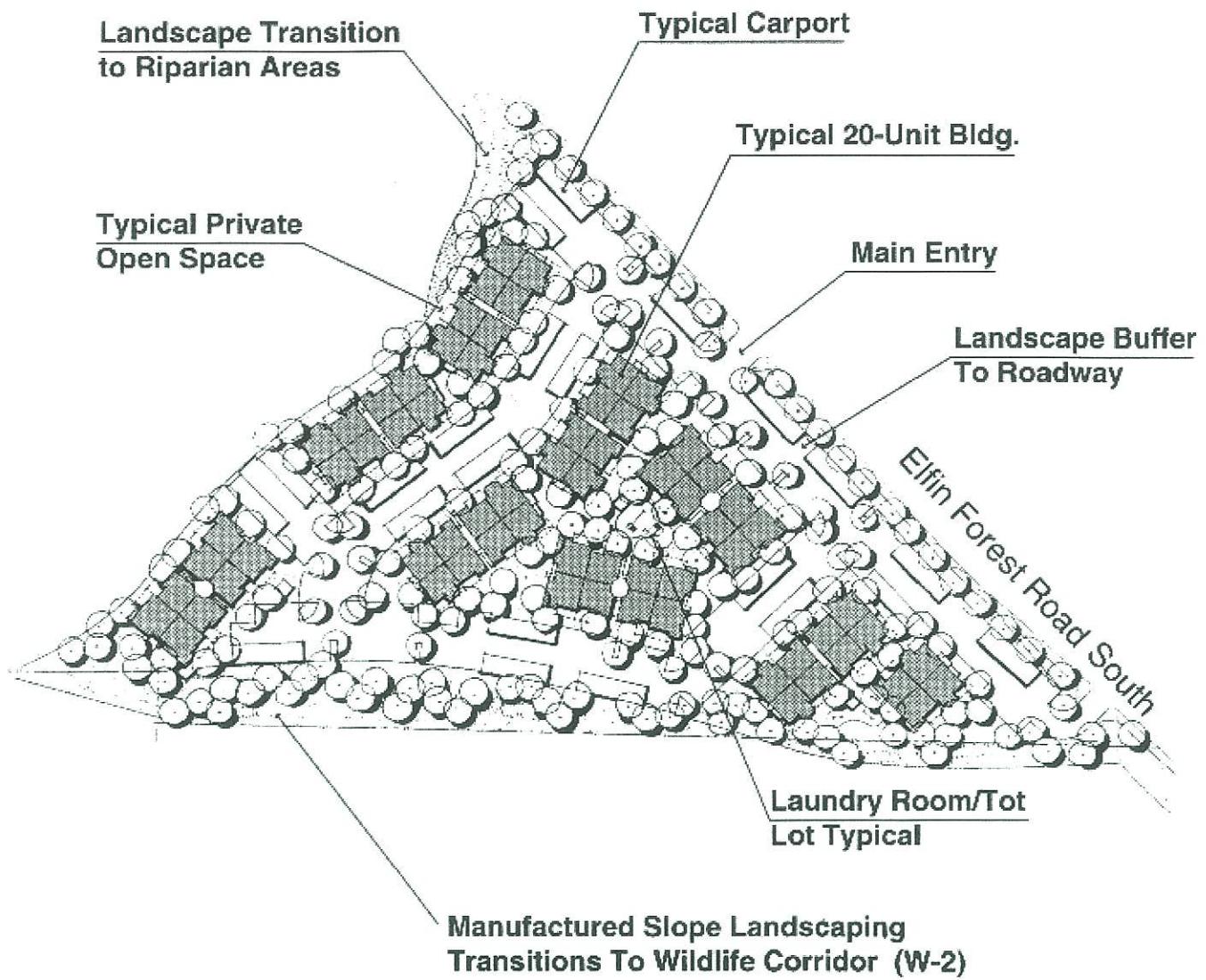
w. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

x. Other

- 1) Enhanced landscaping and buffering shall be provided along Elfin Forest Road and Copper Creek. If provided on site plan submittals, carports shall be screened and architecturally incorporated into the required sound wall design, if possible.
- 2) Manufactured slope landscaping transition to wildlife corridor W-2 shall incorporate native plant species, where suitable and feasible.

- 3) Additional enhanced elevations may be identified by the Planning Manager during detailed review of the Site Development Plans for individual planning areas.



Note:

This exhibit is conceptual and provided for illustrative purposes only.

7. Planning Area D1 - Single Family Detached

a. Description

This Planning Area consists of approximately 19 acres and is located in the south-central portion of San Elijo Hills on the northeast side of Elfin Forest Road. The area is bounded by residential to the west and Planning Area L to the north. Planning Area W1 is to the south and east. The neighborhood consists of Single Family Detached homes. Access is from Elfin Forest Road.

b. Permitted Uses

A development yield of approximately 87 Single-Family Detached homes is proposed in Planning Area D1.

c. Conditional Uses Permitted

- 1) Churches, temples, and other places of worship.
- 2) Private clubhouses or recreation centers.
- 3) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:
 - (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Fences, walls, patios, and patio covers
- 2) Garages

- 3) Swimming pools, spas
- 4) Home occupations
- 5) Antennae per Section IV, Item J, Antennae Standards
- 6) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Lot Size

The minimum lot size allowed in Planning Area D1 shall be 4,000 square feet. Minimum lot width shall be 40 feet. The minimum front lot line width for lots fronting on cul-de-sacs or knuckles shall be 33-feet.

g. Lot Coverage

The maximum lot coverage for this Planning Area shall be 60 percent for all buildings on the site.

h. Building Setbacks

- 1) Front Yard - Front yard setbacks shall be a minimum of 20-feet to a straight in garage, 15' to the unit and 10' to swing-in to garage measured from the back of sidewalk.
- 2) Side Yard - The minimum interior side yard setback shall not be less than 5-feet on one side except that a zero-foot side yard shall be permitted on one interior side provided that the other side yard shall not be less than 10-feet. Corner lots shall have a minimum exterior side yard of 10-feet from the back of sidewalk.
- 3) Rear Yard - Main structures shall not be located less than 15-feet from the rear property line except an attached garage can be 5-feet from the rear property line.
- 4) Accessory structures and swimming pools shall not be located less than 5-feet from the rear property line and shall not encroach beyond existing side yard setbacks.

i. Building Height

Buildings and structures in this Planning Area, shall not exceed a height of 35-feet.

j. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 1,200 square feet.

k. Off-Street Parking

Each dwelling unit shall have a two-car or three-car enclosed garage. The minimum inside dimension of the garage shall be 20 feet by 20 feet. A second garage having minimum dimensions of 12-feet by 16-feet shall be allowed on lots which also provide a garage having two or more full sized parking spaces. All garage doors shall be equipped with automatic garage door openers.

l. Accessory Structures

All accessory structures constructed in this Planning Area shall incorporate materials and colors, which complement the architectural style of the main structures and the neighborhood.

m. Entry Treatment

Neighborhood entries shall be allowed at the Planning Area entrances from Elfin Forest Road.

n. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

o. Slope Treatment

New slopes shall be densely planted with an array of shrub masses and ground covers. Trees should be used in moderation and be concentrated predominantly toward the bottom of slopes, preserving view "windows" from elevated pads. Plant materials shall be selected from the Candidate Plant List, Table IV:1, for Zone Two, and should consider the riparian influence to the North.

p. Open Space

Adjacent areas of natural open spaces shall be maintained by the Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

q. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

r. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

s. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

t. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

u. Other

- 1) Enhanced architectural treatment or screening of rear and side building elevations adjacent to Elfin Forest Road shall be demonstrated.
- 2) Additional enhanced elevations may be identified by the Planning Manager during detailed review of the Site Development Plans for individual planning areas.

8. Planning Area D2 - Single Family Detached

a. Description

Planning area D2 consists of approximately 51 acres and is located in the south-central area of San Elijo Hills, south of San Elijo Road and east of Elfin Forest Road. Residential uses are to the east, west and north. To the south is open space Planning Area W1. The neighborhood consists of Single-Family Detached homes. Access is from Questhaven Road to the east of the Planning Area.

b. Permitted Uses

A development yield of approximately 185 Single-Family Detached homes is proposed in Planning Area D2.

c. Conditional Uses Permitted

- 1) Private clubhouses or recreation centers.
- 2) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:

- (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Casita
- 2) Fences, walls, patios, and patio covers
- 3) Garages
- 4) Swimming pools, spas
- 5) Home occupations
- 6) Antennae per Section IV, Item J, Antennae Standards

- 7) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Lot Size

The minimum lot size allowed in Planning Area D2 shall be 5,500 square feet. Minimum lot width shall be 55-feet. The minimum front lot line width for lots fronting on cul-de-sacs or knuckles shall be 33-feet.

g. Lot Coverage

The maximum lot coverage shall be 60 percent for all buildings on the site.

h. Building Setbacks

- 1) Front Yard - Front yard setbacks shall be a minimum of 20-feet for straight-in garages or 15' to the unit or swing-in garage measured from the back of side walk.
- 2) Side Yard - The minimum interior side yard set back shall not be less than 5-feet except that a zero-foot side yard shall be permitted on one interior side yard provided that the other side yard shall not be less than 10-feet. Corner lots shall have a minimum exterior side yard of 10-feet from the back of sidewalk.
- 3) Rear Yard - Main structures shall not be located less than 15-feet from the rear property line.
- 4) Accessory structures shall not be located less than 5-feet from any property line.

i. Building Height

Buildings and structures in this Planning Area shall not exceed a height of 35-feet.

j. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 1,200 square feet.

k. Off-Street Parking

Each dwelling unit shall have a two-car or three-car enclosed garage. The minimum inside dimension of the garage shall be 20 feet by 20 feet. A second garage having minimum dimensions of 12-feet by 16-feet shall be allowed on lots, which also provide a garage having two, or more full sized parking spaces. All garage doors shall be supplied with automatic garage door openers.

l. Accessory Structures

All accessory structures constructed in this Planning Area shall incorporate materials and colors, which complement the architectural style of the main structures and the neighborhood.

m. Entry Treatment

A neighborhood entry shall be allowed at the Planning Area entry from Questhaven Road. In addition, an emergency access is allowed from Planning Area D1.

n. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

o. Slope Treatment

On perimeter and larger slopes, the arrangement of plant materials should result in a landscape character, which emulates, in texture and general form, the appearance of the surrounding open space slopes. New slopes shall be planted with an array of shrub masses and ground covers. Trees should be used in moderation and be concentrated predominantly toward the bottom of slopes, preserving view "windows" from elevated pads. Plant materials shall be selected from the Candidate Plant List, Table IV:1, and shall draw from predominantly native materials as listed for the Zone Two plant list.

p. Open Space

Commonly owned or adjacent areas of natural open space within the Planning Area shall be maintained by the Homeowner's Association (if any) or a Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

q. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

r. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

s. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

t. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

u. Other

- 1) Enhanced architectural treatment or screening of rear elevations, as viewed from Elfin Forest Road shall be demonstrated.
- 2) Additional enhanced elevations may be identified by the Planning Manager during detailed review of the Site Development Plans for individual planning areas.
- 3) Grading design shall demonstrate compliance with grading guidelines on page IV:2.

9. Planning Area D3 - Patio Homes

a. Description

This Planning Area of approximately 16 acres is located in the southeast area of San Elijo Hills, to the south of San Elijo Road. Residential uses are to the east, west, and north. To the south is vacant land, which is unincorporated county. The neighborhood consists of Patio Homes. The area receives access via Questhaven Road to the northeast of the Planning Area.

b. Permitted Uses

A development yield of approximately 100 Patio Homes is proposed in Planning Area D3.

c. Conditional Uses Permitted

- 1) Private clubhouses or recreation centers.
- 2) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:
 - (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Fences, walls, patios, and patio covers
- 2) Garages
- 3) Swimming pools, spas
- 4) Home occupations

- 5) Antennae per Section IV, Item J, Antennae Standards
- 6) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Lot Size

The minimum lot size allowed in Planning Area D3 shall be 3,400 square feet. Minimum lot width shall be 40-feet. The minimum front lot line width for lots fronting on cul-de-sacs or knuckles shall be 33-feet.

g. Lot Coverage

The maximum lot coverage shall be 65 percent for all buildings on the site.

h. Building Setbacks

- 1) Front Yard - Front yard setbacks shall be a minimum of 18-feet to a straight-in garage and 10' to the unit or swing-in garage measured from the back of sidewalk.
- 2) Side Yard - The minimum interior side yard set back shall not be less than 5-feet except that a zero-foot side yard shall be permitted on one interior side yard provided that the other side yard shall not be less than 10-feet. Corner lots shall have a minimum exterior side yard of 10-feet from the back of sidewalk.
- 3) Rear Yard - Main structures shall not be located less than 10-feet from the rear property line except that an attached garage can be 5' from the rear property line.
- 4) Accessory structures shall not be located less than 5-feet from any property line.

i. Building Height

Buildings and structures in this Planning Area shall not exceed a height of 35-feet.

j. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 900 square feet.

k. Off-Street Parking

Each dwelling unit shall have a two-car enclosed garage. The minimum inside dimension of the garage shall be 20 feet by 20

feet. A second garage having minimum dimensions of 12-feet by 16-feet shall be allowed on lots which also provide a garage having two or more full sized parking spaces. All garage doors shall be supplied with automatic garage door openers.

All accessory structures constructed in this Planning Area shall incorporate materials and colors, which complement the architectural style of the main structures and the neighborhood.

I. Entry Treatment

Two neighborhood entries shall be allowed to the Planning Area from Questhaven Road.

m. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

n. Slope Treatment

On perimeter slopes, the arrangement of plant materials should result in a landscape character, which emulates, in texture and general form, the appearance of the surrounding open space slopes. New slopes shall be planted with an array of shrub masses and ground covers. Trees should be used in moderation preserving view "windows" from elevated pads. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slopes fall.

o. Open Space

Commonly owned areas of open space within the Planning Area shall be maintained by the Homeowner's Association (if any) or the Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

p. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

q. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

r. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

s. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

t. Other

- 1) Adequate separation between Planning Areas D3 and D2 shall be demonstrated during Site Plan review, through the use of landscaping, graded slope areas, architectural styles, materials, signage and edge treatments, as necessary and feasible, to the satisfaction of the Planning Manager.
- 2) Buffering techniques identified in the Subsequent Environmental Impact Report shall be included adjacent to the County jurisdiction, as necessary and feasible.
- 3) Delete duplexes as a permitted use.

10. Planning Area D4 - Single Family Detached (Wide and Shallow)

a. Description

This Planning Area of approximately 20 acres is located in the southeast area of San Elijo Hills to the south of San Elijo Road. Residential uses are to the west. To the north is a pocket park consisting of approximately 3.5 acres. To the south and east is vacant land in the unincorporated county. The neighborhood is anticipated to consist of "wide and shallow" detached Single-Family Detached homes. Access is from Questhaven Road to the southwest of the parcel.

b. Permitted Uses

A development yield of approximately 86 Single-Family Detached homes is proposed in Planning Area D4.

c. Conditional Uses Permitted

- 1) Private clubhouses or recreation centers.
- 2) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:

(a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Casita
- 2) Fences, walls, patios, and patio covers
- 3) Garages

- 4) Swimming pools, spas
- 5) Home occupations
- 6) Antennae per Section IV, Item J, Antennae Standards
- 7) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Lot Size

The minimum lot size allowed in Planning Area D4 shall be 4,800 square feet. Minimum lot width shall be 60-feet. The minimum front lot line width for lots fronting on cul-de-sacs or knuckles shall be 33-feet.

g. Lot Coverage

The maximum lot coverage shall be 60 percent for all buildings on the site.

h. Building Setbacks

- 1) Front Yard - Front yard setbacks shall be a minimum of 20-feet for a straight-in garage, 15' to the unit and 10' to a swing-in garage measured from the back of sidewalk.
- 2) Side Yard - The minimum interior side yard set back shall not be less than 5-feet except that a zero-foot side yard shall be permitted on one interior side yard provided that the other side yard shall not be less than 10-feet. Corner lots shall have a minimum exterior side yard of 10-feet from the back of sidewalk.
- 3) Rear Yard - Main structures shall not be located less than 15-feet from the rear property line except that an attached garage can be 5' from the rear property line.
- 4) Accessory structures shall not be located less than 5-feet from any property line.

i. Building Height

Buildings and structures in this Planning Area shall not exceed a height of 35-feet.

j. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 1,200 square feet.

k. Off-Street Parking

Each dwelling unit shall have a two-car or three-car enclosed garage. The minimum inside dimension of the garage shall be 20 feet by 20 feet. A second garage having minimum dimensions of 12-feet by 16-feet shall be allowed on lots, which also provide a garage having two, or more full sized parking spaces. All garage doors shall be supplied with automatic garage door openers.

l. Accessory Structures

All accessory structures constructed in this Planning Area shall incorporate materials and colors, which complement the architectural style of the main structures and the neighborhood.

m. Entry Treatment

Two neighborhood entries shall be allowed to the Planning Area from Questhaven Road.

n. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

o. Slope Treatment

On perimeter slopes, the arrangement of plant materials should result in a landscape character, which emulates, in texture and general form, the appearance of the surrounding open space slopes. New slopes shall be planted with an array of shrub masses and ground covers. Trees should be used in moderation preserving views from elevated pads. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slopes fall.

p. Open Space

Commonly owned areas of open space within the Planning Area shall be maintained by the Homeowner's Association (if any) or Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

q. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

r. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

s. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

t. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

u. Other

- 1) Adequate separation between Planning Areas D4 and I2 shall be demonstrated during Site Plan review, through the use of landscaping, graded slope areas, architectural styles, materials, signage, and edge treatments, as necessary and feasible, to the Planning Manager.
- 2) Buffering techniques identified in the Final Subsequent Environmental Impact Report shall be included adjacent to the County jurisdiction, as necessary and feasible.

11. Planning Area E1 - Single Family Detached

a. Description

This Planning Area of approximately 30 acres is located in the central area of San Elijo Hills to the south of San Elijo Road and just west of Questhaven Road. Residential uses are to the east and south. Open space areas are located to the north and west. The neighborhood consists of detached single-family homes. Access is from Questhaven Road.

b. Permitted Uses

A development yield of approximately 77 Single-Family Detached homes is proposed in Planning Area E1.

c. Conditional Uses Permitted

- 1) Churches, temples, and other places of worship.
- 2) Private clubhouses or recreation centers.
- 3) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:
 - (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Casita
- 2) Fences, walls, patios, and patio covers
- 3) Garages
- 4) Swimming pools, spas

- 5) Home occupations
- 6) Antennae per Section IV, Item J, Antennae Standards
- 7) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Lot Size

The minimum lot size allowed in Planning Area E1 shall be 5,000 square feet. Minimum lot width shall be 50-feet. The minimum front lot line width for lots fronting on cul-de-sacs or knuckles shall be 33-feet.

g. Lot Coverage

The maximum lot coverage shall be 60 percent for all buildings on the site.

h. Building Setbacks

- 1) Front Yard - Front yard setbacks shall be a minimum of 20-feet to a straight-in garage, 15' to the unit and 10' to a swing-in garage measured from the back of walk.
- 2) Side Yard - The minimum interior side yard set back shall not be less than 5-feet except that a zero-foot side yard shall be permitted on one interior side yard provided that the other side yard shall not be less than 10-feet. Corner lots shall have a minimum exterior side yard of 10-feet from the back of sidewalk.
- 3) Rear Yard - Main structures shall not be located less than 15-feet from the rear property line except an attached garage can be 5-feet from the rear property line.
- 4) Accessory structures and swimming pools shall not be located less than 5-feet from any property line and shall not encroach beyond existing side yard setbacks.

i. Building Height

Buildings and structures in this Planning Area shall not exceed a height of 35-feet.

j. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 1,200 square feet.

k. Off-Street Parking

Each dwelling unit shall have a two-car or three-car enclosed garage. The minimum inside dimension of the garage shall be 20 feet by 20 feet. A second garage having minimum dimensions of 12-feet by 16-feet shall be allowed on lots, which also provide a garage having two, or more full sized parking spaces. All garage doors shall be supplied with automatic garage door openers.

l. Accessory Structures

All accessory structures constructed in this Planning Area shall incorporate materials and colors, which complement the architectural style of the main structures and the neighborhood.

m. Entry Treatment

A neighborhood entry shall be allowed to the Planning Area from Questhaven Road east of the parcel.

n. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

o. Slope Treatment

On perimeter and larger slopes, the arrangement of plant materials should result in a landscape character, which emulates, in texture and general form, the appearance of the surrounding open space slopes. New slopes shall be planted with a variety of shrub masses and ground covers. Trees should be used in moderation and be concentrated predominantly toward the bottom of slopes, preserving view "windows" from elevated pads. Plant materials shall be selected from the Candidate Plant List, Table IV:1, and shall draw from predominantly native, riparian influenced plant materials as listed for Zone Two.

p. Open Space

Commonly owned or adjacent areas of natural open space within the Planning Area shall be maintained by the Homeowner's Association (if any) or a Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

q. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

r. Real Estate Signs

One uplighted sign not larger than six square-feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

s. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

t. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

u. Other

- 1) Enhanced architectural treatment to all rear elevations of residential structures, as viewed from San Elijo Road, unless screened from view, shall be demonstrated. If not sufficiently addressed in the San Elijo Road right-of-way landscape and improvement plans, landscaped setbacks, fencing and grading in the San Elijo Road Corridor shall implement all applicable site design guidelines in the Specific Plan, and reflected in the right-of-way treatments.
- 2) Additional enhanced elevations may be identified by the Planning Manager, during detailed review of the Site Development Plans for individual planning areas.

12. Planning Area E2 - Single Family Detached

a. Description

This Planning Area consists of approximately 19 acres and is located in the central portion of San Elijo Hills at the southeast corner of San Elijo Road and Questhaven Road. The area is bounded by residential on the west, south and east and San Elijo Road on the north. Access is off Questhaven Road to the west and through Planning Area I2. The neighborhood consists of Single-Family Detached homes.

b. Permitted Uses

Development yield of approximately 74 Single-Family Detached homes is proposed in Planning Area E2.

c. Conditional Uses Permitted

- 1) Churches, temples, and other places of worship.
- 2) Private clubhouses or recreation centers.
- 3) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:
 - (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Fences, walls, patios, and patio covers
- 2) Garages
- 3) Swimming pools, spas

- 4) Home occupations
- 5) Antennae per Section IV, Item J, Antennae Standards
- 6) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Lot Size

The minimum lot size allowed in Planning Area E2 shall be 4,000 square feet. Minimum lot width shall be 40-feet. The minimum front lot line width for lots fronting on cul-de-sacs or knuckles shall be 33-feet.

g. Lot Coverage

The maximum lot coverage for this Planning Area shall be 60 percent for all buildings on the site.

h. Building Setbacks

- 1) Front Yard - Front yard setbacks shall be a minimum of 20-feet to a straight-in garage and 15' to the unit and 10' to the swing-in garage measured from the back of sidewalk.
- 2) Side Yard - The minimum interior side yard setback shall not be less than 5-feet except that a zero-foot side yard shall be permitted on one interior side provided that the other side yard shall not be less than 10-feet. Corner lots, shall have a minimum exterior side yard of 10-feet from the back of sidewalk.
- 3) Rear Yard - Main structures shall not be located less than 15-feet from the rear property line except an attached garage can be 5-feet from the rear property line.
- 4) Accessory structures shall not be located less than 5-feet from any property line.

i. Building Height

Buildings and structures in this Planning Area, shall not exceed a height of 35-feet.

j. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 1,200 square feet.

k. Off-Street Parking

Each dwelling unit shall have a two-car or three-car enclosed garage. The minimum inside dimension of the garage shall be 20 feet by 20 feet. A second garage having minimum dimensions of 12-feet by 16-feet shall be allowed on lots, which also provide a garage having two, or more full sized parking spaces. All garage doors shall be equipped with automatic garage door openers.

l. Accessory Structures

All accessory structures constructed in this Planning Area shall incorporate materials and colors, which complement the architectural style of the main structures and the neighborhood.

m. Entry Treatment

Two neighborhood entries shall be allowed to the Planning Area from Questhaven Road. In addition an unmarked entrance is allowed from Planning Area I2.

n. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

o. Slope Treatment

New slopes shall be planted with an array of shrub masses and a variety of ground covers. Trees should be used in moderation and be concentrated predominantly toward the bottom of slopes, preserving views from elevated pads. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slopes fall.

p. Open Space

Commonly owned areas of open space within the Planning Area shall be maintained by the Homeowner's Association (if any) or a Landscaping and Lighting District. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

q. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

r. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

s. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

t. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

u. Other

- 1) Adequate separation between Planning Areas D4 and I2 shall be demonstrated during Site Plan review, through the use of landscaping, graded slope areas, architectural styles, materials, signage, and edge treatments, as necessary and feasible, to the satisfaction of the Planning Manager.
- 2) Enhanced architectural treatment to all rear elevations of residential structures, as viewed from San Elijo Road, unless screened from view, shall be demonstrated. If not sufficiently addressed in the San Elijo Road right-of-way landscape and improvement plans, landscaped setbacks, fencing and grading in the San Elijo Road Corridor shall implement all site design guidelines in the Specific Plan, and reflected in the right-of-way treatments.
- 3) Additional enhanced elevations may be identified by the Planning Manager during detailed review of the Site Development Plans for individual planning areas.

13. Planning Area F1 - Multifamily (Income Qualifying)

a. Description

This Planning Area of approximately 7 acres is located on the north side of San Elijo Road in the central area of San Elijo Hills. The area is bordered by natural open space to the north and east, Area H-3 residential to the west and San Elijo Road to the south. Access is from Stephanie Street off San Elijo Road. This neighborhood consists of a mixture of market rate and income qualifying multifamily homes. The income qualifying homes will be built out as rental units for individuals and families whose income falls into the very low-income category.

b. Permitted Uses

A development yield of approximately 72 multifamily units is proposed in Planning Area F1.

c. Conditional Uses Permitted

- 1) Churches, temples, and other places of worship.
- 2) Private clubhouses or recreation centers.
- 3) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:
 - (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Fences, walls, patios, and patio covers

- 2) Garages and carports
- 3) Swimming pools, spas
- 4) Home occupations
- 5) Antennae per Section IV, Item J, Antennae Standards
- 6) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Density

The maximum density for Planning Area F1 shall be 25.0 units per acre.

g. Building Setbacks

See Chapter IV, Development Standards Matrix, Table IV:4.

h. Distance Between Buildings

No dwelling structure shall be located closer than 10-feet side to side or 20-feet in all other instances.

i. Building Height

Buildings and structures in this Planning Area shall not exceed three stories or a height of 45-feet.

j. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 600 square feet

k. Private Open Space

All ground floor dwelling units shall have a minimum of 200 square feet of private open space patio area and each dwelling unit not located at ground level shall have a minimum of 50 square feet of private open space balcony area or as otherwise approved by the City Manager.

l. Off-Street Parking

Each residential unit shall have a minimum of two parking spaces per dwelling unit, one of which shall be covered (carport), plus one space for every three residential units for guest parking or as otherwise approved by the City Manager. A minimum setback of 10-feet shall be maintained between dwelling units and parking/driveway areas. The minimum carport or open parking stall is 9-feet x 19-feet.

m. Trash Enclosures

The walls of all trash enclosure structures shall be constructed of solid masonry materials. Minimum wall height is 6-feet. Trash enclosures shall have decorative heavy gauge metal gates. All enclosures shall be located a minimum of 5-feet from any building or structure.

n. Storage

Each unit shall provide a secured storage area, which shall not be located within the dwelling unit. The storage area may be located in the patio or balcony area but shall not be included in the private open space calculation. If the storage area is located in a carport it shall not lessen square footage from the required parking area.

o. Entry Treatment

A neighborhood entry shall be allowed at Stephanie Street.

p. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

q. Slope Treatment

The arrangement of plant materials should result in a landscape character which transitions to the surrounding open space slopes. New slopes shall be planted with an array of shrub masses and ground covers. Trees should be used in moderation and be concentrated predominantly toward the bottom of slopes, preserving view windows. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slopes fall. Transition slopes shall select predominantly native materials as listed for the Zone Two plant list.

r. Open Space

Commonly owned or adjacent areas of natural open space within the Planning Area shall be maintained by a management Association or a Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated and transition to a natural state. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

s. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

t. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

u. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

v. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

w. Other

- 1) Carports shall be screened and architecturally incorporated into the site design.
- 2) Manufactured slope landscaping transition to natural open space shall incorporate native plant species, where suitable and feasible.
- 3) Enhanced architectural elevations may be identified by the Planning Manager during detailed review of the Site Development Plans.

14. Planning Area F2 - Single Family Detached

a. Description

This Planning Area of approximately 14 acres and is located in the central area of San Elijo Hills, to the north of San Elijo Road. Residential uses are to the north, a School site (V2) to the east, and natural open space west and south. The neighborhood consists of detached Single-Family Detached homes. Access is from "C" Street, north of the Planning Area.

b. Permitted Uses

A development yield of approximately 42 Single-Family Detached homes is proposed in Planning Area F2.

c. Conditional Uses Permitted

- 1) Churches, temples, and other places of worship.
- 2) Private clubhouses or recreation centers.
- 3) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:
 - (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Casita
- 2) Fences, walls, patios, and patio covers
- 3) Garages

- 4) Swimming pools, spas
- 5) Home occupations
- 6) Antennae per Section IV, Item J, Antennae Standards
- 7) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Lot Size

The minimum lot size allowed in Planning Area F2 shall be 6,000 square feet. Minimum lot width shall be 60-feet. The minimum front lot line width for lots fronting on cul-de-sacs or knuckles shall be 33-feet.

g. Lot Coverage

The maximum lot coverage shall be 60 percent for all buildings on the site.

h. Building Setbacks

- 1) Front Yard - Front yard setbacks shall be a minimum of 20-feet for straight-in garages or 15' to the unit or swing-in garage measured from the back of sidewalk.
- 2) Side Yard - The minimum interior side yard set back shall not be less than 5-feet except that a zero-foot side yard shall be permitted on one interior side yard provided that the other side yard shall not be less than 10-feet. Corner lots shall have a minimum exterior side yard of 10-feet from the back of sidewalk.
- 3) Rear Yard - Main structures shall not be located less than 15-feet from the rear property line except an attached garage can be 5-feet from the rear property line.
- 4) Accessory structures shall not be located less than 5-feet from any property line.

i. Building Height

Buildings and structures in this Planning Area shall not exceed a height of 35-feet.

j. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 1,200 square feet.

k. Off-Street Parking

Each dwelling unit shall have a two-car or three-car enclosed garage. The minimum inside dimension of the garage shall be 20 feet by 20 feet. A second garage having minimum dimensions of 12-feet by 16-feet shall be allowed on lots, which also provide a garage having two, or more full sized parking spaces. All garage doors shall be supplied with automatic garage door openers.

I. Accessory Structures

All accessory structures constructed in this Planning Area shall incorporate materials and colors, which complement the architectural style of the main structures and the neighborhood.

m. Entry Treatment

Two neighborhood entries shall be allowed to the Planning Area from "C" Street north of the Planning Area.

n. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

o. Slope Treatment

On perimeter and larger slopes, the arrangement of plant materials should result in a landscape character, which emulates, in texture and general form, the appearance of the surrounding open space slopes. New slopes shall be planted with an array of shrub masses and ground covers. Trees should be used in moderation and be concentrated predominantly toward the bottom of slopes, preserving view "windows" from elevated pads. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slopes fall, and shall draw from predominantly native materials as listed for the Zone One plant list.

p. Open Space

Commonly owned or adjacent areas of natural open space within the Planning Area shall be maintained by the Homeowner's Association or a Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

q. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

r. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

s. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

t. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

15. Planning Area G1 - School Site

a. Description

This Planning Area of approximately 20 net acres is located in the central portion of San Elijo Hills southeast of San Elijo Road and northeast of Elfin Forest Road. Residential development surrounds the Planning Area. Access is from San Elijo Road and Elfin Forest Road.

b. Permitted Uses

The following uses are allowed within Planning Area G1: a school, which may include school-related uses such as an auditorium, cafeteria, ball fields, play grounds and parking lots.

c. Conditional Uses Permitted

- 1) Churches, temples, and other places of worship
- 2) Private clubhouses or recreation centers
- 3) Child care center

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, and sales pavilions.

e. Accessory Uses and Structures Permitted

- 1) Fences, walls, patios, and patio covers
- 2) Garages
- 3) Recreational courts, including but not limited to: tennis, basketball and similar uses.
- 4) Antennae: per Section IV, Item J, Antennae Standards.
- 5) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Building Setbacks

- 1) Front Yard - All structures shall be located a minimum of 20-feet from the edge of right-of-way of Elfin Forest Road and San Elijo Road.
- 2) Rear Yard - The minimum setback for structures shall be 10-feet.

g. Building Height

Buildings and structures in this Planning Area shall not exceed a height of 35-feet.

h. Building Design

The design of the school shall be subject to the requirements of the school district.

i. Off-Street Parking

Parking shall conform to the San Marcos Zoning Ordinance, - Chapter 20.340.

j. Entry Treatment

A neighborhood entry shall be allowed at the Planning Area entry from San Elijo Road. Additional access is allowed from Elfin Forest Road.

k. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

l. Slope Treatment

On the south end of the planning area, the arrangement of plant materials should result in a landscape character, which emulates, in texture and general form, the appearance of the adjacent riparian area. New slopes shall be planted with an array of shrub masses and a variety of ground covers. Trees and other plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slopes fall.

m. Open Space

Areas of open space within the Planning Area shall be maintained by the School District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

n. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

16. Planning Area G2 - School Site

a. Description

This Planning Area of approximately 10 net acres is located in the central portion of San Elijo Hills southeast of San Elijo Road. Planning Area G1 is adjacent and to the west, the residential planning area G3 is directly east and Copper Creek is generally to the south. Residential development surrounds the Planning Area. Access is from San Elijo Road and Elfin Forest Road via an internal loop road.

b. Permitted Uses

The following uses are allowed within Planning Area G2: a school, which may include school-related uses such as an auditorium, cafeteria, ball fields, play grounds and parking lots.

c. Conditional Uses Permitted

- 1) Churches, temples, and other places of worship
- 2) Private clubhouses or recreation centers
- 3) Child care center

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, and sales pavilions.

e. Accessory Uses and Structures Permitted

- 1) Fences, walls, patios, and patio covers
- 2) Garages
- 3) Recreational courts, including but not limited to: tennis, basketball and similar uses.
- 4) Antennae per Section IV, Item J, Antennae Standards
- 5) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Building Setbacks

- 1) Front Yard – (see Table IV:5)
- 2) Rear Yard – (see Table IV:5)

g. Building Height

Buildings and structures in this Planning Area shall not exceed a height of 35-feet.

h. Building Design

The design of the school shall be subject to the requirements of the school district.

i. Off-Street Parking

Parking shall conform to the San Marcos Zoning Ordinance, - Chapter 20.340.

j. Entry Treatment

A neighborhood entry shall be allowed at the Planning Area entry from San Elijo Road. Additional access is allowed from Elfin Forest Road.

k. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

l. Slope Treatment

On the south end the arrangement of plant materials should result in a landscape character, which emulates, in texture and general form, the appearance of the adjacent riparian area. New slopes shall be planted with an array of shrub masses and a variety of ground covers. Trees and other plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slopes fall.

m. Open Space

Areas of open space within the Planning Area shall be maintained by the School District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

n. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

17. Planning Area G3 - Cluster Detached/Attached

a. Description

This Planning Area consists of approximately 8 acres and is located in the central portion of San Elijo Hills south of San Elijo Road. Natural open space is to the west, south and east and San Elijo Road is to the north. The neighborhood consists of Cluster Detached/ Attached Homes. Access is off San Elijo Road.

b. Permitted Uses

A development yield of approximately 84 Cluster Detached/Attached Homes is proposed in Planning Area G3. Patio Homes standards may apply if this land use is chosen. See Planning Area D3 for specifics.

c. Conditional Uses Permitted

- 1) Churches, temples, and other places of worship.
- 2) Private clubhouses or recreation centers.
- 3) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:
 - (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Fences, walls, patios, and patio covers
- 2) Garages
- 3) Swimming pools, spas

- 4) Home occupations
- 5) Antennae per Section IV, Item J, Antennae Standards
- 6) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Density

The maximum density for Planning Area G3 shall be 18.0 units per acre.

g. Lot Size

The minimum lot size and width allowed in Planning Area G3 is based on product type. See development standards matrix in Chapter IV for additional information.

h. Lot Coverage

Depends on product. See Chapter IV development standards matrix.

i. Setbacks

Depends on product. See Chapter IV development standards matrix.

j. Separations

Depends on product. See Chapter IV development standards matrix.

k. Building Height

Depends on product. See Chapter IV development standards matrix.

l. Minimum Floor Area

Depends on product. See Chapter IV development standards matrix.

m. Off-Street Parking

Depends on product. See Chapter IV development standards matrix.

n. Accessory Structures

All accessory structures constructed in this Planning Area shall incorporate materials and colors which complement the architectural style of the main structure(s) and the neighborhood.

o. Entry Treatment

Two neighborhood entries shall be allowed at the Planning Area entrances from San Elijo Road.

p. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

q. Slope Treatment

Southern perimeter slopes shall be revegetated relative to their riparian orientation. New slopes shall be planted with an array of shrub masses and ground covers. Trees should be used in moderation and be concentrated predominantly toward the bottom of slopes, preserving view “windows” from elevated pads. Plant materials shall be selected from the Candidate Plant List, Table IV:1, for Zone Two.

r. Open Space

Adjacent areas of natural open space shall be maintained by the Landscaping and Lighting District. Any areas designated natural open space shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

s. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

t. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

u. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

v. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

w. Other

- 1) Enhanced architectural treatment to all rear elevations of residential structures, as viewed from San Elijo Road, unless screened from view, shall be demonstrated. If not sufficiently addressed in the San Elijo Road right-of-way landscape and improvement plans, landscaped setbacks, fencing and grading in the San Elijo Road corridor shall implement all site design guidelines in the Specific Plan, and reflected in the right-of-way treatment.
- 2) Additional enhanced elevations may be identified by the Planning Manager during detailed review of the Site Development Plans for individual planning areas.

18. Planning Area G4 - Neighborhood Park

a. Description

This Planning Area of approximately 22 acres is located in the central area of San Elijo Hills. The area is bounded to the southwest by Elfin Forest Road, to the southeast by San Elijo Road, and to the northeast by Schoolhouse Way. Planning Area H1 is adjacent to the northwest. The park is accessible from each of the adjoining streets.

b. Permitted Uses

All uses related to park uses.

c. Conditional Uses Permitted

- 1) Churches, temples, and other places of worship
- 2) Private clubhouses or recreation centers
- 3) Child care center

d. Temporary Uses & Structures Permitted

Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, and sales pavilions.

e. Accessory Uses and Structures Permitted

Accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Building Setbacks

All structures and open parking shall be located a minimum of 15-feet from edge of right-of-way along San Elijo Road, Elfin Forest Road, and Schoolhouse Way.

g. Building Height

Buildings and structures in this Planning Area shall not exceed a height of 35-feet.

h. Off-Street Parking

Parking in this Planning Area shall conform with the criteria established by City of San Marcos Community Services Department.

i. Entry Treatment

A Neighborhood entry shall be allowed at the corner of Elfin Forest Road and San Elijo Road. Additional park entries may be located at each of the parking lot entrances.

j. Street Trees

Refer to Chapter IV Section C for street tree requirements.

k. Slope Treatment

The arrangement of plant materials should result in a landscape character, which suggests the Theme Zone. New slopes shall be planted with an array of shrub masses and a variety of ground covers. Trees should be used predominantly at the park perimeter and for shade and buffering. Plant materials shall be selected from the Candidate Plant List, Table IV:1.

l. Open Space

Areas of open space within the park area shall be maintained by a Landscaping and Lighting District or other public entity. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated with a riparian influence. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

m. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

n. Real Estate Signs

Sign regulations are described in Chapter IV:H, Sign Program.

o. Other

- 1) The developer shall use its best efforts to obtain a preliminary Encroachment Permit or Letter of Agreement from San Diego County Water Authority for park uses, prior to approval of the first Tentative Map that includes the park
- 2) Architectural design shall be generally compatible with Planning Area C2 architecture.

**19. Planning Area H1 - Single Family Detached
(Wide and Shallow)**

a. Description

This Planning Area of approximately 29 acres is located on the west side of San Elijo Hills north of Questhaven Road. Residential uses are to the north, west, and south and the Neighborhood Park lies to the southeast. The neighborhood consists of "wide and shallow" Single-Family Detached homes. Access is off "Elfin Forest Road.

b. Permitted Uses

A development yield of approximately 104 Single-Family Detached homes is proposed in Planning Area H1.

c. Conditional Uses Permitted

- .1) Churches, temples, and other places of worship.
- 2) Private clubhouses or recreation centers.
- 3) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:
 - (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Casita
- 2) Fences, walls, patios, and patio covers
- 3) Garages

- 4) Swimming pools, spas
- 5) Home occupations
- 6) Antennae per Section IV, Item J, Antennae Standards
- 7) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Lot Size

The minimum lot size allowed in Planning Area H1 shall be 5,000 square feet. Minimum lot width shall be 60-feet. The minimum front lot line width for lots fronting on cul-de-sacs or knuckles shall be 33-feet.

g. Lot Coverage

The maximum lot coverage shall be 60 percent for all buildings on the site.

h. Building Setbacks

- 1) Front Yard - Front yard setbacks shall be a minimum of 20-feet to a straight-in garage and 15' to the unit and 10' to a swing-in garage measured from the back of walk.
- 2) Side Yard - The minimum interior side yard set back shall not be less than 5-feet except that a zero-foot side yard shall be permitted on one interior side yard provided that the other side yard shall not be less than 10-feet. Corner lots shall have a minimum exterior side yard of 10-feet.
- 3) Rear Yard - Main structures shall not be located less than 15-feet from the rear property line except that an attached garage can be 5-feet from a rear property line.
- 4) Accessory structures and swimming pools shall not be located less than 5-feet from any rear property line.

i. Building Height

Buildings and structures in this Planning Area shall not exceed a height of 35-feet.

j. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 1,200 square feet.

k. Off-Street Parking

Each dwelling unit shall have a two-car or three-car enclosed garage. The minimum inside dimension of the garage shall be 20 feet by 20 feet. A second garage having minimum dimensions of 12-feet by 16-feet shall be allowed on lots, which also provide a garage having two, or more full sized parking spaces. All garage doors shall be supplied with automatic garage door openers.

l. Accessory Structures

All accessory structures constructed in this Planning Area shall incorporate materials and colors, which complement the architectural style of the main structures and the neighborhood.

m. Entry Treatment

A neighborhood entry shall be allowed at the Planning Area entry from Elfin Forest Road.

n. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

o. Slope Treatment

For perimeter slopes the arrangement of plant materials should result in a landscape character, which emulates, in texture and general form, the appearance of the surrounding open space slopes. New slopes shall be planted with an array of shrub masses, and ground covers. Trees should be used in moderation and be concentrated predominantly toward the bottom of slopes, preserving views from elevated pads. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slopes fall.

p. Open Space

Adjacent areas of natural open space shall be maintained by the Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

q. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

r. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

s. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

t. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

20. Planning Area H2 Multifamily/Mixed Use

a. Description

This Planning Area of approximately 10 acres is located in the west area of San Elijo Hills and within the couplet roadways of San Elijo Road and Elfin Forest Road. The school site and neighborhood park are located to the northeast of Elfin Forest Road and Planning Areas C1, C2, and C3 are to the southwest and north. The water aqueduct easement is to the north and east. The neighborhood consists of Multifamily dwelling units and Mixed Use. Access is from San Elijo Road and Elfin Forest Road.

b. Permitted Uses

A development yield of approximately 121 Multifamily units are proposed in the residential portion of Planning Area H2. Cluster Detached/Attached standards may apply if this land use is chosen. Within the Mixed Use portion of the Planning Area , those uses allowed include the following:

- 1) Automobile parking lot or garage
- 2) Bank (non-drivethrough)
- 3) Book or stationary store
- 4) Café
- 5) Delicatessen
- 6) Fire station (non-City)
- 7) Florist Shop
- 8) Fraternal organization
- 9) Health club or spa
- 10) Hotel
- 11) Newspaper stand/shop
- 12) Offices (business/professional)
- 13) Outdoor recreation facility
- 14) Personal services
- 15) Plant nursery/garden supply store
- 16) Post office
- 17) Restaurant with liquor
- 18) Restaurant without liquor

Any similar use in character or anticipated impact to those listed above which conforms to the purpose and intent of the Town Center as determined by the City Manager.

c. Conditional Uses Permitted

Conditional uses may be permitted. These permitted uses would include any other uses not otherwise listed in this text which are of the same general character as the uses permitted by this text and are not inconsistent with its purpose as approved by the Planning Manager. A conditional use permit is required for:

- 1) Church
- 2) Daycare

d. Temporary Uses & Structures Permitted

- 1) Temporary uses and structures allowed include residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and residential signage located within the development, subject to the following minimum requirements:
 - (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale or rent of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) All accessory structures constructed in the planning area shall incorporate materials and colors which complement the architectural style of the main.
- 2) Garages and carports.
- 3) Antennae per Section IV, Item J, Antennae Standards

4) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

5) Home occupations

6) Live/work units

f. Density

The maximum residential density for Planning Area H2 shall be 25 units per gross residential acre.

g. Lot Size

1) Commercial: A minimum lot size of 3,000 square feet will allow for stand-alone pads to be sold to individual operators. It is intended the commercial village will be designed as a comprehensive plan and individual pads could be sold in this context.

2) Residential: A minimum lot size of 3400 square feet is allowed in the residential portion of H2. Minimum lot width shall be 40 feet. The minimum front lot line width for lots fronting on cul-de-sacs shall be 33 feet.

h. Lot Coverage

1) Commercial: Incorporate standards contained herein in keeping with Mixed Use.

2) Residential: Lot coverage shall be per the development standards matrices in Chapter IV.

i. Setbacks and Separations

See development standards matrices in Chapter IV.

j. Building Heights

See development standards matrices in Chapter IV.

k. Minimum Floor Area

Each residential dwelling unit shall contain a minimum floor area of not less than 900 square feet for Cluster Detached homes and 600 square feet for Cluster Attached and Multifamily homes.

l. Parking

Parking for residential units shall be provided on a ratio of two spaces per dwelling unit with one covered and guest parking at .33 spaces per dwelling unit.

Overall parking within Planning Area H2 shall be provided in accordance with the Collective Parking Standards contained herein.

m. Entry Treatment

Given the mixed use proposed for this site, adequate access points are required to prevent traffic congestion. The one-way streets of the couplet roadway configuration allow convenient right-in/right-out or left-in/left-out access from San Elijo Road and Elfin Forest Road. One primary neighborhood entry is allowed for each of two residential couplet blocks. Additional unmarked entrances are allowed along each couplet roadways to minimize traffic congestion. Additional signage may occur at the Mixed Use entries when approved on the Site Development Plan.

n. Landscape Architecture

The landscape treatment should complement the San Elijo Road corridor design theme and should be prepared in conjunction with the overall architectural and site development package.

o. Street Trees

Refer to Chapter IV, Section C for street tree requirements.

p. Slope Treatment

For perimeter slopes adjacent to the water easement, the arrangement of plant materials should result in a landscape character, which emulates, in texture and general form, the appearance of the surrounding open space slopes. New slopes shall be planted with an array of shrub masses and ground covers. Trees should be used in moderation and be concentrated predominantly toward the bottom of slopes, preserving view "windows" from elevated pads. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slopes fall.

q. Open Space

Commonly owned or adjacent areas of natural open space within the Planning Area shall be maintained by the Property Owner's Association or a Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

r. Conceptual Site Plan

A conceptual site plan is shown on Exhibit V:4.

s. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting

t. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale or lease of a residential building, property or premise is allowed. Additional residential and commercial signage standards are listed in Chapter IV, Section H.

u. Animal Regulation

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

v. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets, within parking lots or in areas visible from streets for purposes other than loading and unloading is prohibited.

w. Other

- 1) A conceptual site plan for the Mixed Use portion of Planning Area H2 shall be reviewed and approved by the City. This plan shall include all grading, architecture, building design and landscaping. Incremental phasing of development is allowed, subject to the approved site plan.
- 2) The Town Center architecture shall dictate the architectural styles for Planning Area G4 (Park). All fencing/signage and landscaping for the corners of San Elijo Road/Elfin Forest Road shall be integrated, and complimentary to the overall San Elijo Corridor design theme.
- 3) Enhanced architectural treatment to all rear elevations of structures, as viewed from San Elijo and Elfin Forest Roads (unless screened from view) shall be demonstrated. If not sufficiently addressed in the San Elijo Road right-of way landscape and improvement plans, landscaped setbacks, fencing and grading shall implement all site design guidelines in the Specific Plan.

Overall parking within Planning Area H2 shall be provided in accordance with the Collective Parking Standards contained herein.

m. Entry Treatment

Given the mixed use proposed for this site, adequate access points are required to prevent traffic congestion. The one-way streets of the couplet roadway configuration allow convenient right-in/right-out or left-in/left-out access from San Elijo Road and Elfin Forest Road. One primary neighborhood entry is allowed for each of two residential couplet blocks. Additional unmarked entrances are allowed along each couplet roadways to minimize traffic congestion. Additional signage may occur at the Mixed Use entries when approved on the Site Development Plan.

n. Landscape Architecture

The landscape treatment should complement the San Elijo Road corridor design theme and should be prepared in conjunction with the overall architectural and site development package.

o. Street Trees

Refer to Chapter IV, Section C for street tree requirements.

p. Slope Treatment

For perimeter slopes adjacent to the water easement, the arrangement of plant materials should result in a landscape character, which emulates, in texture and general form, the appearance of the surrounding open space slopes. New slopes shall be planted with an array of shrub masses and ground covers. Trees should be used in moderation and be concentrated predominantly toward the bottom of slopes, preserving view "windows" from elevated pads. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slopes fall.

q. Open Space

Commonly owned or adjacent areas of natural open space within the Planning Area shall be maintained by the Property Owner's Association or a Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

r. Conceptual Site Plan

A conceptual site plan is shown on Exhibit V:4.

s. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting

t. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale or lease of a residential building, property or premise is allowed. Additional residential and commercial signage standards are listed in Chapter IV, Section H.

u. Animal Regulation

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

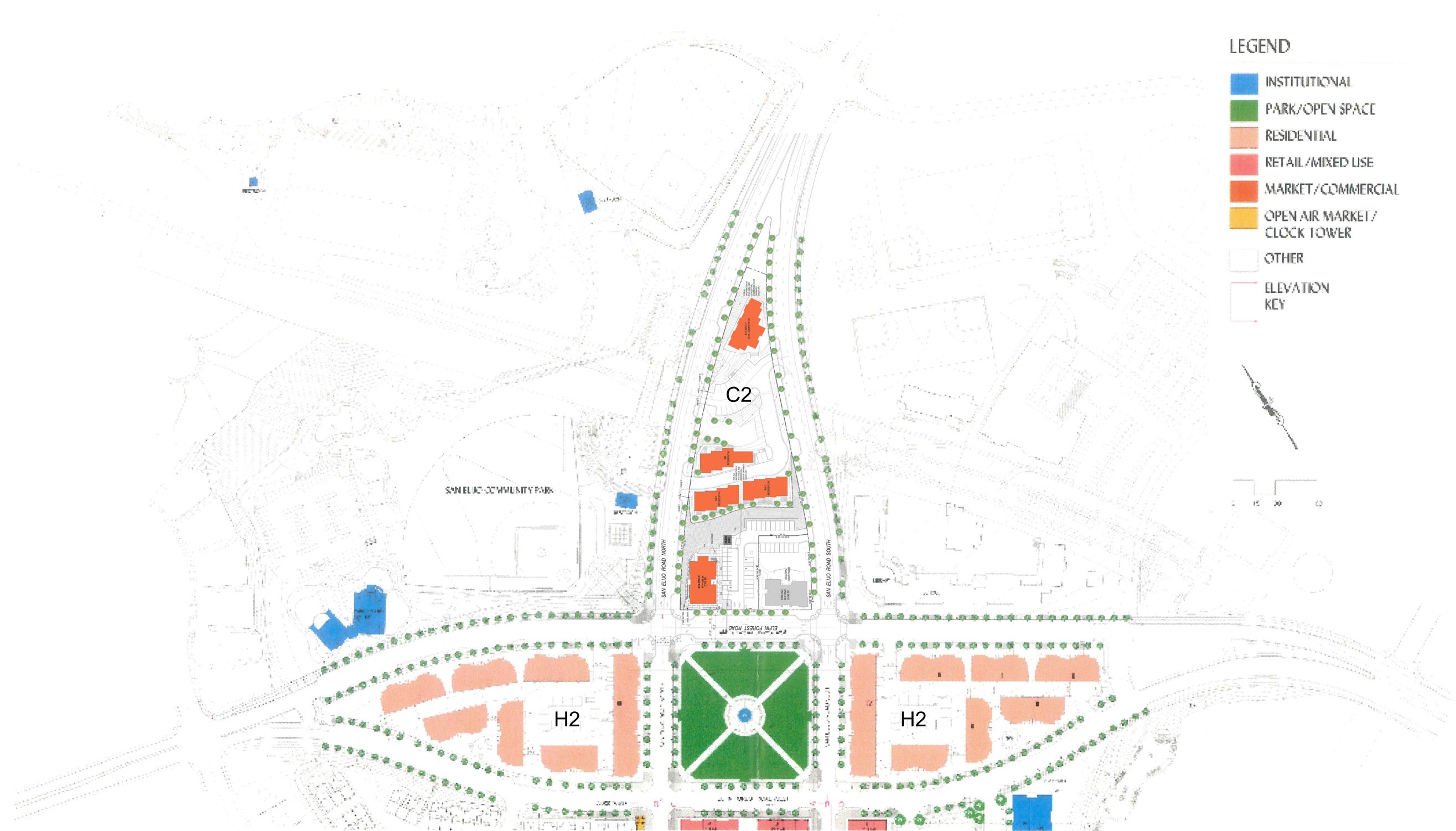
v. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets, within parking lots or in areas visible from streets for purposes other than loading and unloading is prohibited.

w. Other

- 1) A conceptual site plan for the Mixed Use portion of Planning Area H2 shall be reviewed and approved by the City. This plan shall include all grading, architecture, building design and landscaping. Incremental phasing of development is allowed, subject to the approved site plan.
- 2) The Town Center architecture shall dictate the architectural styles for Planning Area G4 (Park). All fencing/signage and landscaping for the corners of San Elijo Road/Elfin Forest Road shall be integrated, and complimentary to the overall San Elijo Corridor design theme.
- 3) Enhanced architectural treatment to all rear elevations of structures, as viewed from San Elijo and Elfin Forest Roads (unless screened from view) shall be demonstrated. If not sufficiently addressed in the San Elijo Road right-of way landscape and improvement plans, landscaped setbacks, fencing and grading shall implement all site design guidelines in the Specific Plan.

- 4) Additional enhanced elevations may be identified by the Planning Manager during detailed review of the Site Development Plans.



Note:

This exhibit is conceptual and provided for illustrative purposes only.

Concept Site Plan H2

San Elijo Hills Specific Plan Amendment

21. Planning Area H3 – Multifamily

a. Description

This planning Area includes approximately 34 acres located in the central portion of San Elijo Hills. The area is north of San Elijo Road. Residents uses are to the south, the institutional site is to the east, the neighborhood park is to the west, and natural open space is adjacent to the north. The neighborhood consists of Multifamily homes. Primary access is from Schoolhouse Way and Stephanie Street.

b. Permitted Uses

A development yield of approximately 240 Multifamily homes are proposed.

c. Conditional Uses Permitted

- 1) Churches, temples, and other places of worship.
- 2) Private clubhouses or recreation centers.
- 3) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:
 - (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Fences, walls, patios, and patio covers
- 2) Garages and carports
- 3) Swimming pools, spas

- 4) Home occupations
- 5) Antennae per Section IV, Item J, Antennae Standards
- 6) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Density

The maximum density for Planning Area H3 shall be 25.0 units per acre.

g. Building Setbacks

There are 5-foot side and 10-foot rear setbacks. See development standards matrix in Chapter IV for additional information.

h. Distance Between Buildings

No dwelling structure shall be located closer than 10-feet side to side or 20-feet in all other instances.

i. Building Height

Buildings and structures in this Planning Area shall not exceed three stories or a height of 45-feet.

j. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 600 square feet

k. Private Open Space

All ground floor dwelling units shall have a minimum of 200 square feet of private open space patio area and each dwelling unit not located at ground level shall have a minimum of 50 square feet of private open space balcony area or as otherwise approved by the City Manager.

l. Off-Street Parking

Each residential unit shall have a minimum of two parking spaces per dwelling unit, one of which shall be covered (carport), plus one space for every three residential units for guest parking or as otherwise approved by the City Manager. A minimum setback of 10-feet shall be maintained between dwelling units and parking/driveway areas. The minimum carport or open parking stall is 9-feet x 19-feet.

m. Trash Enclosures

The walls of all trash enclosure structures shall be constructed of solid masonry materials. Minimum wall height is 6-feet. Trash enclosures shall have decorative heavy gauge metal gates. All enclosures shall be located a minimum of 5-feet from any building or structure.

n. Storage

Each unit shall provide a secured storage area, which shall not be located within the dwelling unit. The storage area may be located in the patio or balcony area but shall not be included in the private open space calculation. If the storage area is located in a carport it shall not lessen square footage from the required parking area.

o. Entry Treatment

Neighborhood entries shall be allowed to the Planning Area from Schoolhouse Way and the local street to the east of the Planning Area having access off San Elijo Road.

p. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

q. Slope Treatment

For perimeter slopes the arrangement of plant materials should result in a landscape character, which emulates, in texture and general form, the appearance of the surrounding open space slopes. New slopes shall be planted with an array of shrub masses and a variety of ground covers. Trees should be used in moderation and be concentrated to preserve views from elevated pads. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slopes fall. Transition plant materials shall be predominantly native materials as listed for the Zone One plant list.

r. Open Space

Commonly owned or adjacent areas of natural open space within the Planning Area shall be maintained by the Homeowner's Association or a Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

s. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

t. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

u. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

v. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

w. Other

- 1) Enhanced architectural treatment to all rear elevations of residential structures, as viewed from San Elijo Road (unless screened from view) shall be demonstrated. If not sufficiently addressed in the San Elijo Road right-of-way landscape and improvement plans, landscaped setbacks, fencing and grading in the San Elijo Road Corridor shall implement all site design guidelines in the Specific Plan, and reflected in the right-of-way treatment.
- 2) Additional enhanced elevations may be identified by the Planning Manager during detailed review of the Site Development Plans for individual planning areas.

22. Planning Area I1 - Single Family Detached

a. Description

This Planning Area consists of approximately 21 acres and is located in the southeastern portion of San Elijo Hills on the south side of San Elijo Road. The area is bounded by residential on the north and west, and unincorporated county land, which is semi-developed to the south and east. The neighborhood consists of Single-Family Detached homes. Access is from San Elijo Road and from Planning Area I2.

b. Permitted Uses

Development yield of approximately 94 Single-Family Detached homes are proposed in Planning Area I1.

c. Conditional Uses Permitted

- 1) Churches, temples, and other places of worship.
- 2) Private clubhouses or recreation centers.
- 3) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:
 - (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Casita
- 2) Fences, walls, patios, and patio covers
- 3) Garages

- 4) Swimming pools, spas
- 5) Home occupations
- 6) Antennae per Section IV, Item J, Antennae Standards.
- 7) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Lot Size

The minimum lot size allowed in Planning Area I1 shall be 5,500 square feet. Minimum lot width shall be 55-feet. The minimum front lot line width for lots fronting on cul-de-sacs or knuckles shall be 33-feet.

g. Lot Coverage

The maximum lot coverage for this Planning Area shall be 60 percent for all buildings on the site.

h. Building Setbacks

- 1) Front Yard - Front yard setbacks shall be a minimum of 20-feet to a straight-in garage and 15' to the unit or swing-in garage measured from the back of sidewalk.
- 2) Side Yard - The minimum interior side yard setback shall not be less than 5-feet on one side and except that a zero-foot side yard shall be permitted on one interior side provided that the other side yard shall not be less than 10-feet. Corner lots shall have a minimum exterior side yard of 10-feet from back of sidewalk.
- 3) Rear Yard - Main structures shall not be located less than 15-feet from the rear property line except that an attached garage can be 5-feet from the rear property line.
- 4) Accessory structures and swimming pools shall not be located less than 5-feet any rear property line.

i. Building Height

Buildings and structures in this Planning Area shall not exceed a height of 35-feet.

j. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 1,200 square feet.

k. Off-Street Parking

Each dwelling unit shall have a two-car or three-car enclosed garage. The minimum inside dimension of the garage shall be 20 feet by 20 feet. A second garage having minimum dimensions of 12-feet by 16-feet shall be allowed on lots, which also provide a garage having two, or more full sized parking spaces. All garage doors shall be equipped with automatic garage door openers.

l. Accessory Structures

All accessory structures constructed in this Planning Area shall incorporate materials and colors, which complement the architectural style of the main structures and the neighborhood.

m. Entry Treatment

A neighborhood entry shall be allowed at the Planning Area entry from a local road having access off Questhaven Road. In addition, an unmarked entrance is allowed from Planning Area I2.

n. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

o. Slope Treatment

On perimeter slopes, the arrangement of plant materials should result in a landscape character, which emulates, in texture and general form, the appearance of the surrounding open space slopes. New slopes shall be densely planted with an array of shrub masses and ground covers. Trees should be used in moderation preserving views from elevated pads. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slopes fall.

p. Open Space

Commonly owned areas of open space within the Planning Area shall be maintained by the Homeowner's Association (if any) or a Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

q. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

r. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

s. Other

- 1) Buffering techniques identified in the Subsequent Environmental Impact Report shall be included adjacent to the County jurisdiction, as necessary and feasible.
- 2) Enhanced architectural treatment to all rear elevations of residential structures, as viewed from San Elijo Road, unless screened from view, shall be demonstrated. If not sufficiently addressed in the San Elijo Road right-of-way landscape and improvement plans, landscaped setbacks, fencing and grading in the San Elijo Road Corridor shall implement all site design guidelines in the Specific Plan, and reflected in the right-of-way treatment.
- 3) A pedestrian trail linking San Elijo Road with the open space between Planning Areas I1 and I2 may be provided at the developer's option as shown on Exhibits III.11 through III.13.

t. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

u. Recreational Vehicle Storage

- 1) The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

**23. Planning Area I2 - Single Family Detached
(Wide and Shallow)**

a. Description

This Planning Area of approximately 36 acres is located in the southeast portion of San Elijo Hills with residential on three sides and San Elijo Road to the north. The neighborhood consists of "wide and shallow" Single-Family Detached homes. Access is from Questhaven Road through Planning Area E2.

b. Permitted Uses

A development yield of approximately 105 single family detached residential units is proposed in Planning Area I2.

c. Conditional Uses Permitted

- 1) Churches, temples, and other places of worship.
- 2) Private clubhouses or recreation centers.
- 3) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:
 - (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Casita
- 2) Fences, walls, patios, and patio covers
- 3) Garages

- 4) Swimming pools, spas
- 5) Home occupations
- 6) Antennae per Section IV, Item J, Antennae Standards
- 7) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Lot Size

The minimum lot size allowed in Planning Area I2 shall be 5,000 square feet. Lot dimensions shall be a minimum of 60-feet in width. The minimum front lot line width for lots fronting on cul-de-sacs or knuckles shall be 33-feet.

g. Lot Coverage

The maximum lot coverage shall be 60 percent for all buildings on the site.

h. Building Setbacks

- 1) Front Yard - Front yard setbacks shall be a minimum of 20-feet to a straight-in garage and 15' to the unit and 10' to swing-in garage measured from the back of sidewalk.
- 2) Side Yard - The minimum interior side yard shall not be less than 5-feet except that a zero-foot side yard shall be permitted on one interior side yard provided that the other side yard shall not be less than 10-feet. Corner lots shall have a minimum exterior side yard setback of 10-feet from the back of walk.
- 3) Rear Yard - Main structures shall not be located less than 15-feet from the rear property line except that an attached garage can be 5-feet from the rear property lines.
- 4) Accessory structures shall not be located less than 5-feet from any property line.

i. Building Height

Buildings and structures in this Planning Area shall not exceed a height of 35-feet.

j. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 1,200 square feet.

k. Off-Street Parking

Each dwelling unit shall have a two-car or three-car enclosed garage. The minimum inside dimension of the garage shall be 20 feet by 20 feet. A second garage having minimum dimensions of 12-feet by 16-feet shall be allowed on lots, which also provide a garage having two, or more full sized parking spaces. All garage doors shall be equipped with automatic garage door openers.

l. Accessory Structures

All accessory structures constructed in this Planning Area shall incorporate materials and colors which complement the architectural style of the main structure(s) and the neighborhood.

m. Entry Treatment

A neighborhood entry shall be allowed at the Planning Area entry from San Elijo Road. In addition, an unmarked entrance is allowed from Planning Area I1.

n. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

o. Slope Treatment

New slopes shall be planted with an array of shrub masses and a variety of ground covers. Trees should be used in moderation and be concentrated predominantly toward the bottom of slopes, preserving view "windows" from elevated pads. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slopes fall.

p. Open Space

Commonly owned areas of open space within the Planning Area shall be maintained by the homeowners association or a Landscaping and Lighting District. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

q. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

r. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

s. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

t. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

u. Other

- 1) Enhanced architectural treatment to all rear elevations of residential structures, as viewed from San Elijo Road (unless screened from view) shall be demonstrated. If not sufficiently addressed in the San Elijo Road right-of-way landscape and improvement plans, landscaped setbacks, fencing and grading in the San Elijo Road Corridor shall implement all site design guidelines in the Specific Plan, and reflected in the right-of-way treatment.
- 2) Additional enhanced elevations may be identified by the Planning Manager during detailed review of the Site Development Plans for individual planning areas.
- 3) A pedestrian trail linking San Elijo Road with the open space between Planning Areas I1 and I2 may be provided at the developer's option, as shown on Exhibits III:11 through III:13.

24. Planning Area J - Single Family Detached

a. Description

This Planning Area of approximately 23 acres is located in the central area of San Elijo Hills, north of San Elijo Road. Residential uses are to the east, north and south and to the west is natural open space. The neighborhood consists of Single-Family Detached homes. Access is from San Elijo Road and "C" Street.

b. Permitted Uses

A development yield of approximately 71 Single-Family Detached homes is proposed in Planning Area J.

c. Conditional Uses Permitted

- 1) Churches, temples, and other places of worship.
- 2) Private clubhouses or recreation centers.
- 3) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:
 - (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Casita
- 2) Fences, walls, patios, and patio covers
- 3) Garages
- 4) Swimming pools, spas

- 5) Home occupations
- 6) Antennae per Section IV, Item J, Antennae Standards
- 7) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Lot Size

The minimum lot size allowed in Planning Area J shall be 5,500 square feet. Minimum lot width shall be 55-feet. The minimum front lot line width for lots fronting on cul-de-sacs or knuckles shall be 33-feet.

g. Lot Coverage

The maximum lot coverage shall be 60 percent for all buildings on the site.

h. Building Setbacks

- 1) Front Yard - Front yard setbacks shall be a minimum of 20-feet for straight-in garages or 15' to the unit or swing-in garage measured from the back of side walk.
- 2) Side Yard - The minimum interior side yard set back shall not be less than 5-feet except that a zero-foot side yard shall be permitted on one interior side yard provided that the other side yard shall not be less than 10-feet. Corner lots shall have a minimum exterior side yard of 10-feet from the back of sidewalk.
- 3) Rear Yard - Main structures shall not be located less than 15-feet from the rear property line except that an attached garage can be 5-feet from the rear property lines.
- 4) Accessory structures and swimming pools shall not be located less than 5-feet from any rear property line.

i. Building Height

Buildings and structures in this Planning Area shall not exceed a height of 35-feet.

j. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 1,200 square feet.

k. Off-Street Parking

Each dwelling unit shall have a two-car or three-car enclosed garage. The minimum inside dimension of the garage shall be 20 feet by 20 feet. A second garage having minimum dimensions of 12-feet by 16-feet shall be allowed on lots, which also provide a garage having two, or more full sized parking spaces. All garage doors shall be supplied with automatic garage door openers.

l. Accessory Structures

All accessory structures constructed in this Planning Area shall incorporate materials and colors, which complement the architectural style of the main structures and the neighborhood.

m. Entry Treatment

A neighborhood entry shall be allowed at the Planning Area entry from San Elijo Road. In addition, an unmarked entrance is allowed from Planning Area K.

n. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

o. Slope Treatment

On perimeter and larger slopes, the arrangement of plant materials should result in a landscape character, which emulates, in texture and general form, the appearance of the surrounding open space slopes. New slopes shall be planted with an array of shrub masses and ground covers. Trees should be used in moderation and be concentrated predominantly toward the bottom of slopes, preserving views from elevated pads. Plant materials shall be selected from the Candidate Plant List, Table IV:1, and shall be predominantly native materials as listed for the Zone Two plant list.

p. Open Space

Commonly owned or adjacent areas of natural open space within the Planning Area shall be maintained by the Homeowner's Association or a Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

q. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

r. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

s. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

t. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

25. Planning Area K - Single Family Detached

a. Description

This Planning Area of approximately 65 acres is located in the north central area of San Elijo Hills, to the north of San Elijo Road. Residential uses are to the east, south and west. To the north is open space consisting of Planning Area Q. The neighborhood consists of Single-Family Detached homes. Access is from "C" Street and through Planning Area J.

b. Permitted Uses

A development yield of approximately 212 Single-Family Detached homes is proposed in Planning Area K.

c. Conditional Uses Permitted

- 1) Churches, temples, and other places of worship.
- 2) Private clubhouses or recreation centers.
- 3) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:
 - (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Casita
- 2) Fences, walls, patios, and patio covers
- 3) Garages
- 4) Swimming pools, spas

- 5) Home occupations
- 6) Antennae per Section IV, Item J, Antennae Standards
- 7) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Lot Size

The minimum lot size allowed in Planning Area K shall be 5,500 square feet. Minimum lot width shall be 55-feet. The minimum front lot line width for lots fronting on cul-de-sacs or knuckles shall be 33-feet.

g. Lot Coverage

The maximum lot coverage shall be 60 percent for all buildings on the site.

h. Building Setbacks

- 1) Front Yard - Front yard setbacks shall be a minimum of 20-feet for straight-in garages or 15' to the unit or swing-in garage measured from the back of side walk.
- 2) Side Yard - The minimum interior side yard set back shall not be less than 5-feet except that a zero-foot side yard shall be permitted on one interior side yard provided that the other side yard shall not be less than 10-feet. Corner lots shall have a minimum exterior side yard of 10-feet from the back of sidewalk.
- 3) Rear Yard - Main structures shall not be located less than 15-feet from the rear property line. except that an attached garage can be 5-feet from the rear property lines.
- 4) Accessory structures and swimming pools shall not be located less than 5-feet from any rear property line.

i. Building Height

Buildings and structures in this Planning Area shall not exceed a height of 35-feet.

j. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 1,200 square feet.

k. Off-Street Parking

Each dwelling unit shall have a two-car or three-car enclosed garage. The minimum inside dimension of the garage shall be 20 feet by 20 feet. A second garage having minimum dimensions of 12-feet by 16-feet shall be allowed on lots, which also provide a garage having two, or more full sized parking spaces. All garage doors shall be supplied with automatic garage door openers.

l. Accessory Structures

All accessory structures constructed in this Planning Area shall incorporate materials and colors, which complement the architectural style of the main structures and the neighborhood.

m. Entry Treatment

A neighborhood entry shall be allowed at the Planning Area entry from "C" Street having access off San Elijo Road. In addition, unmarked entrances are allowed from Planning Area J.

n. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

o. Slope Treatment

The arrangement of plant materials should transition to a landscape character, which emulates, in texture and general form, the appearance of the surrounding open space slopes. New slopes shall be planted with an array of shrub masses and a variety of ground covers. Trees should be used in moderation and be concentrated predominantly toward the bottom of slopes, preserving view "windows" from elevated pads. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriated to the zone in which the slopes fall, with consideration of predominantly native materials in transition areas.

p. Open Space

Commonly owned areas of natural open space within the Planning Area shall be maintained by the Homeowner's Association or a Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

q. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

r. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

s. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

t. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

u. Other

- 1) Visual simulation and site design studies shall be completed to demonstrate grading, architectural and visual impacts to all primary ridgeline features, in conformance with mitigation measures included in the Subsequent Environmental Impact Report, as deemed necessary by the Planning Manager .
- 2) Additional enhanced elevations may be identified by the Planning Manager during detailed review of the Site Development Plans for individual planning areas.
- 3) Curvilinear street design shall be incorporated into the tentative subdivision map, to the extent feasible.

26. Planning Area L - Natural Open Space

a. Description

Planning Area L consists of approximately 653 acres of natural open space distributed throughout the Specific Plan Area. Portions of the Planning Area are anticipated to be designated as part of the City of San Marcos Biological Resource Management Plan (BRMP) corridor area and a portion of the Double Peak regional park.

b. Permitted Uses

Planning Area L will be maintained as a natural open space area. The only exception being public facilities, trails, existing easements, overlook areas and fuel management zones required by the Fire Marshall.

27. Planning Area M - Single Family Detached

a. Description

This Planning Area of approximately 53 acres is located in the northwest area of San Elijo Hills, to the north of San Elijo Road. Residential uses and the water aqueduct easement are to the west and natural open space is adjacent on the other three sides. A second water aqueduct easement is to the east. The neighborhood consists of Single-Family Detached homes. Access is off Schoolhouse Way and from Planning Area N.

b. Permitted Uses

A development yield of approximately 107 Single-Family Detached homes is proposed in Planning Area M.

c. Conditional Uses Permitted

- 1) Churches, temples, and other places of worship.
- 2) Private clubhouses or recreation centers.
- 3) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:
 - (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Casita
- 2) Fences, walls, patios, and patio covers
- 3) Garages

- 4) Swimming pools, spas
- 5) Home occupations
- 6) Antennae per Section IV, Item J, Antennae Standards
- 7) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Lot Size

The minimum lot size allowed in Planning Area M shall be 6,000 square feet. Minimum lot width shall be 60-feet. The minimum front lot line width for lots fronting on cul-de-sacs or knuckles shall be 33-feet.

g. Lot Coverage

The maximum lot coverage shall be 60 percent for all buildings on the site.

h. Building Setbacks

- 1) Front Yard - Front yard setbacks shall be a minimum of 20-feet for straight-in garages or 15-feet to the unit or swing-in garage measured from the back of side walk.
- 2) Side Yard - The minimum interior side yard set back shall not be less than 5-feet except that a zero-foot side yard shall be permitted on one interior side yard provided that the other side yard shall not be less than 10-feet. Corner lots shall have a minimum exterior side yard of 10-feet from the back of sidewalk.
- 3) Rear Yard - Main structures shall not be located less than 15-feet from the rear property line except that an attached garage can be 5-feet from the rear property lines.
- 4) Accessory structures and swimming pools shall not be located less than 5-feet from any rear property line.

i. Building Height

Buildings and structures in this Planning Area shall not exceed a height of 35-feet.

j. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 1,200 square feet.

k. Off-Street Parking

Each dwelling unit shall have a two-car or three-car enclosed garage. The minimum inside dimension the garage shall be 20 feet by 20 feet. A second garage having minimum dimensions of 12-feet by 16-feet shall be allowed on lots, which also provide a garage having two, or more full sized parking spaces. All garage doors shall be supplied with automatic garage door openers.

l. Accessory Structures

All accessory structures constructed in this Planning Area shall incorporate materials and colors, which complement the architectural style of the main structures and the neighborhood.

m. Entry Treatment

A neighborhood entry shall be allowed at the Planning Area entry from Schoolhouse Way having access off San Elijo Road. In addition, an unmarked entrance is allowed from Planning Area N.

n. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

o. Slope Treatment

The arrangement of plant materials should transition to a landscape character, which emulates, in texture and general form, the appearance of the surrounding open space slopes. New slopes shall be planted with an array of shrub masses and a variety of ground covers. Trees should be used in moderation and be concentrated predominantly toward the bottom of slopes, preserving views from elevated pads. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriated to the zone in which the slopes fall, with consideration of predominantly native materials in transition areas.

p. Open Space

Commonly owned areas of natural open space within the Planning Area shall be maintained by the Homeowner's Association or a Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

q. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

r. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

s. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

t. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

u. Other

Visual simulation and site design studies shall be completed to demonstrate grading, architectural and visual impacts to all primary ridgeline features, in conformance with mitigation measures included in the Subsequent Environmental Impact Report, as deemed necessary by the Planning Manager

28. Planning Area N - Single Family Detached

a. Description

This Planning Area of approximately 86 acres is located in the northwest area of San Elijo Hills, to the north of San Elijo Road. Natural open space lies to the north and south. To the west is the proposed quarry park area of University Commons. To the east are Planning Area M and the water aqueduct easement. The neighborhood consists of Single-Family Detached homes. Access is from the extension of the Elfin Forest Road and from Planning Area M.

b. Permitted Uses

A development yield of approximately 160 Single-Family Detached homes is proposed in Planning Area A.

c. Conditional Uses Permitted

- 1) Private clubhouses or recreation centers.
- 2) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:
 - (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Casita
- 2) Fences, walls, patios, and patio covers
- 3) Garages
- 4) Swimming pools, spas

- 5) Home occupations
- 6) Antennae per Section IV, Item J, Antennae Standards
- 7) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Lot Size

The minimum lot size allowed in Planning Area N shall be 5,500 square feet. Minimum lot width shall be 55-feet. The minimum front lot line width for lots fronting on cul-de-sacs or knuckles shall be 33-feet.

g. Lot Coverage

The maximum lot coverage shall be 60 percent for all buildings on the site.

h. Building Setbacks

- 1) Front Yard - Front yard setbacks shall be a minimum of 20-feet for straight-in garages or 15' to the unit or swing-in garage measured from the back of sidewalk.
- 2) Side Yard - The minimum interior side yard set back shall not be less than 5-feet except that a zero-foot side yard shall be permitted on one interior side yard provided that the other side yard shall not be less than 10-feet. Corner lots shall have a minimum exterior side yard of 10-feet from the back of sidewalk.
- 3) Rear Yard - Main structures shall not be located less than 15-feet from the rear property line except that an attached garage can be 5-feet from the rear property lines.
- 4) Accessory structures and swimming pools shall not be located less than 5-feet from any rear property line.

i. Building Height

Buildings and structures in this Planning Area shall not exceed a height of 35-feet.

j. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 1,200 square feet.

k. Off-Street Parking

Each dwelling unit shall have a two-car or three-car enclosed garage. The minimum inside dimension the garage shall be 20 feet by 20 feet. A second garage having minimum dimensions of 12-feet by 16-feet shall be allowed on lots, which also provide a garage having two, or more full sized parking spaces. All garage doors shall be supplied with automatic garage door openers.

l. Accessory Structures

All accessory structures constructed in this Planning Area shall incorporate materials and colors, which complement the architectural style of the main structures and the neighborhood.

m. Entry Treatment

A neighborhood entry shall be allowed at the Planning Area entry from Elfin Forest Road. In addition, an unmarked entrance is allowed from Planning Area M.

n. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

o. Slope Treatment

The arrangement of plant materials should transition to a landscape character, which emulates, in texture and general form, the appearance of the surrounding open space slopes. New slopes shall be planted with an array of shrub masses and a variety of ground covers. Trees should be used in moderation and be concentrated predominantly toward the bottom of slopes, preserving views from elevated pads. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriated to the zone in which the slopes fall, with consideration of predominantly native materials in transition areas.

p. Open Space

Commonly owned areas of natural open space within the Planning Area shall be maintained by the Homeowner's Association or a Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

q. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

r. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

s. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

t. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

u. Other

Visual simulation and site design studies shall be completed to demonstrate grading, architectural and visual impacts to all primary ridgeline features, in conformance with mitigation measures included in the Subsequent Environmental Impact Report, as deemed necessary by the Planning Manager.

29. Planning Area O - Estate Homes

a. Description

This Planning Area is approximately 74 acres, located in the northeast area of San Elijo Hills. The area is bounded by open space to the north as part of Planning Area Q, and San Elijo Road to the south. Residential uses fall to the east and west. The area consists of Estate homes. Access is from San Elijo Road and "C" Street.

b. Permitted Uses

The development yield of approximately 60 Estate Homes is proposed for Planning Area O.

c. Conditional Uses Permitted

- 1) Private clubhouses or recreation centers.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:

- (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Casita
- 2) Fences, walls, patios, and patio covers
- 3) Garages
- 4) Swimming pools, spas
- 5) Home occupations
- 6) Antennae per Section IV, Item J, Antennae Standards.

- 7) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Lot Size

The minimum lot size in Planning Area O shall be 20,000 square feet except that specific lots may be reduced in area as approved by the Planning Manager, however the pad size shall be a minimum of 8,000 square feet. The minimum lot width shall be 100-feet. The minimum front lot line width for lots fronting on cul-de-sacs or knuckles shall be 33-feet.

g. Lot Coverage

The maximum lot coverage for this Planning Area shall be 35 percent for all buildings on the site.

h. Building Setbacks

- 1) Front Yard - All lots having a graded pad depth of 100-feet or more shall have a minimum front yard setback of 25-feet measured from back of curb. All lots having a graded pad depth of less than 100-feet shall maintain a minimum setback of 15-feet for residential structures and 20-feet for garages.
- 2) Side Yard - The minimum interior side yard setback shall be 5-feet to property line. Separation between habitable building structures shall not be less than 30-feet.
- 3) Rear Yard - Main structures shall not be located less than 30-feet from the rear property line.
- 4) Accessory structures shall not be located less than 5-feet from any property line.
- 5) See Item u for additional information.

i. Building Height

Buildings and structures in this Planning Area shall not exceed a height of 35-feet as defined under Section V:A1 definitions - "Building Height" on page V:1. See Table IV:3 for additional information and Item u.

j. Off-Street Parking

Each dwelling unit shall have a two-car or three-car enclosed garage. The minimum inside dimension of the garage shall be 20 feet by 20 feet. A second garage having minimum dimensions of 12-feet by 16-feet shall be allowed on lots, which also provide a garage having two, or more full sized parking spaces. All garage doors shall be supplied with automatic garage door openers.

k. Accessory Structures

All accessory structures constructed in this Planning Area shall incorporate materials and colors which complement the architectural style of the main structure(s) and the neighborhood.

l. Entry Treatment

A gated neighborhood entry feature may be located at the Planning Area entry along San Elijo Road upon approval by the City Engineer.

m. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

n. Slope Treatment

The landscape character of newly planted slopes should visually emulate the appearance of the surrounding open space slopes. Slopes shall be planted with a predominantly native selection of ground covers and shrub masses. The use of a variety of materials is encouraged. Trees should be used sparingly, and areas within 75 vertical feet of the ridgeline should not be planted with trees. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slope falls.

o. Open Space

Commonly owned or adjacent areas of natural open space within the Planning Area shall be maintained by the Homeowner's Association or a Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

p. Lighting

Refer to Chapter IV, Section I. Lighting Standards for lighting requirements. Note Lighting Restricted Areas, Item 5 and Exhibit IV:73 On Page IV:124.

q. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

r. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

s. Recreational Vehicle Storage

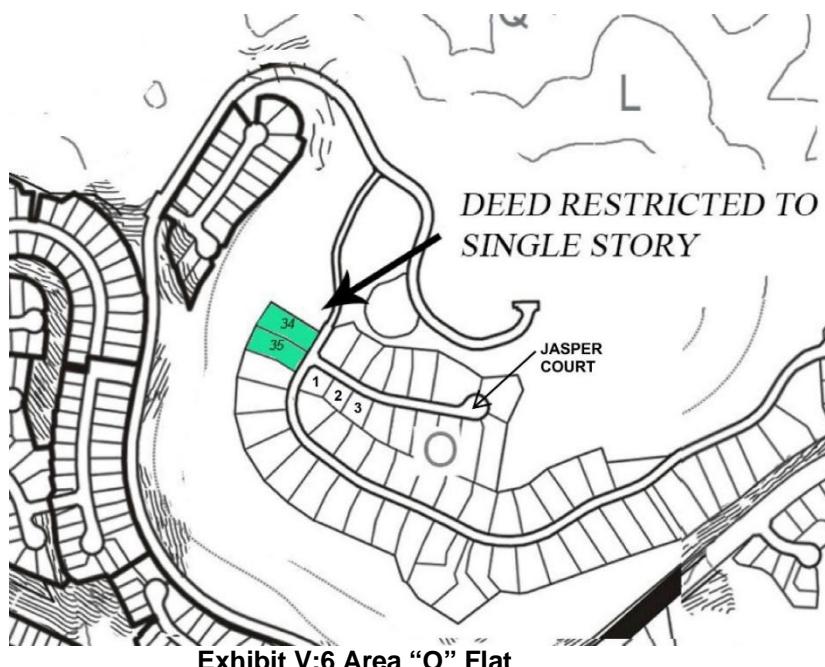
The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

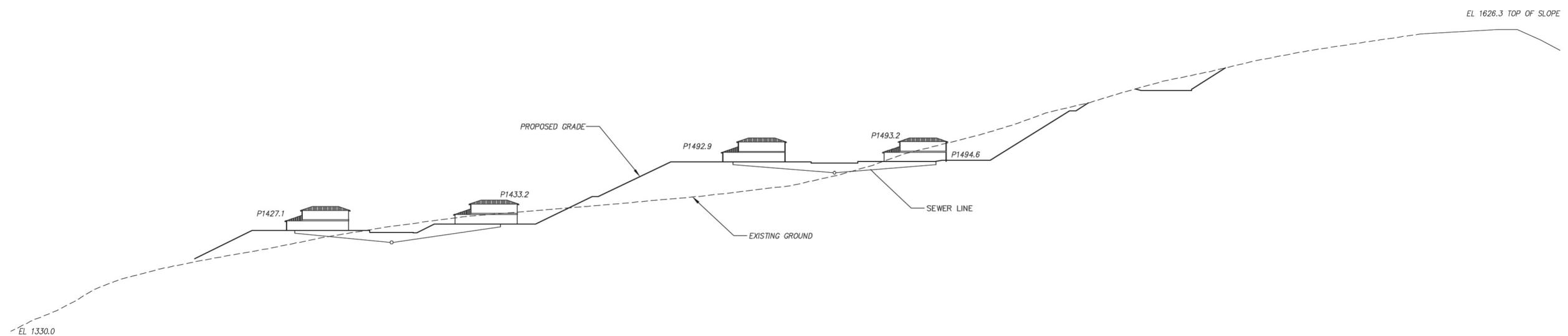
t. Design Manual

A Design Manual which describes grading, landscape requirements, setbacks and possible building height limitations for each lot in this Planning Area shall be submitted for review with the Master Tentative Map application.

u. Other

1. Visual simulation and site design studies shall be completed to demonstrate grading, architectural and visual impacts to all primary ridgeline features, in conformance with mitigation measures included in the Subsequent Environmental Impact Report, as deemed necessary by the Planning Manager.
2. See Landscape Master Plan Item 2d and Exhibit IV:7, Landscape Restricted Areas for additional requirements.
3. The lots highlighted below shall be deed restricted to one story.
4. Lots 1 and 2 on Jasper Court shall have minimum front and rear setbacks of 15-feet. Lot 3 shall have a minimum front yard setback of 25-feet and a minimum rear yard setback of 20-feet.





30. Planning Area Q - Active Recreation/Regional Park

a. Description

Planning Area Q includes the open space area along the Cerro de las Posas and Double Peak ridgeline as well as overlook and other potential passive and active recreation areas in San Elijo Hills. The area includes approximately 239 acres and is accessed via "C" Street, the multipurpose trail system, and San Elijo Road.

b. Permitted Uses

Active and passive recreational uses are allowed in Planning Area Q, including a portion of the Double Peak regional park, which also falls into a portion of Planning Area L.

c. Conditional Uses Permitted*

- 1) Equestrian facilities
- 2) Golf Course
- 3) Churches, temples, and other places of worship
- 4) Private clubhouses, recreation and conference centers.
- 5) Child care center
- 6) Seasonal sales such as Christmas trees, pumpkins, vegetables and related items

* Limited to the flatter portions of Cerro de las Posas and the project interior.

d. Temporary Uses & Structures Permitted

Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, and sales pavilions.

e. Accessory Uses and Structures Permitted

Accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Building Height

No buildings shall exceed one-story, except that a split level or multilevel design may be approved if it meets the screening and visual intent of this regulation. Rooflines are to be designed to work with the natural slope contours. Earth tone shades of building materials are encouraged.

31. Planning Area R - Single Family Detached

a. Description

This Planning Area is approximately 67 acres located in the most northerly area of San Elijo Hills and is bounded by open space to the north, south and west and planned residential neighborhoods of the Rancho Coronado Specific Plan to the east. The neighborhood consists of Single-Family Detached homes. Access will be from an extension of Via Vera Cruz and from the local streets to the west.

b. Permitted Uses

Development yield of approximately 148 Single-Family Detached homes is proposed in Planning Area R.

c. Conditional Uses Permitted

- 1) Churches, temples, and other places of worship.
- 2) Private clubhouses or recreation centers.
- 3) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:
 - (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Casita
- 2) Fences, walls, patios, and patio covers
- 3) Garages

- 4) Swimming pools, spas
- 5) Home occupations
- 6) Antennae per Section IV, Item J, Antennae Standards
- 7) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Lot Size

The minimum lot size allowed in the lower elevations of Planning Area R as depicted on Exhibit V:5 shall be 5,000 square feet. Minimum lot width shall be 50-feet. The minimum allowed in the upper elevations of Planning Area R as depicted on Exhibit V:5 shall be 10,000 sq. ft. Minimum width shall be 80-feet. The minimum front lot line width for lots fronting on cul-de-sacs or knuckles shall be 33-feet.

g. Lot Coverage

The maximum lot coverage shall be 60 percent for all buildings on the site.

h. Building Setbacks

- 1) Front Yard - Front yard setbacks shall be a minimum of 20-feet to a straight-in garage, 15-feet to the unit, and 15-feet (10,000 square feet.) or 10' (5,000 square feet.) to a swing-in garage measured from the back of walk.
- 2) Side Yard - The minimum interior side yard set back shall not be less than 5-feet except that a zero-foot side yard shall be permitted on one interior side yard provided that the other side yard shall not be less than 10-feet. Corner lots shall have a minimum exterior side yard of 10-feet from the back of sidewalk.
- 3) Rear Yard – Refer to Detailed Residential Development Standards Table IV:3.
- 4) Accessory structures shall not be located less than 5-feet from any property line.

i. Building Height

Buildings and structures in this Planning Area shall not exceed a height of 35-feet.

j. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 1,200 square feet.

k. Off-Street Parking

Each dwelling unit shall have a two-car or three-car enclosed garage. The minimum inside dimension of the garage shall be 20 feet by 20 feet. A second garage having minimum dimensions of 12-feet by 16-feet shall be allowed on lots, which also provide a garage having two, or more full sized parking spaces. All garage doors shall be supplied with automatic garage door openers.

l. Accessory Structures

All accessory structures constructed in this Planning Area shall incorporate materials and colors, which complement the architectural style of the main structures and the neighborhood.

m. Entry Treatment

A neighborhood entry feature may be located at the Planning Area entry from the extension of Via Vera Cruz.

n. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

o. Slope Treatment

The arrangement of plant materials should transition to a landscape character, which emulates, in texture and general form, the appearance of the surrounding open space slopes. New slopes shall be planted with an array of shrub masses and a variety of ground covers. Trees should be used in moderation. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slopes fall, with consideration of predominantly native materials in transition areas.

p. Open Space

Commonly owned areas of natural open space within the Planning Area shall be maintained by the Homeowner's Association or a Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

q. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

r. Real Estate Signs

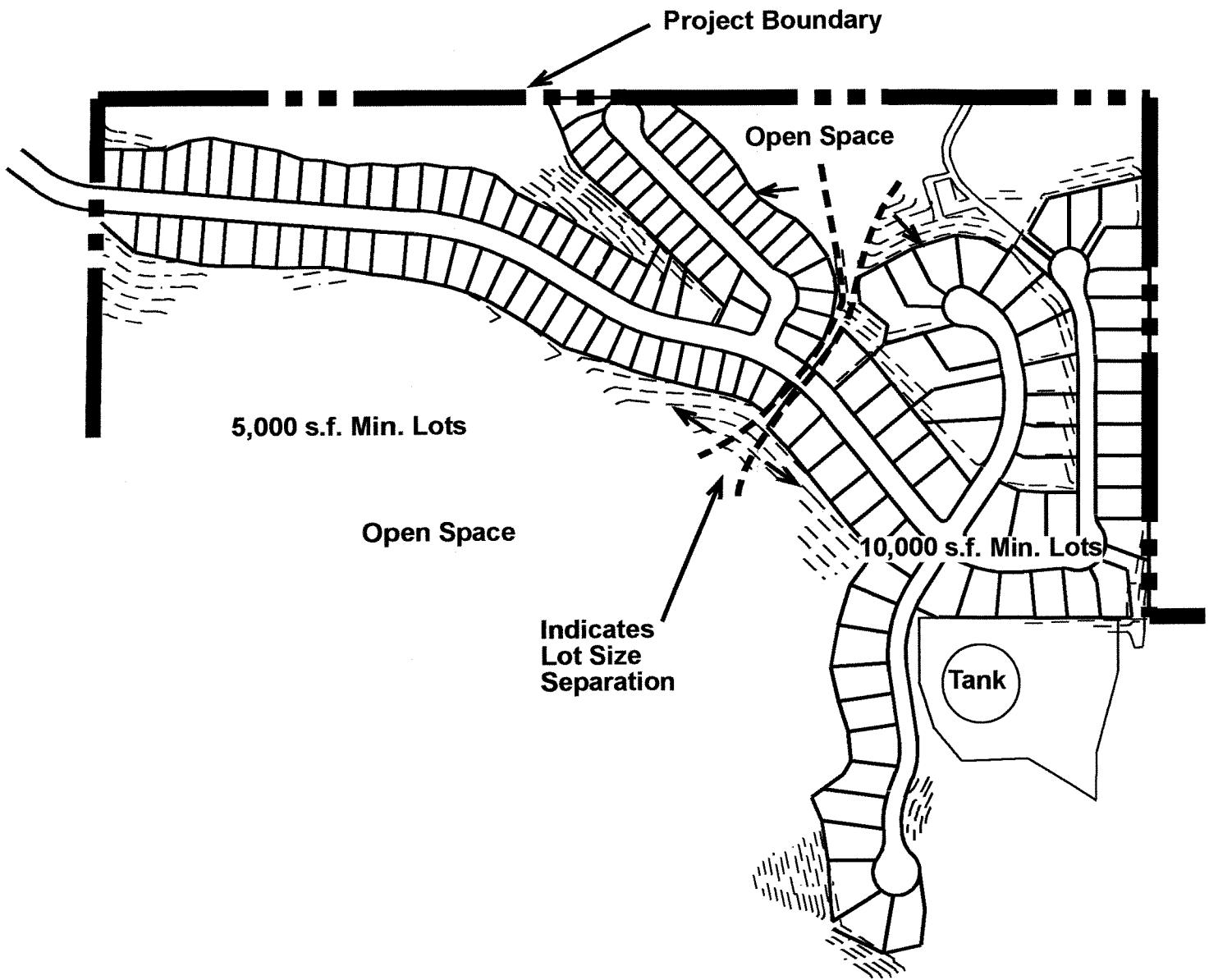
One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

s. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

t. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.



Note:

*This exhibit is conceptual and
provided for illustrative purposes only.*


Brian L. Thompson, A.S.L.A.
Landscape Architecture




GraphicAccess
Planning & Graphics Support


Kaufman
Meeks Inc.

Site Plan-Planning Area R

San Elijo Hills Specific Plan Amendment
Exhibit V:6 Page V:128

32. Planning Area S - Single Family Detached

a. Description

This Planning Area of approximately 33 acres is located in the east area of San Elijo Hills, north and south of San Elijo Road. Open space lies to the north and south, residential uses to the west and semi-developed land to the east. The neighborhood consists of Single-Family Detached homes. Access is from San Elijo Road.

b. Permitted Uses

A development yield of approximately 77 Single-Family Detached homes are allowed in Planning Area S. In addition, the San Elijo Hills Fire Station is located on a separate one-acre pad south of San Elijo Road.

c. Conditional Uses Permitted

- 1) Churches, temples, and other places of worship.
- 2) Private clubhouses or recreation centers.
- 3) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:
 - (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Casita
- 2) Fences, walls, patios, and patio covers
- 3) Garages

- 4) Swimming pools, spas
- 5) Home occupations
- 6) Antennae per Section IV, Item J, Antennae Standards
- 7) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Lot Size

The minimum lot size allowed in Planning Area S shall be 7,000 square feet. Minimum lot width shall be 70-feet. The minimum front lot line width for lots fronting on cul-de-sacs or knuckles shall be 33-feet.

g. Lot Coverage

The maximum lot coverage shall be 60 percent for all buildings on the site.

h. Building Setbacks

- 1) Front Yard - Front yard setbacks shall be a minimum of 20-feet to a straight-in garage, and 15' to the unit or swing-in garage measured from the back of walk.
- 2) Side Yard - The minimum interior side yard set back shall not be less than 5-feet with both side yards totaling 15'. Corner lots shall have a minimum exterior side yard of 15-feet from the back of sidewalk.
- 3) Rear Yard - Main structures shall not be located less than 20-feet from the rear property line.
- 4) Accessory structures shall not be located less than 5-feet from any property line.

i. Building Height

Buildings and structures in this Planning Area shall not exceed a height of 35-feet south of Questhaven Road, 25-feet north of Questhaven Road.

j. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 1,200 square feet.

k. Off-Street Parking

Each dwelling unit shall have a two-car or three-car enclosed garage. The minimum inside dimension of the garage shall be 20 feet by 20 feet. A second garage having minimum dimensions of

12-feet by 16-feet shall be allowed on lots, which also provide a garage having two, or more full sized parking spaces. All garage doors shall be supplied with automatic garage door openers.

I. Accessory Structures

All accessory structures constructed in this Planning Area shall incorporate materials and colors, which complement the architectural style of the main structures and the neighborhood.

m. Entry Treatment

Neighborhood entries shall be allowed to the Planning Area from San Elijo Road.

n. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

o. Slope Treatment

The arrangement of plant materials should transition to a landscape character, which emulates, in texture and general form, the appearance of the surrounding open space slopes. New slopes shall be planted with an array of shrub masses and a variety of ground covers. Trees should be used in moderation and be concentrated predominantly toward the bottom of slopes, preserving views from elevated pads. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slopes fall, with consideration of predominantly native materials in transition areas.

p. Open Space

Commonly owned areas of natural open space within the Planning Area shall be maintained by the Homeowner's Association or a Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

q. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements. Note Lighting Restricted Areas Item 5 and Exhibit IV:73 on Page IV:124.

r. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed.

Additional sign regulations are described in Chapter IV:H, Sign Program.

s. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

t. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

u. Other

- 1) Enhanced architectural treatment to all rear elevations of residential structures, as viewed from San Elijo Road (unless screened from view) shall be demonstrated. Landscaped setbacks, fencing and grading in the San Elijo Road Corridor shall implement all applicable site design guidelines in the Specific Plan, and reflected in the right-of-way treatment.
- 2) Additional enhanced elevations may be identified by the Planning Manager during detailed review of the Site Development Plans for individual planning areas.
- 3) All residential units north of San Elijo Road shall be single story and shall not exceed 25 ft. above grade, with architectural treatments (rooflines) and exterior colors (earthtones) which blend with the surrounding area.
- 4) Visual simulation and site design studies shall be completed to demonstrate grading, architectural and visual impacts to topographic features, in conformance with mitigation measures included in the Subsequent Environmental Impact Report, as deemed necessary by the Planning Manager
- 5) See Landscape Master Plan Item 2d and Exhibit IV:7, Landscape Restricted Areas for additional requirements.

33. Planning Area T - Estate Homes

a. Description

This Planning Area consists of approximately 60 acres located in the central portion of the Specific Plan area. The Planning Area is bounded by natural open space to the north, west and south and residential to the east. The Planning Area consists of Estate homes. Access is off of "C" Street.

b. Permitted Uses

A development yield of approximately 79 lots is proposed for Planning Area T.

c. Conditional Uses Permitted

- 1) Private clubhouses or recreation centers.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:

- (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Casita
- 2) Fences, walls, patios, and patio covers
- 3) Garages
- 4) Swimming pools, spas
- 5) Home occupations
- 6) Antennae per Section IV, Item J, Antennae Standards

- 7) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Lot Size

The minimum lot size in Planning Area T shall be 20,000 square feet except that specific lots may be reduced in area as approved by the Planning Manager, however, the pad size shall be a minimum of 8,000 square feet. The minimum lot width shall be 100-feet. The minimum front lot line width for lots fronting on cul-de-sacs or knuckles shall be 33-feet.

g. Lot Coverage

The maximum lot coverage for this Planning Area shall be 35 percent for all building on the site.

h. Building Setbacks

- 1) Front Yard - All lots having a graded pad depth of 100-feet or more shall have a minimum front yard setback of 25-feet measured from back of curb. All lots having a graded pad depth of less than 100-feet shall maintain a minimum setback of 15-feet for residential structures and 20-feet for garages.
- 2) Side Yard - The minimum interior side yard setback shall be 5-feet to property line. Separation between habitable building structures shall not be less than 30-feet.
- 3) Rear Yard - Main structures shall not be located less than 30-feet from the rear property line. Accessory structures shall not be located less than 5-feet from any property line.

i. Building Height

Buildings and structures in this Planning Area shall not exceed a height of 35-feet as defined under Section V:A1 definitions - "Building Height" on page V:1. See Table IV:3 for additional information. Note also that visual stimulations will be required per Item U.

j. Off-Street Parking

Each dwelling unit shall have a two-car or three-car enclosed garage. The minimum inside dimension of the garage shall be 20 feet by 20 feet. A second garage having minimum dimensions of 12-feet by 16-feet shall be allowed on lots, which also provide a garage having two, or more full sized parking spaces. All garage doors shall be supplied with automatic garage door openers.

k. Accessory Structures

All accessory structures constructed in this Planning Area shall incorporate materials and colors which complement the architectural style of the main structure(s) and the neighborhood.

I. Entry Treatment

A gated neighborhood entry feature may be located at the Planning Area entry where it intersects ("C" Street).

m. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

n. Slope Treatment

The landscape character of planted slopes should visually emulate the appearance of the surrounding open space slopes. Slopes shall be planted with a predominantly native selection of ground covers and shrub masses. The use of a variety of materials is encouraged. Trees should be used sparingly, and areas within 75 vertical feet of the ridgeline should not be planted with trees without special considerations. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slope falls.

o. Open Space

Commonly owned areas of natural open space within the Planning Area shall be maintained by the Homeowner's Association (if any) or a Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated to a natural state. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

p. Lighting

Refer to Chapter IV, Section I. Lighting Standards for lighting requirements. Note Lighting Restricted Areas Item 5 and Exhibit IV:73 On Page IV:124.

q. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

r. Design Manual

A Design Manual which describes grading, landscape requirements, setbacks and possible building height limitations for each lot in this Planning Area shall be submitted for review with the Master Tentative Map application.

s. Animal Regulations

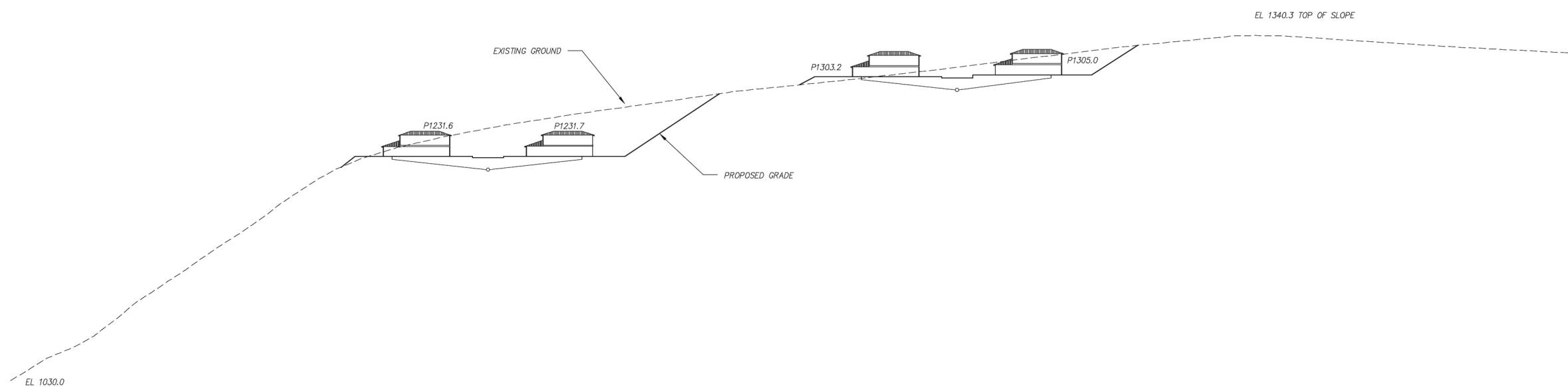
Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

t. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

u. Other

- 1) Visual simulation and site design studies shall be completed to demonstrate grading, architectural and visual impacts to all primary ridgeline features, in conformance with mitigation measure included in the Subsequent Environmental Impact Report, as deemed necessary by the Planning Manager .
- 2) Additional enhanced elevations may be identified by the Planning Manager during detailed review of the Site Development Plans for individual planning areas.
- 3) The tentative subdivision map shall provide typical site plan design for upslope, downslope, flag lot and flat terrain conditions showing for driveway access, street grading, building placement and typical site plan treatments.
- 4) See Landscape Master Plan Item 2d and Exhibit IV:7, Landscape Restricted Areas for additional requirements.



Area "T" Flat
San Elijo Hills Specific Plan Amendment
Exhibit V:7 Page V:137

34. Planning Area V1 - Patio Homes

a. Description

This Planning Area of approximately 27 acres is located in the central east area of San Elijo Hills, to the north of San Elijo Road. Residential uses are to the east and north. A school site (V2) to the south and open space to the east. The neighborhood consists of Patio Homes. The area receives access via "C" Street.

b. Permitted Uses

A development yield of approximately 128 Patio Homes is proposed in Planning Area V1. Cluster Detached/Attached standards may apply if this land use is chosen. See Planning Area C1 for specifics.

c. Conditional Uses Permitted

- 1) Private clubhouses or recreation centers.
- 2) Child day care facilities serving from 7 to 12 children.

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, sales pavilions, model home complexes and signage located within the subdivision, subject to the following minimum requirements:
 - (a) One sign, unlighted, of up to 100 square feet in area and up to 20-feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs installed shall have copy restricted to the sale of units within the subdivision.

e. Accessory Uses and Structures Permitted

- 1) Fences, walls, patios, and patio covers
- 2) Garages
- 3) Swimming pools, spas
- 4) Home occupations

- 5) Antennae per Section IV, Item J, Antennae Standards
- 6) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

f. Lot Size

The minimum lot size allowed in Planning Area V1 shall be 3,400 square feet. Minimum lot width shall be 40-feet. The minimum front lot line width for lots fronting on cul-de-sacs or knuckles shall be 33-feet.

g. Lot Coverage

The maximum lot coverage shall be 65 percent for all buildings on the site.

h. Building Setbacks

- 1) Front Yard - Front yard setbacks shall be a minimum of 18-feet to a straight-in garage and 10' to the unit or swing-in garage measured from the back of sidewalk.
- 2) Side Yard - The minimum interior side yard set back shall not be less than 5-feet except that a zero-foot side yard shall be permitted on one interior side yard provided that the other side yard shall not be less than 10-feet. Corner lots shall have a minimum exterior side yard of 10-feet from the back of sidewalk.
- 3) Rear Yard - Main structures shall not be located less than 10-feet from the rear property line except that an attached garage can be 5-feet from the rear property line.
- 4) Accessory structures shall not be located less than 5-feet from any property line.

i. Building Height

Buildings and structures in this Planning Area shall not exceed a height of 35-feet.

j. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 900 square feet.

k. Off-Street Parking

Each dwelling unit shall have a two-car or three-car enclosed garage. The minimum inside dimension of the garage shall be 20 feet by 20 feet. A second garage having minimum dimensions of 12-feet by 16-feet shall be allowed on lots which also provide a

garage having two or more full sized parking spaces. All garage doors shall be supplied with automatic garage door openers.

I. Accessory Structures

All accessory structures constructed in this Planning Area shall incorporate materials and colors, which complement the architectural style of the main structures and the neighborhood.

m. Entry Treatment

Two neighborhood entries shall be allowed at the Planning Area entries from "C" Street.

n. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

o. Slope Treatment

The arrangement of plant materials should transition to a landscape character, which emulates, in texture and general form, the appearance of the surrounding open space slopes. New slopes shall be planted with an array of shrub masses and ground covers. Trees should be used in moderation and be concentrated predominantly toward the bottom of slopes, preserving views. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slopes fall, with consideration of predominantly native materials in transition areas.

p. Open Space

Commonly owned areas of natural open space within the Planning Area shall be maintained by the Homeowner's Association or a Landscaping and Lighting District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal.

q. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

r. Real Estate Signs

One uplighted sign not larger than six square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H, Sign Program.

s. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

t. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

35. Planning Area V2 - Multifamily / Cluster Detached-Attached / Single Family Detached

a. Description

Planning Area V2 is a 21-acre site located in the central portion of San Elijo Hills, north of San Elijo Road. A westerly parcel encompasses 5 acres and an easterly parcel 16. They are bisected by "C" Street. Natural open space abuts the sites to the east and west and residential housing lies to the north and northwest. Access is taken from "C" Street. This site may be developed as a residential neighborhood in whole or part as provided for in this document.

b. Permitted Uses

The following uses are allowed within Planning Area V2: an elementary school which may include school-related uses such as an auditorium, cafeteria, ball fields, play grounds and parking lots. Should the school district decide not to locate a school on this location or portion of this location, then the Planning Area or a portion of the Planning Area may be developed as Multifamily, Cluster Detached/ Attached or any one of the Single-Family Detached land use categories with an approximate development yield of 135 units. However, the overall project wide unit count of 3,466 shall not be exceeded.

c. Conditional Uses Permitted

- 1) Churches, temples, and other places of worship
- 2) Private clubhouses or recreation centers
- 3) Child care center

d. Temporary Uses & Structures Permitted

- 1) Residential or commercial construction activities, including necessary construction offices and materials and equipment storage, residential or commercial sales or leasing offices, sales information centers, and sales pavilions.
 - (a) One sign, unlighted, of up to 100 square feet in area and up to 20 feet in height, placed at each street intersection entrance to the subdivision from peripheral streets may be installed. In the event a two-face sandwich type sign is installed, only one of the equal faces shall be used in computing the allowable area of the sign. The sign or signs

installed shall have copy restricted to the sale or rental of units within the subdivision.

f. Accessory Uses and Structures Permitted

- 1) Fences, walls, patios, and patio covers
- 2) Garages and carports
- 3) Recreational courts, including but not limited to: tennis, basketball and similar uses.
- 4) Antennae per Section IV, Item J, Antennae Standards
- 5) Central recreation facilities
- 6) Swimming pools, spas
- 7) Home occupations
- 8) Other accessory uses and structures determined by the City to be normally incidental to a permitted principal or conditional use.

g. Density

The maximum density for Planning Area V2 shall be 25.0 units per acre.

h. Building Setbacks

There are 5-foot side and 10-foot rear setbacks. See development standards matrix in Chapter IV for additional information.

i. Distance Between Buildings

No dwelling structure shall be located closer than 10 feet side to side or 20 feet in all other instances.

j. Building Height

Building and structures in this Planning Area shall not exceed three stories or a height of 45 feet.

k. Minimum Floor Area

Each dwelling unit shall contain a minimum floor area of not less than 600 square feet.

l. School Building Design

The design of the school shall be subject to the requirements of the school district.

m. Off-Street Parking

- 1) Parking for the school configuration shall conform to the San Marcos Zoning Ordinance, Chapter 20.340.
- 2) Parking for the residential configuration shall have a minimum of two parking spaces per dwelling unit, one of which shall be covered (carport), plus one space for every three residential units for guest parking or as otherwise approved by the City Manager. A minimum setback of 10 feet shall be maintained between dwelling units and parking/driveway areas. The minimum carport or open parking stall is 9 feet x 19 feet.

n. Entry Treatments

Neighborhood entries shall be allowed at each of the Planning Area entrances from "C" Street.

o. Open Space

Areas of open space within the Planning Area shall be maintained by the School District. Any areas designated natural open space, which are impacted by grading operations, shall be revegetated. Fuel management requirements in open space areas shall be determined by the City Fire Marshal. Should the Planning Area be developed as residential, the Planning Area or portions of the Planning Area that are commonly owned or adjacent areas of natural open space shall be maintained by the Homeowners' Association or a Landscaping and Lighting District.

p. Private Residential Open Space

All ground floor dwelling units shall have a minimum of 200 square feet of private open space patio area and each dwelling unit not located at ground level shall have a minimum of 50 square feet of private open space balcony area or as otherwise approved by the City Manager.

q. Trash Enclosures

The walls of all trash enclosure structures shall be constructed of solid masonry materials. Minimum wall height is 6 feet. Trash enclosures shall have decorative heavy gauge metal gates. All enclosures shall be located a minimum of 5 feet from any building or structure.

r. Storage

Each residential unit shall provide a secured storage area, which shall not be located within the dwelling unit. The storage area may be located in the patio or balcony area but shall not be included in the private open space calculation. If the storage area is located in a carport it shall not lessen square footage from the required parking area.

s. Street Trees

Refer to Chapter IV Section C for residential street tree requirements.

t. Slope Treatment

For perimeter slopes, the arrangement of plant materials should result in a landscape character, which emulates, in texture and general form, the appearance of the surrounding open space slopes. New slopes shall be planted with a variety of shrub masses and ground covers. Trees should be used in moderation and be concentrated predominantly toward the bottom of slopes, preserving views from elevated pads. Plant materials shall be selected from the Candidate Plant List, Table IV:1, appropriate to the zone in which the slopes fall. Transition plant materials shall be predominantly native materials as listed in the Zone One Plant List

u. Lighting

Refer to Chapter IV Section I, Lighting Standards for lighting requirements.

v. Real Estate Signs

One uplighted sign not larger than 6 square feet in area pertaining only to the sale, lease, or hire of only the particular building, property or premise upon which displayed is allowed. Additional sign regulations are described in Chapter IV:H Sign Program.

w. Animal Regulations

Refer to Section 20.415 of the Zoning Ordinance for animal regulations.

x. Recreational Vehicle Storage

The parking or storage of boats, trailers, recreational vehicles, or similar vehicles on streets or in areas visible from the street for purposes other than loading and unloading shall be prohibited.

y. Other

- 1) Enhanced architectural treatment to all rear elevations of residential structures, as viewed from San Elijo Road (unless screened from view) shall be demonstrated. If not sufficiently addressed in the San Elijo Road right-of-way landscape and improvement plans, landscaped setbacks, fencing and grading in the San Elijo Road Corridor shall implement all site design guidelines in the Specific Plan, and reflected in the right-of-way treatment.
- 2) Additional enhanced elevations may be identified by the Planning Manager during detailed review of the Site Development Plans for individual planning areas.

36. Planning Area W1 - Wildlife Preserve

a. Description

Planning Area W1 is a wildlife preserve which will remain a natural open space area. The 56-acre Planning Area is comprised of a site to the southwest of Planning Area A, a second site to the south of Planning Areas B1 and B2, and a third site to the south of Planning Areas D1 and D2.

b. Permitted Uses

Planning Area W1 shall be maintained in a natural state as a wildlife preserve. With the exception of existing utility easements, trails and other public improvements, no other land uses shall be allowed on the sites.

c. Open Space

Natural open space within the Planning Area shall be maintained by a Landscaping and Lighting District or as otherwise approved.

37. Planning Area W2- Wildlife Preserve

a. Description

Planning Area W2 is a wildlife preserve which will remain a natural open space area. The 76-acre site is located along both sides of Elfin Forest Road in the south-central area of San Elijo Hills. The San Diego Aqueduct passes through the area in a northwest-southeast direction. Planning Area W2 falls to the north and east of the former San Marcos Landfill. W2 was subject to eminent domain proceedings by the county, which required W2 as buffer property for the landfill.

b. Permitted Uses

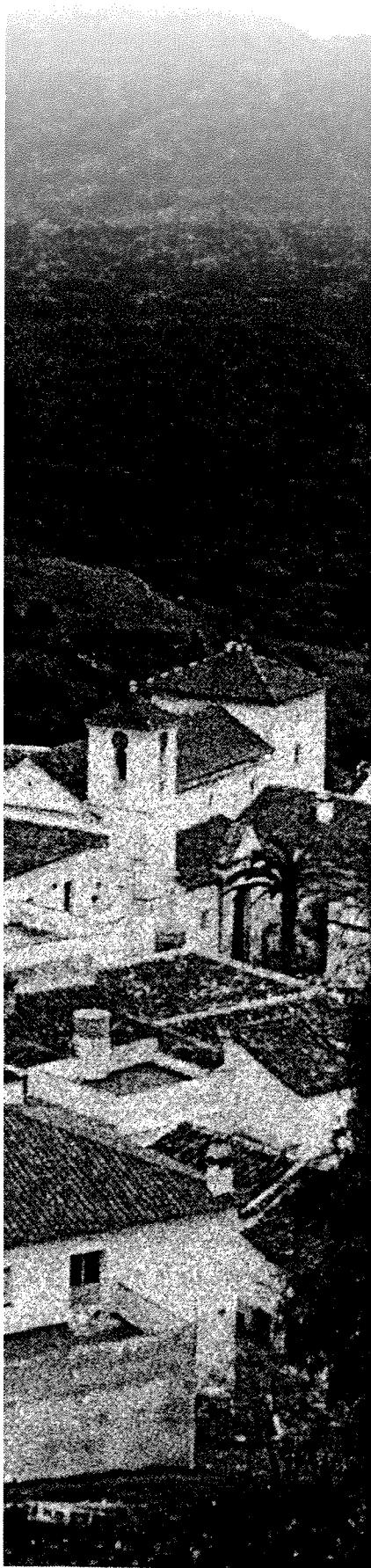
Planning Area W2 shall be maintained in a natural state as a wildlife preserve. With the exception of the existing utility easements minor public utility structures no other land uses shall be allowed on the site.

c. Open Space

Natural open space within the Planning Area shall be maintained by a Landscaping and Lighting District or as otherwise approved.

SECTION VI

Implementation



VI. IMPLEMENTATION

A. Introduction

Chapter VI establishes the development review process for San Elijo Hills. The scope of the project includes approval of a General Plan Amendment to the Questhaven/La Costa Meadows Community Plan and Barham/Discovery Community Plan, the San Elijo Hills Specific Plan Amendment ("Specific Plan Amendment") and the Subsequent Environmental Impact Report. Future processing will include a Master Tentative Subdivision Map, in addition to possible individual tentative subdivision maps and Development Plan Reviews.

B. Specific Plan Amendment

The Specific Plan Amendment consists of the Master Land Use Plan and this text. A description of the permitted uses, site development standards and special design criteria are provided in Chapters III and IV of the Specific Plan Amendment.

C. Tentative Subdivision Map/Lotting Plan

A San Elijo Hills Master Tentative Subdivision Map shall be submitted for review and approval after approval of this Specific Plan Amendment and prior to or concurrent with any Tentative Subdivision Map review. The Master Tentative Subdivision Map shall be reviewed for approval by the Planning Commission and City Council. The Planning Commission and City Council shall not approve the Master Tentative Subdivision Map unless they are able to make the finding that such map is in accordance with the development standards contained in this Specific Plan Amendment. Notwithstanding the above, Planning Area R optionally can proceed independently with its own, separate Tentative Subdivision Map.

D. Development Plan Review

The primary purpose of the Development Plan Review shall be to determine that individual Planning Areas are being developed in a manner that conforms with the goals and standards specified by this Specific Plan Amendment and to ensure compatibility with all appropriate City policies and ordinances.

Prior to issuance of residential, commercial or institutional building permits for any San Elijo Hills Planning Area, a Development Plan must be approved for such development.

A Development Plan Review Committee comprised of the Planning Manager, Building Official and City Engineer or their designee shall have the authority to approve, amend or deny development plans within the intent of Section 20.515 and criteria listed in Section 20.250 of the San Marcos Zoning Ordinance and the development standards of this Specific Plan Amendment. The Committee shall function in accordance with administrative regulations prepared by the Planning Department.

The Committee shall meet to review development plans within fifteen working days following submittal of all information required or requested. Decisions of the Committee may be appealed to the Planning Commission within 15 days of the Committee determination. The Planning Commission, within 40 days of reviewing said appeal, shall affirm, reverse, or modify the decision of the Development Plan Review Committee. The Planning Commission decision may be appealed to the City Council by following the same procedure set forth above for appeal to the Planning Commission.

E. Specific Plan Amendments

Approval of this Specific Plan Amendment signifies acceptance by the City of San Marcos of a general framework and specific development standards for San Elijo Hills. It is anticipated that certain modifications to the Specific Plan Amendment text and exhibits may be necessary during the life of the project. Any modifications to the Specific Plan Amendment shall occur in accordance with the amendment process described in this section. These amendments, should they occur, are divided into two categories. Administrative amendments allow for minor changes to the Specific Plan Amendment and may be approved by the Planning Manager. All other proposed changes are considered formal amendments and are required to be reviewed for approval by the Planning Commission and City Council. In all cases amendments must be found to be consistent with the goals and development standards of the San Elijo Hills Specific Plan Amendment.

1. Administrative Amendments

Upon determination by the Planning Manager, certain minor modifications to the Specific Plan Amendment text and/or graphics may not require formal amendments (i.e. through public hearing) to the Specific Plan Amendment as approved. The Planning Manager has the authority to approve modifications to the Specific Plan Amendment as follows

- a) Expansions or reductions of the geographic area covered by a given Planning Area.
- b) Realignment or modifications of internal streets serving the project, lot lines, easement locations and grading adjustments, if also approved by the City Engineer.
- c) Minor modifications to the Specific Plan Amendment as described in Section B of this chapter may be allowed providing such future amendments shall not increase the approved densities of the Specific Plan Amendment, nor permit a new use or group of uses not shown on the approved Specific Plan Amendment.
- d) Modification of design criteria such as paving treatments, architectural details and related criteria.
- e) Landscape treatments, fencing, lighting, trails, and entry treatments, provided the modifications are in substantial conformance with the purpose and intent of the specified design criteria.

Additional environmental review shall not be required for

administrative amendments to the Specific Plan Amendment, provided such changes are determined to be in accordance with the overall intent of the Specific Plan Amendment and do not represent (a) a substantial change in the project which would require major revisions to the previous EIR due to the involvement of new significant environmental effects, a substantial increase in the severity of previously identified significant effects, (b) a substantial change in the circumstances under which the project is being undertaken that will require major revisions in the previous EIR, or (c) new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence to the project, at the time the previous EIR was certified.

2. Formal Amendments

All Specific Plan Amendment modifications, which do not meet the criteria of an Administrative Amendment noted in this chapter, shall be deemed to require a Formal Amendment of the Specific Plan Amendment. These amendments shall be processed pursuant to Chapter 25.535 of the San Marcos Zoning Ordinance. All Formal Amendments shall be reviewed for approval by the Planning Commission and City Council.

The Specific Plan Amendment text and exhibits represent an integrated, well-balanced plan for development, which has been reviewed in great detail by the City's staff, Planning Commission and City Council. Any request for a Formal Amendment to the Specific Plan Amendment shall require serious consideration as it relates to the intent of the original Specific Plan Amendment. Therefore, it shall be the responsibility of the amendment applicant to demonstrate that:

- a) the proposed amendment meets the goals and objectives of the San Marcos General Plan and the Questhaven/La Costa Meadows Community Plan and the Barham/Discovery Community Plan; and
- b) any impacts to the Specific Plan Amendment resulting from the amendment can be satisfactorily addressed.

It shall also be the applicant's responsibility to update any Specific Plan Amendment studies and/or provide additional studies when determined necessary by the Planning Manager.



SECTION VII

General Plan Consistency

VII. CONSISTENCY OF THE SAN ELIJAHILLS SPECIFIC PLAN AMENDMENT WITH THE CITY OF SAN MARCOS GENERAL PLAN

The following is a discussion of the ways in which the San Elijo Hills Specific Plan Amendment ("Specific Plan Amendment") implements and/or is consistent with the applicable goals and policies of the City of San Marcos ("City") General Plan goals and policies. The omission of inapplicable General Plan goals or policies is marked by asterisks.^{11/}

GENERAL PLAN AS AMENDED

**SAN ELIJAHILLS
SPECIFIC PLAN AMENDMENT
CONSISTENCY DISCUSSION**

A. CITY-WIDE LAND USE ELEMENT

1. City Wide Land Use Policy Plan

GOAL 1: To influence and control the rate and distribution of growth within the City in a manner reflecting the needs and desires of its citizens and reinforcing the quality and stability of the community.

Objective A:

To direct future urban growth to undeveloped or underutilized lands within, or contiguous to, existing developed areas.

Policies: ***

2. Specific Land Use policies adopted for individual community planning areas shall be consistent with the City-wide Land Use Policy Plan.

The Specific Plan Amendment establishes an urban development with an overall density of only 1.75 dwelling units/acre (the "Project"). The Project will implement the community plans for Questhaven/La Costa Meadows and Barham/Discovery by developing regional infrastructure, housing, community serving improvements, educational facilities, recreation and associated uses while preserving open space. By extending infrastructure from adjacent developed areas to the north and west, the Project also will provide for the buildup of a large portion of the City's Redevelopment Project Area 3, which was formed to ensure regional infrastructure was extended as necessary and to help cure conditions of blight. All of this will occur in a sequential and orderly fashion based on the Guidelines established in the Specific Plan Amendment and implemented by the Project Conditions of Approval.

Objective B:

This City-wide land use objective of preserving the City's rural areas applies only

1. Certain General Plan goals, objectives, policies or criteria are included herein even though they do not apply to the Project, because the discussion helps clarify why such goal, objective, policy or criteria is inapplicable.

To define and retain the rural character of non-urban lands and limit urban uses within these areas.

Policies:

1. Urban areas shall be designated as those areas with the highest intensity of development and concentration of public services and facilities: rural areas shall be those areas with scattered low-density development, which lacks public services and facilities.
2. The City shall ensure preservation of the open space nature of its hills and ridgelines. In SPA-1, development shall proceed in accordance with the then-applicable Specific Plan Guidelines.
3. Transitional land use designations and densities shall be established as a buffer between urban and non-urban lands. In SPA-1, development will proceed in accordance with the then-applicable Specific Plan Guidelines.
4. Non-urban lands should be buffered from urban lands through the use of open space and/or open space corridors. In SPA-1, development will proceed in accordance with the then-applicable Specific Plan Guidelines.

to those communities within the City that are rural in nature, such as the Twin Oaks Valley community and portions of the Richland community. It does not apply to the Questhaven/La Costa Meadows and the Barham/Discovery Community Plan areas, where this Project is located, because those communities are not designated as rural. For example, the SPA-1 designation in the Questhaven/La Costa Meadows Community Plan calls for more than 2,000 dwelling units.

Likewise, the City-wide land use objective applies only to property located within the City's limits or its Sphere of Influence, thus does not address property in the area which is within the jurisdiction of the County of San Diego.

Even though as non-rural property the Project need not be consistent with Objective B or its policies, it nonetheless achieves the spirit behind the objective by carefully planning urban development to take the natural topography into account. For example, 1050 acres of the Project, or 52% of the Project site, will be permanently preserved as open space. As a result, as described in the Final Subsequent Environmental Impact Report ("SEIR"), the Project has an overall density of only 1.75 dwelling units/acre. In addition, enhanced landscaping within the residential areas will contribute to the open space nature of the City's hills and ridgelines. Moreover, the highest intensity of development and concentration of public services and facilities (circulation, school, active recreation, shopping) will be located along the infrastructure spine, which will serve the Project. The more topographically constrained areas of the Project will be developed at a lower intensity, or are left as open space.

The Specific Plan Amendment Guidelines incorporate buffers and transitional land use designations and densities, including a wildlife corridor along Elfin Forest Road and use of the natural topography to provide a separation of land uses where feasible. This provides a buffer and eases land use transition between the Project and City property on the eastern and northern

Objective C:

To promote coordination between agencies to ensure the adequate and timely provision of public services, facilities and amenities required by future growth within the City.

Policies:

- *** 2. Appropriately sized sites for public facilities should be identified and acquired or reserved in advance of need to ensure the proper placement and timely installation of such facilities.

boundaries of the Project, which is designated as rural residential

The Specific Plan Amendment is the vehicle by which the various agencies are working together to ensure that the public services, facilities and amenities required by the Project are provided on a timely basis. For example, the Project will pay fees which will be used for fire equipment, facilities and personnel and sheriff facilities, and will either annex into the existing community facilities district ("CFD") or form a new CFD for fire and police services. Timing of the fee payments and the annexation or formation of a CFD will be timed so that adequate fire protection will be available as the residential units are built out.

In addition, the Project provides a climate for economic growth, with a phasing plan that coordinates the provision of public facilities and services with the anticipated sequence and pattern of development. It is a lack of adequate road infrastructure that contributes to constraints on economic growth, since it is difficult under the current roadway system to access many of the City's businesses. Moreover, implementation of the Specific Plan Amendment will provide for the buildup of a large portion of the City's Redevelopment Project Area 3, which was formed to ensure regional infrastructure was extended as necessary and to help cure conditions of blight. Each Project development phase calls for public facilities and utilities to be provided at time of need. Many of these infrastructure improvements will not only serve the Project but will be regionally beneficial as well. For example, the roadways will serve residents and businesses throughout the community, and at least one water storage tank will serve not only the Project but also residents of the proposed University Commons development.

In addition to 39 onsite acres, which will be used for roads, a total of about 59 acres within the Project will be set aside for community services. Among the planned community services uses are three new school sites (2 elementary, 1 middle), a new fire station/sheriff's storefront substation site, up to five new water storage tanks, and water/sewer pump stations. The Project applicant also will extend properly sized

water lines, sewer lines, electrical lines and other infrastructure needed to service the Project. Timely provision of community services will be coordinated with the various service providers in concert with the needs of the community.

Goal 2: To achieve balance and compatibility between land uses to assure the maximum social and economic benefit to the City and its citizens.

Objective A:

To encourage a full range of housing types to meet the needs of all ethnic, age and economic segments of the community.

Policies:

1. Medium and high density residential development shall be concentrated adjacent to high intensity uses as a means of buffering such uses from low density residential development.
2. The City shall encourage flexibility and innovation in the design of subdivision, mobile home parks, and housing types (i.e.: zero lot line development, patio homes).
3. ***
4. The City shall encourage a mix of housing types and densities within planned residential developments.
5. Residential areas shall be buffered from more intense land uses by employing any or all of the following site design techniques: landscaping, open space areas, back-up lot treatment, and/or separation by major streets.
6. The use of back-up lots, loop streets and cul-de-sacs in subdivision and mobile home park design shall be encouraged to avoid fronting residential units on major streets.

Objective B:

To prevent or reverse the physical decline or deterioration of developments within the City.

The Specific Plan Amendment includes a full range of housing types, which enable the Project to meet the needs of a wide segment of the community, offering low-income multifamily units, single-family attached and detached units, and custom estate-lot homes. In addition to a wide range of housing types and lot sizes, the Specific Plan Amendment Guidelines promote flexibility and "state of the art" design, including patio homes and zero-lot line development. In addition, housing is sited so that Cluster/Attached and Multi-Family Residential homes are located along arterial highways, adjacent to and within the commercial site (Town Center), thus implementing the policy of concentrating medium and high-density residential development adjacent to high intensity uses as a means of buffering such uses from low density residential.

Residential areas also will be buffered from more intense land uses by means of site design techniques outlined in the Specific Plan Amendment Guidelines and implemented pursuant to the Project Conditions of Approval. These techniques include landscaping, graded slopes and edge treatments, which will provide adequate separation between planning areas, and extensive open space to buffer on-site uses. Loop streets, back-up lots and cul-de-sacs also will be used throughout the Project to avoid fronting residential units on major streets, except within Town Center where it is desirable to front the residential units on San Elijo and Elfin Forest roads.

Since there is no development on the Project site, no physical decline or deterioration has occurred. The Project will implement CC&Rs to prevent such decline and deterioration in the future as well. The Project Conditions of

Policies:

1. The City shall require the provision of adequate levels of service to future development: wherever warranted, improvements to existing levels of service shall be encouraged in conjunction with development.

Approval, Site Plan approvals, Specific Plan Amendment Guidelines, and Mitigation Monitoring and Reporting Program, along with the Development Agreement, will provide the framework by which the City will ensure that adequate services will be provided in conjunction with Project development.

The Specific Plan Amendment's phasing plan coordinates the provision of public facilities and services associated with the Project with the anticipated sequence and pattern of Project development. Public facilities and utilities would be available at the time of need for each phase of the Project.

About 59 acres in the Project site are set aside for community services, including three new school sites (2 elementary, 1 middle), a new fire station/sheriff's storefront substation site, up to five new water storage tanks, and water/sewer pump stations. The applicant also will extend properly sized water lines, sewer lines, electrical lines and other infrastructure needed to service the Project. The Project's timely provision of community services will be coordinated with the various service providers in concert with the needs of the community.

Development of the Project's commercial area, located within and adjacent to the roadway couplet formed at the convergence of San Elijo and Elfin Forest roads, will be guided by Chapters III and IV of the Specific Plan Amendment. Those chapters, together with the Project Conditions of Approval, require a clustered, master planned development with integrated architectural and development standards and landscaping treatments, and appropriate visual screening. Piecemeal and/or strip center commercial development is prohibited. The landscaping will be distributed throughout the commercial center/town center, breaking up the visual impact of parking lots.

Objective C:

To encourage a climate for economic growth and stability which will attract high quality business and industrial development to promote employment opportunities.

Policies:

2. Commercial and office uses shall be clustered into centers or master planned unit development. Strip commercial development shall be discouraged within the City.
3. Commercial and industrial developments shall be buffered from adjacent streets by means of landscaped setbacks, solid fencing and overall site design.
4. Trees, shrubs, ground cover and landscaped berms shall be distributed

The San Elijo Town Center will provide commercial opportunities for the community in an area now lacking in retail outlets, and will implement the policy of locating retail commercial within an area designated commercial. The opportunities for the commercial center will be enhanced by the

throughout commercial and industrial developments, especially along street frontages, to break up the visual impact of parking lots and other hardscape areas.

5. Loading docks, mechanical units, trash collection and storage areas shall be completely concealed from view through site placement and the use of screening materials and/or architectural features.

10. Retail commercial uses should be prohibited from industrial areas of the City and encouraged to locate within areas designated commercial and commercial manufacturing.

Objective D:

To encourage a wide diversity of parks, open space, recreational and civic facilities to meet the needs of all segments of the population.

Policies:

1. A parks and recreation system shall be established to serve a population with varied characteristics, needs and interests.
2. Major open space elements shall be combined and linked to form visual and physical separation between major sectors of urbanized areas, relieving the monotony of continuous urban development, and buffering such development from non-urban areas.

4. Future urban development shall be prohibited from designated open space areas.
5. Parks and recreation uses shall be located and designed to protect and enhance the surrounding environment.
6. The City's bicycle route program should be maintained and expanded where appropriate. Wherever warranted, new

fact that the applicant will work to ensure an appropriate tenant mix within the Town Center, encouraging businesses which complement one another.

Project implementation also should stimulate economic growth, which requires housing for employees. By providing everything from low-income to estate-lot homes, the Project will create housing opportunities for potential workers for the nearby Industrial Park and other employment centers.

A wide range of park, open space and on-site/off-site trail opportunities are incorporated into the Specific Plan Amendment's Land Use Plan, which will preserve habitat and ridgelines and relieve the monotony of continuous development while buffering urban development areas and linking on-site and off-site development clusters.

Besides providing natural open space and enhanced landscaping within residential areas, the Project also includes five planning areas, which are exclusively devoted to open space, encompassing a total of more than 50% of the total Project site. Chapters III and IV of the Specific Plan Amendment describe the open space program. That program will preserve natural canyons, hillsides, utility corridors, wildlife areas, parks, private Project-related recreational opportunities, trails, and landscaped parkways throughout the community. The designated open space will be maintained via a master association landscape maintenance district and/or annexation to the Lighting and Landscaping District. This open space also will establish part of the City's Biological Resource Management Plan ("BRMP"). The BRMP is part of the regionally significant Native Communities Conservation Plan ("NCCP"), which will link to similar programs to connect biologically significant habitat throughout the county.

development shall provide for such routes and facilities.

7. Pedestrian routes shall be provided in conjunction with new residential development to foster the pleasant and safe movement of people throughout the City.

9. New residential development shall provide for lineal open space areas linking major open space elements and individual neighborhoods.

The southerly 132-acre wildlife corridor preserve on the Project will combine with an adjacent off-site designated corridor directly to the west and south to form a significant, uninterrupted regional linkage. In addition, the 239 -acre recreational use area, which includes a regional park located near Double Peak and Cerro de las Posas as well as open space in Planning Areas Q and L, will appear as a large open space reserve from most San Marcos viewpoints to the north and west of the Project. The park will connect to a major multi-use trail near the ridgeline and will be linked to the wider city/regional trail network. This will implement the City Master Parks and Master Trail Plans, as amended. The open space system thus will act as an aesthetic amenity to the community, providing active and passive recreational opportunities, and connecting habitat and wildlife corridors.

Goal 3: To ensure the maintenance and enhancement of the Community environment through preservation of the City's unique natural and cultural resources for the future benefit and enjoyment of its citizens.

Objective A:

To protect and enhance natural and cultural resources and promote recreational opportunities.

Policies:

1. The City shall identify and aid in the implementation of appropriate measures to ensure preservation of the community's unique cultural resources.

3. The City should develop and adopt preservation programs, which govern and guide property development and conservation of environmentally sensitive habitats, i.e.: vernal pools.

4. Planned Residential Development shall be located within or adjacent to

environmentally sensitive areas, due to the high ratio of open space to developed area required of such developments. Open space shall coincide with areas exhibiting the highest degree of

The Specific Plan Amendment, the Project Conditions of Approval and the Mitigation Monitoring and Reporting Program will ensure preservation and/or proper salvage and cataloging of any significant cultural resources found on the Project site. Those documents also will guide development of the Project in a way, which will conserve sensitive habitat, preserving biological resources, wildlife areas and visually sensitive landforms.

Development will occur only when authorized, using grading and landscaping Guidelines imposed by the Specific Plan Amendment and Conditions of Approval which are designed to provide for erosion control and provide screening to prevent significant impacts to visual quality which otherwise might result from slope construction. Grading standards also will serve to reduce total grading, reduce the height of slopes and preserve existing habitat. Native rock riprap will be used in drainage areas.

The Project's Specific Plan Amendment and its Guidelines function like a Planned Residential Development ("PRD"), but on a

environmental sensitivity. In SPA-1, open space shall be guided by the then-applicable Specific Plan Guidelines.

7. The unnecessary stripping of natural vegetation and removal of mature trees in conjunction with development shall be prohibited.
8. Pad areas shall be graded using curvilinear contours rather than typical rectilinear contours, to preserve the natural grade of the lands. In SPA-1, grading shall be guided by the then-applicable Specific Plan Guidelines.
9. Plant materials of varying type, form and density shall be used to obscure and preserve graded slope banks.
10. Native rocks shall be used to naturalize man-made drainage and berm ditches on graded slopes. In SPA-1, grading shall be guided by the then-applicable Specific Plan Guidelines.
11. Streets within hillside areas shall be designed to follow the natural topography of such areas to create undulating slope banks, preserving visual relief, and to minimize the number and size of cut/fill slopes. In SPA-1, grading shall be guided by the then-applicable Specific Plan Guidelines.

Objective B:

To promote the conservation of air, water and energy resources.

Policies:

3. Low water usage and drought resistant vegetation shall be used within open spaces, parks and landscaped buffer areas for both public and private development.

larger scale. Like a PRD, a Specific Plan allows for more creative and imaginative project designs and increased open space. While the City Municipal Code requires that a PRD devote 40% of its property to open space, the Project exceeds that requirement, leaving more than 50% of the total Project site as open space. This open space also establishes part of the City's BRMP. The BRMP is part of the regionally significant NCCP, which is designed to link to similar programs and connect biologically significant habitat throughout the county. The southerly 132-acre wildlife corridor preserve will be combined with an adjacent off-site designated corridor directly to the west and south to form significant, uninterrupted regional linkages.

The Project's Mitigation Monitoring and Reporting Program, along with the Project Conditions of Approval, are designed to minimize any otherwise significant air or water quality impacts. These mitigation measures include a requirement to spray water on all dirt stockpile areas daily or as needed; to stabilize all disturbed soil areas not subject to revegetation using approved chemical soil binders, jute netting or other appropriate methods; to complete paving of all permanent roadways at the earliest feasible time; and to abide by all Conditions of Approval for dust control required by the San Diego County Air Pollution Control District permit, if any.

In addition, the applicant will coordinate with appropriate agencies to reduce vehicle emissions by providing for transportation improvements to minimize idling times. For example, by completing the Twin Oaks Valley extension, the Project will provide the region with a more efficient roadway, which will enable vehicles to reach their destination more quickly and directly and thereby reduce air emissions. The Project will also promote conservation of air quality by encouraging ride share opportunities, and providing walking trail and bike route connections to areas where regional transit services are located. The Project's extensive trail system will enable more people to bicycle or walk to their destination, again reducing air emissions.

In an effort to conserve water resources, if determined necessary by detailed hydrological investigation on final grading plan, permanent detention and/or desiltation basins will be installed to control water quality. In addition, grading and improvement plans completed for the final subdivision map in the Project area will include drainage facilities based on hydrological studies and engineered in accordance with the City's design standards; discharge velocity from each drainage basin will be reduced to decrease the amount of transported material; and energy dissipators will be provided at all drainage discharge points to reduce discharge to nonerosive levels (i.e., 6 feet per second). Moreover, drought-tolerant and native planting will be used extensively throughout, and the residences will use low-flow toilets and similar energy-saving amenities.

2.0 Questhaven/La Costa Meadows Community Plan

A Community Plan within a General Plan: (1) applies to a geographic portion of the City; (2) includes or references all the mandatory elements of a general plan; and (3) contains specific development policies and measures to implement those policies. Cal. Pub. Res. Code § 21083.3. The majority of the Specific Plan Area is located within the Questhaven/La Costa Meadows Community Plan area; the extreme northern portion of the Project, including Planning Area R and the northern portion of Planning Area L, is located within the Barham/Discovery Community Plan area.

2.4 Goal and Policies

2.4.1 LAND USE

Goal 1: To limit and control the distribution, location and type of growth within the Questhaven/La Costa Meadows Community in order to balance development with the natural resources and preserve the visual quality of the community while providing a mix of residential, commercial, solid waste management and light industrial uses.

Policies A:

4. The Questhaven/La Costa Meadows Community shall consist of residential and industrial developments in conjunction with open space, limited agricultural activities and solid waste management, and commercial uses.
5. Residential, solid waste management, commercial, and light manufacturing uses shall occur in those areas designated for each respective land use on the Questhaven/ La Costa Meadows Land Use Map.
6. Residential development shall be within the density range shown for that area on the Land Use Map. The resultant yield within this range is dependent upon the actual physical constraints and natural resources of the area.
7. Development in the Specific Plan Areas shall emphasize the preservation of the visual qualities and biological resources of the Questhaven/La Costa Meadows Area including ridgelines and hillsides.
8. Development in the Specific Plan Area – Limited Use ("SPA-Limited Use") shall be designed to avoid the siting of incompatible uses in areas adjacent to the Solid Waste Management Area.

The Specific Plan Amendment's comprehensive Land Use Plan, implemented via the site plans and tentative map(s) and subject to Project Conditions of Approval and the Mitigation Monitoring and Reporting Program, require that the Project sensitively blend high-quality development with the natural environment, while preserving the visual integrity of the site. Created with consideration for adjacent residential, vacant and solid waste management uses, the Land Use Plan will:

1. maintain more than 50% of the Project site in open space;
2. cluster urban development in less constrained or sensitive areas;
3. preserve sensitive habitat consistent with the City's proposed BRMP;
4. preserve primary ridgeline features;
5. mix residential, commercial, school, recreational, and public uses; and
6. provide affordable housing and a variety of other housing opportunities.

Project development would progress in five consecutive phases, generally starting near the southwestern edge of the property and building eastward over an 8- to 15-year buildout period. Infrastructure and road extensions would be phased concurrent with need and as required by the Conditions of Approval.

The Solid Waste Management Area designation allows for solid waste-related

uses specific to the (now closed) San Marcos landfill site. Planning Area W2 is located within the area adjacent to the Solid Waste Management Area and is designated as open space and therefore is compatible with the Solid Waste Management Area designation.

Goal 2: To provide for the development of a variety of housing types and densities consistent with the areas natural character which minimizes landform alteration.

Policies A:

1. Specific plans for the SPA-Planned Community areas shall provide a distinct, identifiable open space element/corridor through the primary ridgeline in the SPA and through the San Marcos Creek Watershed and flood plain.
2. Development in areas with slopes in excess of fifteen percent (15%) or hillside areas within SPAs shall be limited to equestrian estates, hillside estates, and detached single-family residences on half-acre lots, except that in SPA-1, development in such areas shall be guided by the provisions of the then-applicable Specific Plan.

Chapter IV of the Specific Plan Amendment includes Guidelines, which state that the Project's varied housing types and densities will be designed to take advantage of the site's natural characteristics.

For example, except for the grading necessary for San Elijo/Twin Oaks Valley Road and Planning Area S, the Project will preserve the features of the primary ridgeline. The Cerro de Las Posas-Double Peak ridgeline will be restricted from residential development, and visibility from the SR-78 corridor will be minimized by application of strict development Guidelines. Those Guidelines, along with the Project Conditions of Approval, require one-story height restrictions, low-profile rooflines, earthtone color schemes and similar measures for homes north of San Elijo Road in Planning Area S. Further, traditional pad grading of estate lots in Planning Areas O and T shall occur only when necessary to construct the serving streets and utilities, resulting in only minimal custom grading for each home site. Strict CC&Rs and architectural Guidelines will be developed for each lot in Planning Areas O and T to ensure disturbance is kept to a minimum and grading is sensitive and appropriate.

To the extent feasible, development of the upper hillside areas, which include any planning area situated upon the upper elevations of the Cerro de Las Posas - Double Peak ridgeline, has been designed and clustered into those areas where disturbance can be minimized. Grading in such areas shall be done in a way, which will preserve or mimic the natural profile of the landform, and minimize abrupt changes in grade.

Moreover, development clusters throughout the Project have been designed to preserve or mimic significant landform features, to

provide for the terracing of lots and to preserve significant outcroppings, which are visible to offsite viewers.

2.4.2 PUBLIC SERVICES & FACILITIES

Goal 1: To ensure that adequate public services and facilities are installed to serve both the needs of the City and region in conjunction with the development of the community.

Policies A:

1. Water and sewage services shall be provided within the plan area concurrent with need.
2. Growth in accordance with the General Plan shall be accommodated without placement of an additional financial burden on the existing taxpayers of the City.
3. The establishment of infrastructure shall be phased to accommodate growth.
4. The Open Space corridor shall include equestrian, bicycle and pedestrian trails connecting the Questhaven/La Costa Meadow Community to the proposed California State University San Marcos campus and other planned communities.

Water and sewer services shall be provided within the project concurrent with need. The Project will realign the existing 30-inch water main, and will install sewer lines in the realigned Questhaven (San Elijo) Road. Additionally, it will install transmission mains and pressure zone interties to ensure that there is an adequate secondary water source, and will provide reservoir storage. Moreover, onsite water facilities will be sized to accommodate domestic demands and fire protection requirements.

The Project also will be annexed into Sewer Improvement Districts 1, 2 and 6, as necessary, and will construct sewer facilities, including pump stations and mains and fees, and proposed sewer lines from the Meadowlark facility to the Project, to coincide with need. If existing treatment facilities reach capacity prior to implementation of any Project phase, the applicant will be responsible for funding a proportionate share of facility expansion, with that share to be negotiated with the Vallecitos Water District. Before the master tentative map is approved, the applicant will submit written certification from any affected water district which states that water and sewer facilities capable of accommodating the Project will be available and provided prior to occupancy of each of the Project's phases.

Unless a finding of a special benefit is determined, the existing City taxpayers are not expected to receive any additional financial burden as a result of this Project. Infrastructure and facilities necessary to serve the Project will be financed by the financing mechanisms set forth in the Development Agreement, or provided through the payment of mitigation fees. In addition, redevelopment increment generated by the Project will contribute to funding of the improvements.

The Project's Specific Plan Amendment, Conditions of Approval and Mitigation

Monitoring and Reporting Program require phasing in a way, which ensures that the facilities necessitated, by the Project will be built concurrent with need.

The Project's primary ridgeline, open space corridor and multi-use trail system, described in Chapter III of the Specific Plan Amendment, will link to other trail segments offsite.

The Project Conditions of Approval and Mitigation Monitoring and Reporting Program are designed to ensure that school facilities will be available to serve the needs of the Questhaven/La Costa Meadows Community. In cooperation with the San Marcos Unified School District, three school sites (2 elementary, 1 middle) have been designated on the Project site, and the Project will enter into a mutually acceptable mitigation agreement with the School District, which will result in written certification that adequate school facilities are or will be capable of accommodating students generated by the Project.

Fire and police services and facilities will be provided commensurate with phased Project development, and phased roadway improvements will reduce police and fire response times in the Project area. The Project will contribute the funding necessary to construct and equip new fire facilities to serve the Project area, and police protection will be provided by the County Sheriff via the existing San Marcos Station, and a site for a Sheriff's Office is proposed onsite. The Project will either annex into the existing fire and police CFD, or will form a new CFD for such services. Timing of the fee payments and the annexation or formation of the CFD will be timed so that adequate fire protection will be available as the residential units are built out. In addition, all building structures and engineering requirements will conform to the Uniform Building Code, the Uniform Fire Code and City requirements for the use of Class A roof coverings in all dwelling units.

Emergency water storage also will be provided to serve the region as well as the Project, in accordance with the public facilities plan for the Questhaven/La Costa Meadows Community.

2.4.3 CIRCULATION

Goal 1: To provide a balanced transportation system serving the needs of those persons residing and doing business within the community.

Policies A:

1. The City shall provide a roadway network, which is designed to service the needs of the community as a coordinated unit of the City's circulation system.

The Specific Plan Amendment's Circulation Plan integrates Project circulation with the surrounding area consistent with the General Plan, providing for a balanced vehicular and pedestrian transportation system. San Elijo Road from Twin Oaks Valley Road to Rancho Santa Fe Road, a regional link between Rancho Santa Fe Road and SR-78, will be improved as a part of this Project. In addition, the Specific Plan Amendment provides for an extensive trail network for biking, hiking and riding. As set forth in the Project Conditions of Approval as well as in the Mitigation Monitoring and Reporting Program, the conditions imposed on the Project will mitigate the cumulative effects of growth on the circulation system and will implement the relevant portions of the City's Circulation Element.

2.4.4 ENVIRONMENTAL

Goal 1: To preserve the Questhaven/La Costa Meadows Community's natural and rural environment as well as its unique resources.

Policies A:

1. Sensitive biological habitats shall be preserved by setting aside appropriate acreage for conservation.
2. Conservation and preservation programs, including biological reserves for identified sensitive habitats shall govern and guide property development.
3. Open space areas shall coincide with areas exhibiting the highest degree of environmental sensitivity. In SPA-1, this policy shall be implemented to the extent feasible, in conformance with the then-applicable Specific Plan Guidelines.
4. New development shall preserve and set aside identified, native Southern California grassland habitat as a biological reserve. In SPA-1, this policy shall be implemented to the extent feasible, in conformance with the then-applicable Specific Plan Guidelines.

The Specific Plan Amendment Guidelines, Project Conditions of Approval and Mitigation Monitoring and Reporting Program require that the Project be developed in a way, which will preserve landforms and provide abundant open space and a pedestrian/equestrian trails systems and park facilities consistent with this goal and these policies. For example, the Project will preserve the features of the peak areas of the Cerro de las Posas/Double Peak/Frank's Peak ridgeline. The highest part of the ridge will be preserved to viewers from the SR-78 corridor, with only lower-ridgeline, saddle areas developed as residential with restrictions. Within SPA-1, limited grading shall be allowed subject to City Council approval for recreation facilities, public facilities, or residential development, provided such development will have minimal impact to the visual quality of the primary ridgelines. All grading in primary ridgeline areas shall be subject to detailed visual simulations, and application of Specific Plan land use and grading guidelines during future

5. The SPA-Planned Community areas shall preserve primary and secondary ridgelines. In SPA-1, however, the primary and secondary ridgelines shall be preserved to the extent feasible, based upon detailed visual simulations, and application of the then-applicable Specific Plan Guidelines.
6. Conservation and preservation programs, including biological reserves for identified sensitive habitats, shall govern and guide property development specifically taking into account the environmental impact report with its latest addendums and modifications.

review of detailed tentative maps and site plans.

The Project will include estate homes in the upper hillside areas (Planning Areas O and T), with most of the higher-density residential in the lower, flatter portions of the site, near San Elijo Road.

The City will review building plans for Planning Area S to confirm that visibility of structures or roof peaks is minimized from the north on SR-78, and that facades of structures are angled at varying degrees to follow the natural topography. Lots in Planning Area S north of San Elijo Road will be restricted to single-story homes of no more than 25 feet in height, and building materials, rooftop treatments, textures, and scale must be compatible with adjacent native vegetation on the surrounding slopes and earthtones and nonreflective/nonglare surfaces must be used.

More than half of the Project site will be left as open space, and an open space corridor will run through the primary ridgeline and link, by means of open space and/or pedestrian, equestrian or bicycle trails, South Lake Reservoir with San Marcos Creek Watershed and flood plain within the La Costa Meadows Industrial Park.

The Specific Plan Amendment's Trails component identifies connections to the primary ridgeline and community parks and other open space features, including pedestrian, bicycle and equestrian trails. Project densities are clustered to help preserve open space, helping make the overall density of the Project a low 1.75 dwelling units per acre.

Sensitive regional biological habitat and wildlife corridors have been preserved within the Project. Future regional park or active recreational improvements in Planning Area Q will be reviewed for visibility from SR-78. Landscaping within Planning Area Q shall be restricted to low-lying native species that blend with the existing chaparral habitat in open space. Structures shall be single-story and designed to minimize grading disturbance. A detailed visual analysis will be performed to demonstrate that visual impacts have been minimized.

2.4.5 VISUAL RESOURCES

Goal 1: Preserve the ridgeline's visual qualities.

Policies A:

1. All development shall be restricted from primary and secondary ridgelines. In SPA-1, however, the primary and secondary ridgelines shall be preserved to the extent feasible, based upon detailed visual simulations, and application of the then-applicable Specific Plan Guidelines.

The Specific Plan Amendment preserves the features of the primary ridgeline as viewed from SR-78 to the extent feasible, and preserves the peak areas of the Cerro de las Posas/Double Peak ridgeline. In addition, it leaves more than half of the Project site as open space. Public recreation areas will be built in the regional park, which will make up most of the ridgeline areas. In the saddle area east of Double Peak, grading will be necessary for the construction of San Elijo Road. Homes with height restrictions are planned north of San Elijo Road in Planning Area S. The Project also creates an open space corridor, which runs through the primary ridgeline and links, by means of open space, and/or pedestrian, equestrian or bicycle trails, South Lake Reservoir with San Marcos Creek Watershed and flood plain within the La Costa Meadows Industrial Park.

2.5 DEVELOPMENT STANDARDS/CRITERIA

2.5.1 STANDARDS

2.5.1.1 Residential

SPA-Planned Community: The SPA-Planned Community areas are intended for very low to medium density residential and support uses, except that in SPA-1 residential density may range from very low to up to 27 dwelling units per acre with additional local services, commercial, institutional, and community services uses. An adopted specific plan would be required prior to development of the SPA areas. The City of San Marcos has design review over all project proposals. The specific plan would allow for clustering of units to minimize grading and retain natural landform configurations.

SPA-Limited Use: The SPA-Limited Use includes property adjacent to the Solid Waste Management Area, which may be subject to noise, visual, or odor impacts from the operation of facilities in the Solid Waste Management Area. The uses, which may be permitted in the SPA-Limited use area, are: open space, agricultural, recreation and low

The Specific Plan Amendment for the Project will be adopted prior to any development. That Land Use Plan clusters residential development in areas away from natural resources and steep slopes, in order to retain the primary ridgeline and minimize grading. The overall density Project-wide is a low 1.75 dwelling units per acre, well within the 27 dwelling units per acre set forth in the SPA-Planned Community criteria.

The Specific Plan Amendment designates the property adjacent to the Solid Waste Management Zone as permanent open space/wildlife corridor.

density (one dwelling unit per eight acres) residential.

2.5.2 COMMUNITY DEVELOPMENT CRITERIA

The goal of the Community Design section for the Questhaven/La Costa Meadows Community Plan is to encourage high quality design and spatial organization throughout the community. The section intends to draw together and make more specific the Plan's goals and policies. The result is a set of development standards, which require high quality design within all public and private developments, spatial organization, and reinforcement of City and Community identity through the preservation of existing landforms and biological resources and biological resources.

2.5.2.1 Community Identity/Signage/Street Furniture

- a. Preserve landforms and other resources that provide continuity with San Marcos' past. Preserve notable landmarks and areas of historical, cultural, or aesthetic value.
- b. To provide guidelines for aesthetically pleasing street design in which building frontages, landscaping, signing, street furniture, and street lighting promote the individual area character.
- c. Signage identifying entrance into Questhaven/La Costa Meadows Community shall be located at the primary entry nodes.
- d. To provide for drought tolerant, low maintenance landscaping of streets and open spaces.
- e. To encourage quality architectural design and construction of residential units throughout the Questhaven/La Costa Meadows Community.
- f. The developers shall incorporate design standards, workmanship, and materials, which are directed toward conservation of energy and water.

If possible, the existing old hacienda at the top of Double Peak will be preserved. The primary ridgeline feature will be maintained. All other notable landmarks of historical, cultural or aesthetic value, if any, will be preserved or mitigated per the Mitigation Monitoring and Reporting Program.

Chapter IV of the Specific Plan Amendment provides guidelines for architecture, landscaping, roadway lighting standards, parking lots, recreational areas, and structures. Those guidelines require enhanced architectural treatments in the most visible areas of the Project, and promote state-of-the-art design, materials and architectural treatment throughout. Chapter IV also includes a signage program, which requires that community identification signage be aesthetically incorporated into walls and structures throughout the Project.

Chapters IV and V of the Specific Plan Amendment also include a landscape plan and associated plant palette which calls for drought-tolerant native or naturalized species to be predominant in the Ridgeline Zone, which includes the Project's open space. Drought-tolerant plant species also will be used in the Project's landscaped areas, and energy saving elements, such as low-flow toilets, will be incorporated into the housing designs.

2.5.2.2 Pedestrian, Equestrian, and Bicycle Circulation System

- a. The Plan proposes a distinct, identifiable open space corridor through the entire ridgeline. Said open space corridor, through a network of pedestrian, bicycle, and equestrian trails, shall connect the California State University San Marcos campus (Twin Oaks Valley Road), South

The Project will have a major, identifiable open space corridor, integrated with the Regional Park, extending through the entire ridgeline. Planning Area S will be constructed in the saddle area, which is not considered part of the ridgeline. The extensive Project trails component, which includes pedestrian,

Lake Reservoir, and the San Marcos Creek Watershed and flood plain within the La Costa Meadows Industrial Park (Rancho Santa Fe Road). The system would connect the Twin Oaks Valley Road and Rancho Santa Fe Road.

- b. Where feasible, the proposed pedestrian/bicycle paths shall be physically separated from vehicular flows.
- c. Pedestrian/bicycle/equestrian circulation system shall be designed to be consistent with the City-wide pedestrian/bicycle system.

2.5.2.3 Parks

- a. Drought-resistant vegetation shall be used in open spaces, parks, and landscaped buffer areas for both public and private development.

- b. Intensive recreational areas, such as playgrounds, shall be situated away from adjacent residential uses.

bicycle and equestrian trails, has been designed to become an integral part of the San Marcos regional trail system. It also is designed to separate pedestrian/bicycle paths from vehicular flows throughout the Project. As a result, it implements the City's Master Parks and Master Trails Plans, as amended.

The Landscape Architecture and Open Space sections of Chapter IV of the Specific Plan Amendment describe the Project's landscape development plan. As set forth in that plan, the Project will use drought-resistant vegetation in its open spaces, parks and landscaped buffer areas.

The intensive recreational areas of the Project, including the neighborhood park to be located adjacent to San Elijo and Elfin Forest roads, will be buffered from adjacent residential uses.

2.5.2.4. Commercial

- a. Commercial development shall be sensitive to the natural features of the area. In SPA-1, commercial center proposals shall be designed in accordance with the then-applicable Specific Plan Amendment Guidelines; in other areas, such commercial centers shall be terraced following the existing topography.
- b. Commercial development shall have a minimum landscaped setback as established by City standards from the ultimate property line on all street frontages. Street frontage setbacks shall be landscaped with undulating landscaped berthing. In SPA-1, landscaping shall be governed by the then-applicable Specific Plan Amendment Guidelines.
- c. Trees, shrubs, ground cover and/or landscape berms shall be distributed throughout the commercial developments, especially along street frontages, to break up the visual impact of parking lots and other landscape areas. Parking areas fronting any street shall be heavily screened using a combination of mounding and dense plant species. Additional landscaping shall be provided to shade parking lots. In SPA-1, parking areas shall be located as described in the then-applicable Specific Plan Amendment Guidelines; elsewhere, such parking areas shall be located to the side or at the rear of commercial centers.
- d. Service areas, mechanical units, trash collection and storage areas shall be completely concealed from view through site placement and the use of screening materials and/or architectural features.
- e. The City shall exercise design control over commercial development in such areas as site layout, building facades, signage, and landscaping. In SPA-1 areas of sloping terrain, commercial development grading shall be governed by the then-applicable Specific Plan Amendment Guidelines; outside of SPA-1, in areas of sloping terrain commercial development shall use split-

The San Elijo Hills Town Center has been designed in accordance with the Specific Plan Amendment. Grading for the Town Center will conform with the most current version of the Specific Plan Amendment, with standards for setbacks, separations and landscaping which are consistent with the relevant criteria.

The Town Center will provide street trees and landscaping consistent with the Landscape Master Plan and Development Guidelines in Chapters IV and V of the Specific Plan Amendment. Any dock areas, trash collection areas and parking will be screened. The buildings in the Town Center will have complementary architectural styles, and their architectural style and scale will be compatible with the surrounding residential uses in adjoining Planning Areas.

level pads, which minimize the landform modification.

- f. Harmonious architectural themes shall be utilized throughout commercial center(s).
- g. Commercial center(s) shall be buffered from adjacent residential development by means of landscaped set-backs, solid fencing and/or overall site design.

2.5.2.6 Residential Areas

a. Site Planning

- (1) Multi-family residential development shall comply with the Design Manual for Multi-family development. In SPA-1, multi-family site planning shall be governed by the then-applicable Specific Plan Amendment Guidelines.
- (2) Multi-family residential development design shall be compatible with the single-family character of the Questhaven/La Costa Meadows Community. In SPA-1, multi-family site planning shall be governed by the then-applicable Specific Plan Amendment Guidelines.
- (3) Clustered multi-family residential development design shall allow for ample space between buildings so as not to create the impression of an "overwhelming density."

b. Building Design

- (1) Building facades, and roof heights, shall be varied to break up building mass and avoid monotonous development.
- (2) The architectural styles of individual buildings and adjacent enclosures and fencing should be compatible.
- (3) Long uninterrupted exterior walls shall be avoided on all structures. All structured walls shall have relief to create an interesting blend with landscaping, buildings and the casting of shadows. The integration of varied texture, relief, and design

The Specific Plan Amendment's architectural Guidelines and aesthetic criteria for multi-family residential development provide for a well-planned multi-family development and for design and building materials which are compatible with the single-family character of Questhaven/La Costa Meadows Community Plan. The Project's multi-family residential development design, which will be implemented at the time of site plan review, requires that clustered, multi-family residential within the Project allow ample space between buildings, to avoid an impression of "overwhelming density."

The Specific Plan Amendment's Land Use Plan implements the building design criteria by providing that (i) building facades and roof heights will be varied to break up building mass and prevent the development from becoming monotonous; (ii) the buildings' architectural style will be compatible with adjacent enclosures and fencing, if any; and (iii) long, uninterrupted exterior walls will be avoided. The Specific Plan Amendment's site planning and grading guidelines for Planning Areas O and T implement the policy of ensuring that residential buildings in sensitive landform areas use step foundations and staggered rooflines to blend development with the natural setting.

accents on building walls should be utilized to soften the architecture.

- (4) Residential building heights in sensitive landform areas shall use the step foundation and staggered roofline on any terrain for a more natural blending of development with the natural setting as well as eliminating the need for any mass-grading alternative. In SPA-1, these requirements shall be implemented within Planning Areas O and T only, and then only to the extent feasible, through application of the then-applicable Specific Plan Amendment Guidelines.
- (5) All architectural remodeling and additions shall be compatible with the original structure.
- (6) Hard surface areas (walks, driveways, patios, etc.) shall be designed as an integral part of the architecture.

c. Landscaping

- (1) Landscaping plans should incorporate a variety of drought-tolerant, low-maintenance trees, shrubs, and groundcovers.
- (2) The emphasis in landscaping should be on year-round color accents, rich planting of low-maintenance greenery, erosion control, and rapid revegetation of disturbed areas.
- (3) When irrigation is necessary, drip systems or other low-water consumption systems should be used wherever possible to minimize water use.
- (4) Landscaping shall be planted in informal groupings to reflect the natural theme, especially along streets and public ways, as illustrated below, rather than in rigid rows or hedges.

The Project's landscape guidelines detailed in Chapter IV of the Specific Plan Amendment, along with the Project's Conditions of Approval, emphasize the use of a variety of drought-tolerant plants, shrubs and groundcovers and use of year-round color accents, extensive use of low-maintenance greenery and timely revegetation of disturbed areas. The guidelines call for use of a wide variety of plantings in order to create an aesthetic background while providing for erosion control, community identity and a naturalized setting. The landscaping emphasis will be on providing distinct theming in an informal yet cohesive manner.

All areas disturbed or cleared of vegetation for construction will be revegetated as soon as possible after construction activities are complete. Slopes greater than a 2:1 (horizontal: vertical) gradient, or which result in exposure of bare rock surface, will be reviewed by a qualified landscape architect so that the proper grading and landscape techniques to encourage successful revegetation can be determined. Artificial treatment of the cut slope surface, such as

- (5) The streetscape along roads shall enhance the community theme and identity.
- (6) All planting except for existing natives shall be adequately irrigated and maintained to insure their viability. Irrigation shall cover 100% of the area(s) planted with species requiring irrigation.
- (7) Planting shall not obstruct the scenic overview potential of adjacent properties.
- (8) Vegetation of varying heights and textures shall be placed along perimeter walls and fences to soften hard planes and to create interest and variety.

rock varnish, shall be considered in combination with landscaping, as appropriate. Revegetation of all graded slopes must be shown, and a revegetation plan developed by a qualified landscape architect or horticulturalist must be developed that demonstrates that the visual impacts of manufactured slopes have been minimized to the extent feasible. Slopes using exposed retaining or curb walls more than five feet tall for reducing grading requirements shall incorporate plantings into design to conceal their appearance.

Landscaping will be designed to avoid obstructing scenic overviews. Greenery of varying heights and textures will be used to screen sound attenuation walls and slopes. In addition, native species will be used extensively adjacent to natural open space. The streetscape of San Elijo Road will be informal, with accents at entry points. The landscaping policies will be implemented through the site planning guidelines.

2.5.2.7 Fuel Modification

- a. Buildings and structures in high-risk fire zones shall be separated by a Fuel Modification Zone. Such zone shall consist of a transition of domesticated and natural landscape materials, retaining "islands" of native brush.

Chapter IV of the Specific Plan Amendment contains a Fuel Management Program, which is designed to protect buildings and structures in high-risk fire zones. The program provides for a gradual transition from native vegetation to fire-retardant plantings near structures, per the requirements of the Fire Marshall.

2.5.2.8 Grading

- a. In SPA-1, the then-applicable Specific Plan Amendment Guidelines govern implementation of the grading standards in subsections b.-k. below.
- b. The unauthorized stripping of natural vegetation and removal of mature trees in conjunction with development shall be prohibited.
- c. Plant materials of varying types, forms and density shall be used to obscure and preserve graded slope banks.
- d. Development should preserve the natural grade of the land as well as the natural contour height of hills and knolls.

The Grading, Landscaping and Land Use Plan sections of Chapter IV of the Specific Plan Amendment include criteria to reduce the height of slopes and to reduce grading quantities. Along with the Project Conditions of Approval, the guidelines provide that grading of vegetation and/or removal of mature trees will occur only when authorized. Mature, native trees will be preserved or replaced at appropriate ratios.

The Project's revegetation plan provides for the planting of a variety of plants and is designed to help stabilize slopes and obscure and preserve graded slope banks.

The Project's planning areas and roadway network have been sited to minimize disturbance of steep natural slopes and/or

- e. Streets within hillside areas shall be designed to follow the natural topography of such areas to create undulating slope banks, preserving visual relief, and to minimize the number and size of cut/fill slopes.
- f. Slopes should be designed to appear as "natural" as possible by use of low, undulating slopes and/or extensive use of landscaping.
- g. Architectural solutions for natural siting of structures shall be sensitively designed.
- h. All graded slopes shall be planted and irrigated in accordance with landscape guidelines.
- i. Slopes should blend in with the natural slopes of the surrounding area.
- j. Grading and siting practices shall respect natural drainages by utilizing these flow courses to carry the runoff.
- k. No mass grading of hills shall be allowed. Any development shall show custom terracing and pad location.

2.5.2.9 Public Facilities

- a. All utilities (except transmission facilities in SPA-1 and utilities in SPA-1 serving the County of San Diego's microwave site) shall be underground.

2.5.2.10 Specific Plan Area-Planned Community (Questhaven/La Costa Meadows): Residential Criteria

- a. The development yield of SPA-1 areas shall be set at a maximum of 3,258 subject to the criteria of the then-applicable Specific Plan.

- b. A variety of housing types should be permitted within SPA-1, ranging from estate to hillside clusters, including hillside estates, equestrian oriented residences, clustered detached units, patio homes, duplex and triplex units, townhomes,

minimize grading impacts by preserving the site's significant natural landforms. The guidelines also require blending of slopes and avoidance of geometric cuts. To minimize the Project's impacts on natural landforms, the Specific Plan Amendment provides for the clustering of development; landscaping of manufactured slopes using plant materials of varying heights; and recontouring of existing landforms to provide smooth transitions to graded surfaces.

The natural topography in Planning Areas O and T will be retained through the use of stepped custom building foundations (no greater than 12-foot elevation difference between steps), pole construction (supports beneath the downhill side of structures), and elevationally split building pads. Single-family neighborhoods typically will be terraced on a lot-by-lot basis in a way that will work with the landform, lower grading quantities and reduce slope height, with smaller lots located in the lower elevation areas of the Project. Three landscape zones -- ridgeline, theme and habitat zones -- will complement the grading scheme, and natural drainage courses will be utilized wherever possible. The lower portions of the Copper Creek drainage will be preserved and enhanced by the Project and will be utilized to carry storm runoff.

The street infrastructure, as proposed by the Specific Plan Amendment, will provide for utility conduit for the Project's power, phone and cable television services.

The Specific Plan Amendment proposes that up to 3,398 dwelling units be built on 2,000 acres, for an overall density of 1.75 dwelling units/acre. About 3,258 of those dwelling units are planned for the Questhaven/La Costa Meadows (SPA-1) area of the Project, with the remainder in the Barham/Discovery Community Plan area.

Those dwelling units will entail a variety of housing types, from custom estate homes to townhomes, zero lot line, cluster, single-

condominiums, attached, income qualifying units, high density multi-family and medium density multi-family units.

- c. Residential development in hillside areas in SPA-1 shall be governed by the then-applicable Specific Plan Amendment Guidelines. In all other areas, such development shall be limited to equestrian estates, hillside clusters and estates, detached single-family residences on half-acre lots.
- d. The SPA standards shall promote the utilization of harmonious residential design features and techniques throughout the community in order to create an overall community atmosphere.
- e. All residential development shall be carefully sited to preserve topography, trees, and other natural features. In SPA-1, residential development shall be governed by the then-applicable Specific Plan Amendment Guidelines.
 - (1) Residential developments in canyon areas shall be clustered into canyon enclaves.
 - (2) Hillside areas shall be developed with hillside clusters or estate lots.
 - (3) Orchards, when part of a residential development, shall be considered agricultural uses consistent with the Questhaven/La Costa Meadows Community Plan.
 - (4) Development shall be concentrated on the most developable, flatter portions of individual sites.
- f. In SPA-1, the then-applicable Specific Plan Amendment Guidelines shall govern development of residential units so as to protect sensitive resource areas (i.e., ridgelines, archaeological sites, and biologically sensitive areas); elsewhere, in such areas residential units should be clustered in "Hillside Clusters".

Commercial Criteria

family and multi-family homes, as specified in the development guidelines found in Chapter V of the Specific Plan Amendment.

The land use and grading guidelines in the Specific Plan Amendment govern residential development in the Project's hillside areas. The Standards set forth in those guidelines call for design features that should create an overall harmonious community atmosphere. The residential development also has been carefully sited to preserve the area's most significant natural features. For example, the Project's smaller-lot residential units will be located in the less constrained areas, closer to higher-intensity uses such as the Town Center, while custom and/or large-lot residential homes will be located in the most visible areas. More than half of the Project will be preserved in open space, sensitive habitat will be preserved consistent with the City's proposed BRMP, and the primary ridgeline features as viewed from SR-78 will be preserved.

Specialized grading techniques will be developed and incorporated into the CC&Rs for all custom home lots proposed within Planning Areas O and T. Measures for protecting existing rock outcrops, native vegetation, and other natural features, such as flagging, tapered grading, and stabilization techniques, will be indicated on the grading plans. Building pads between lots in Planning Areas M, N and K will be terraced to reflect the natural contours of the terrain, and all manufactured slopes in Planning Areas M, N and K will be landscaped. Sensitive resources identified in the Final SEIR also will be protected or mitigated.

- a. Retail - commercial development (approximately 12-15 acres) shall be designated within SPA-1 in the area specified by the Questhaven/La Costa Meadows Community Land Use Plan and the then-applicable Specific Plan Amendment Guidelines.

Open Space Criteria

- a. The Questhaven/La Costa Meadows Residential Specific Plan shall provide a distinct, identifiable open space corridor through the entire ridgeline. Said open space corridor shall link South Lake Reservoir with San Marcos Creek Watershed and flood plain within the La Costa Meadows Industrial Park.
- b. The focal point of the SPA-1 Planned Community areas shall be the preservation of landforms, particularly the Cerro de las Posas/Double Peak/Frank's Peak ridgeline, and creation of an open space system within a low density residential land use scheme. Uses consistent with the open space element shall be:
 - (1) Equestrian centers.
 - (2) Pedestrian/equestrian trails and bicycle paths.
 - (3) Passive and active parks.
 - (4) Private and/or public recreational facilities.

The Specific Plan Amendment includes a neighborhood commercial-retail center within the Mixed Use land use proposed in Planning Areas C2 and H2. This area, known as the Town Center, encompasses approximately fifteen and one-half acres and is designed to serve the daily shopping needs of the surrounding community.

The Specific Plan Amendment preserves the features of the primary ridgeline as viewed from SR-78 to the extent feasible, and preserves the peak areas of the Cerro de las Posas/Double Peak ridgeline. In addition, it leaves more than half of the Project site as open space. Public recreation areas will be built in the regional park, which will make up most of the ridgeline areas. In the saddle area east of Double Peak, grading will be necessary for the construction of San Elijo Road. Homes with height restrictions are planned north of San Elijo Road in Planning Area S. The Project also creates an open space corridor, which runs through the primary ridgeline and links by means of open space, and/or pedestrian, equestrian or bicycle trails South Lake Reservoir with San Marcos Creek Watershed and flood plain within the La Costa Meadows Industrial Park.

Conservation Criteria

- a. Sensitive biological habitats shall be preserved by setting aside appropriate acreage for conservation. Ensure the preservation of wildlife corridors.
- b. Open space shall coincide with areas exhibiting the highest degree of environmental sensitivity (archeological sites, visually important vistas and ridgelines, plant and wildlife preservation areas).
- c. The flood plain and watershed areas shall be retained as open space. In SPA-1, this requirement shall be implemented to the extent feasible, consistent with the then-applicable Specific Plan Amendment Guidelines.
- d. Preserve the ridgeline's visual qualities. In SPA-1, implementation of the standards in subsections (1) through (5) below shall be governed by the then-applicable Specific Plan Amendment Guidelines.
 - (1) All development shall be restricted from primary and secondary ridgelines.
 - (2) No portion of the ridgeline silhouette (as viewed from the length of State Route 78 that traverses the City of San Marcos) shall be graded.
 - (3) No structure outline shall be visible over the ridgeline from the length of State Route 78.
 - (4) All structures within 500-foot distance from the ridgeline shall require a visual analysis study to determine potential effects.
 - (5) No development shall be allowed in the area between a height of 50 feet below the ridgeline and the top of the ridgeline.
- e. Prior to development the SPA document shall provide guidelines for grading techniques, subdivision design, and landscaping plans, which preserve the hills and knolls of the Questhaven/La Costa Meadows Community. In SPA-1,

The Specific Plan Amendment preserves sensitive regional biological habitat and wildlife corridors in open space, retains the floodplain and watershed areas of the Project as open space to the extent feasible, and preserves or mitigates archeological sites, if any, pursuant to the Mitigation Monitoring and Reporting Program.

Within SPA-1, limited grading will be allowed for recreation facilities, public facilities or residential development, provided such development will have minimal impact to the visual quality of the primary ridgelines. In Planning Areas O and T, custom lot grading is required. All grading in primary ridgeline areas shall be subject to the Specific Plan Amendment's land use and grading guidelines during future review of detailed tentative maps and site plans. Lots in Planning Area S north of San Elijo Road are restricted to single-story homes no more than 25 feet high.

Most of the higher-density residential areas will be situated in the lower and flatter portions of the site, near San Elijo Road, with development in the upper hillside areas (Planning Areas O and T) limited to custom estate homes and public uses such as the future regional park or active recreational improvements in Planning Area Q.

Landscaping within Planning Area Q will be restricted to low-lying native and similar species that the existing chaparral habitat in open space. A detailed visual analysis will be performed to demonstrate that visual impacts have been minimized.

Roadways will be landscaped in a way that achieves the spirit of this criteria as well as the City's goal of avoiding blockage of scenic overlooks.

this requirement shall be implemented to the extent feasible.

- f. Prior to development the SPA document shall contain guidelines that ensure the protection of lithic scatters and quarries and a rock art sites found in preliminary recognition of the site. Said findings appear to warrant preservation in open space. Two of these sites are contained in the designated Questhaven/La Costa Meadows RCA. The other site is located in the south-central portion of the Community. In SPA-1, the sites shall be preserved or mitigated as required by the then-applicable Mitigation Monitoring and Reporting Program.
- g. All roadways traversing the SPA shall be landscaped on the downhill side with dense foliage tree species. In SPA-1, this shall be guided by the then-applicable Specific Plan Amendment Guidelines.

Public Services and Facilities Criteria

- a. In cooperation with the San Marcos Unified School District, designate two 10-15 acre school sites within the SPA-Planned Community areas. The Residential Specific Plan Area (SPA) shall determine the location and size of schools as per the requirements of the San Marcos Unified School District.
- b. In SPA-1, the design of streets within hillside areas shall be governed by the then-applicable Specific Plan Amendment Guidelines. Elsewhere, streets within hillside areas shall be designed to follow the natural topography of such areas to create undulating slope banks, preserving visual relief, and to minimize the number and size of cut/fill slopes.
- c. The goals, policies, implementation strategies, and standards of the Questhaven/La Costa Meadows Plan shall be minimum standards for the SPA Planned Community areas.
- d. Provide a future fire station site to be located in proximity of Twin Oaks Valley Road extension south of the ridgeline.

The Project includes three school sites. (2 elementary, 1 middle). Each elementary school site will provide a minimum 10-net-acres. The middle school site will provide a minimum of 20 net acres. All school sites have been reviewed by the San Marcos Unified School District.

A future fire station site on San Elijo Road/Twin Oaks Valley Road is incorporated into the Specific Plan Amendment in Planning Area S.

The design of hillside-area streets will be governed by the Specific Plan Amendment Guidelines and Project Conditions of Approval, the aim of which is to minimize grading and cut/fill slopes and preserve visual relief wherever possible.

2.5.2.11 Specific Plan Area-Limited Use

- b. Require the "clustering" of residential development to decrease the impacts of residential uses on the Solid Waste Management Area, and to decrease the likelihood that residences will be subject to impacts from the Solid Waste Management Area. A requirement of "clustered" development shall not increase the number of units permitted.
- c. Minimum setback requirements established by the City zoning code may be adjusted to reduce visual, noise, odor, or other impacts of solid waste management facilities. This adjustment may include the increase or decrease of setbacks, which would be required for the proposed use if it were located in another zone. A decrease in the setback requirement shall only be permitted, however, for residential development if the City finds that "clustering" is necessary to reduce the impacts of the solid waste facility.
- d. Additional landscaping shall be required, including the size of trees to be planted, the implementation of monitoring processes, and requirements for future alterations and additional landscaping.
- e. Require developments to take advantage of any such features, which reduce the visual, noise, or other impacts of solid waste facilities. In addition, the City may impose grading requirements to create topographical features, which will reduce the impacts of a solid waste facility on the development.

SAN ELIJAHILLS
SPECIFIC PLAN AMENDMENT
CONSISTENCY DISCUSSION

The Specific Plan Amendment designates the property adjacent to the Solid Waste Management Zone as permanent open space/wildlife corridor. Development within the Specific Plan Amendment has been clustered along the transportation spine for the Project, in primarily the lower elevations. The Specific Plan Amendment designates the property, which is closest to the Solid Waste Management Zone as wildlife corridor/open space (W2). This area creates a minimum 1,000 feet buffer between residential development and the solid waste management uses. The City is requiring extensive landscaping on the San Marcos landfill property. The landscaping of slope areas in SPA-1 and along San Elijo Road will help to screen the solid waste management area in the future.

8. BARHAM/DISCOVERY COMMUNITY PLAN

Goal: To establish land uses that will maintain a balanced community by preserving the natural resources of the community while promoting housing, employment, commercial, educational, open space and recreational needs and development of the neighborhood.

A. OBJECTIVES AND POLICIES:

Community Identity:

A. To establish a cohesive community identity which provides opportunities to achieve housing, industrial, and commercial development with consistent and compatible architectural design and themes.

1. Retain and maintain the natural ridgelines as a visual and physical backdrop for the Community and the entire City. Within Planning Area R of the San Elijo Hills Specific Plan Area, this policy shall be interpreted to mean that all ridgelines beyond the development envelope in the then-applicable Specific Plan shall be preserved.
2. Utilize heavy landscape treatments to segregate higher density residential developments from adjacent street and lower density residential areas as well as nonresidential developments.
3. Develop and implement a program for streetscape landscaping and other treatments to visually enhance and carry out the community identity.
4. Buffer contrasting residential densities and incompatible developments through the use of architectural and landscaping treatments, open space corridors, special setbacks and other design treatment or standards required by the City.
5. Establish and develop an entry statement(s) identifying the Community at or near the existing or planned arterial or collector roads serving the Community.

San Elijo Hills Specific Plan Area:

A. The San Elijo Hills Specific Plan Area within the Barham/Discovery Community is

The Specific Plan Amendment Guidelines constitute a comprehensive design program, which will guide the aesthetic values of the community in a way, which will sensitively blend high-quality development with the natural environment; preserve the visual integrity of the site; and preserve open space areas by clustering development. All ridgelines beyond the development envelope in Planning Area R will be preserved, with development several hundred feet below the Cerro de las Posas ridgeline. In the portions of Planning Area R, which will be developed, the architectural and design themes will be consistent with the remainder of the Project and the community at large. Only the lower elevations are proposed for development; all other areas will be preserved and enhanced via the trails component of the Specific Plan Amendment.

Chapters III and IV of the Specific Plan Amendment Guidelines provide for landscaping and architectural treatments designed to segregate higher-density developments from adjacent lower-density residential areas and nonresidential development, including streets, thus buffering contrasting residential densities and/or incompatible developments, if any. This landscaping program also will visually enhance the community identity of the area, including development of an entry statement near the arterial and collector roads serving the Barham/Discovery community, and will compliment the natural surroundings.

Planning Area R is consistent in density and lot sizes to the Discovery Hills, Vera Cruz and Rancho Coronado projects, which are adjacent. The lower density area to the west is separated by natural open space.

The Specific Plan Amendment calls for about 150 single-family detached homes to be built

GENERAL PLAN AS AMENDED

intended for single-family detached development. The Specific Plan Area is intended to have land use and development planning conducted in association with the remainder of the San Elijo Hills Specific Plan Area located in the Questhaven/La Costa Meadows Community Plan.

1. Minimum lot size shall be 5,000 square feet in the lower elevations and 10,000 square feet in the higher elevations, as determined by the then-applicable Specific Plan Amendment Guidelines.
2. Development shall be restricted to the lower slopes and not encroach beyond the 975-foot contour as determined by the then-applicable Specific Plan Amendment Guidelines.
3. The upper slopes shall be designated as open space and shall provide dedications of easements and/or land as necessary to implement the development program for the Cerro de las Posas/Double Peak primary ridgeline area as specified in the Parks Master Plan.
4. Locations containing significant areas of Southern California grassland shall be protected from development.
5. Although physically separated, the SPA shall be linked to the Questhaven/La Costa Meadows SPA through coordination of land use and development planning, open space areas and habitats and trail systems.

Open Space/Parks/Recreation

A. To establish an open space hierarchy which will provide recreational and educational facilities and opportunities serving the Community.

3. Require residential projects to design and develop pedestrian and bicycle accessways linked to the eventual park sites designated within the Community Plan.
4. Planned residential developments with private park and open space areas shall provide for linkage to the public park

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in the Barham/Discovery community, and provides a coordinated land use and development plan for that development. Minimum lot size will be 5,000 square feet in the lower elevations and 10,000 square feet in the upper elevations. Chapter V of the Specific Plan Amendment restricts development in this community to the lower slopes, and it will not encroach beyond the 975-foot contour.

As described in Chapters III and IV of the Specific Plan Amendment, aside from the 148 single-family detached homes to be built in Planning Area R, the remainder of the Project within the Barham/Discovery Community will be left as natural open space. There will be a direct link between this area and the adjacent wildlife corridor, native open space, regional park, and a trail system located within the Questhaven/La Costa Meadows Community Plan. No significant areas of Southern California grassland were identified to exist within the Specific Plan Area.

Chapter III of the Specific Plan Amendment establishes natural open space and refined open space categories, which will serve the community, and specifies timing and implementation of Regional Park facilities. As discussed therein, a regional park and a trail system to the south of Planning Area R are proposed. The multi-use trail system will link with the active park at Discovery Lake, and will contain pedestrian, bicycle and equestrian trails, lookout points and related uses, all of which will be available to the public. The regional park will be an integral part of the overall City Park and Recreation

system wherever possible to produce an integrated network of private and public park/open space areas.

6. Review and accept, where appropriate and deemed necessary by the City Council, offers of dedication for open space easements which contain identified, sensitive or endangered biological or animal species.

B. To ensure the preservation of natural resources identified as part of the Community.

1. Designate and establish the Mount Whitney/Double Peak Resource Conservation Area as an overlay zone for the intent of preserving and conserving sensitive species while allowing for development in accord with the Community Plan designations.
2. Develop and institute specific development guidelines for Resource Conservation Areas.

C. To provide for the timely implementation of the Community's open space and park program.

1. Require dedication of designated parklands as a part of residential development within the Community.
2. Collect appropriate fees for parkland development in accordance with City and State requirements and/or accept lands for park development.

System. In Planning Area R, a parking area and picnic site will be provided for trail users.

The Project also will include pedestrian and bicycle accessways linking to eventual park sites, helping establish an integrated network of private and public park/open space areas that implement the City's Park and Trails Master Plans as amended.

The parks will be put in a Lighting and Landscaping District to ensure that they receive appropriate maintenance and upkeep, and the open space property within the Project, which is designated for public use, and/or conservation will be conveyed to the City or other responsible agency.

The Project defines and preserves the most significant of the Project's natural resources. More than 1,050 acres of open space, most of it in natural condition, will be provided by the Project.

Implementation of the Specific Plan Amendment and the Development Agreement will ensure conveyance of the parkland and development of the trail system on a timely basis. The Project is providing land and improvements for parks.

Circulation:

A. To develop and implement a community circulation network that will serve the needs of the residents and link with the overall City circulation network.

Planning Area R proposes its primary access from Via Vera Cruz, which is a designated collector roadway. Secondary access will be provided to the Rancho Coronado neighborhood to the east. There are no circulation element-designated roadways in Planning Area R.

B. CIRCULATION ELEMENT

The Circulation Element contains policies and maps indicating the general location and extent of existing and proposed circulation routes; provides a transportation system adequate to serve the traffic Projected to be generated by the land uses shown on the General Plan Land Use Maps for the eight communities as well as regional through traffic; promotes the efficient transport of people and goods; and encourages the efficient use of existing transportation facilities. The Circulation Element contains goals, policies and implementation strategies, which serve as an action program to implement these objectives.

Goal 1: To develop a safe, convenient and uncongested circulation system.

Goal 2: To develop and manage a street and highway system which accommodates future growth while maintaining acceptable levels of service.

Goal 3: To ensure that residential areas are protected from major impacts of the circulation system.

Goal 4: To develop and maintain a circulation system, which preserves significant scenic and open space amenities.

Goals 1 and 2:

Policy 1:

Complete the City's street and highway system according to the street classifications shown on Figure B-2.

Policy 2:

Phase development and roadway improvements so that Levels of Service do not exceed LOS D on primary routes and at major intersections; except on regional routes for which mitigation to LOS D may be infeasible because of intercity traffic, which may reach LOS E during peak hours. In SPA-1, the phasing of the roadway improvements and resulting LOS shall be subject to phasing

The Specific Plan Amendment includes a complete circulation network, which is designed to meet all applicable road standards. Implementation of the Specific Plan Amendment will provide for the completion of the San Elijo/Twin Oaks Valley Road arterial, which will serve as a regional roadway link. This roadway, together with other onsite and offsite improvements, will serve to provide a safer and more convenient circulation system. Its implementation also will help to ease congestion on existing roadways. That circulation network will be implemented pursuant to the Project's Conditions of Approval and the Mitigation Monitoring and Reporting Program, and will mitigate the Project's impacts to traffic as discussed and analyzed in the Final SEIR. It is designed to help facilitate the free flow of vehicular traffic on major arterials and is phased to help improve the Level of Service

thresholds established in a Development Agreement.

(LOS) on primary routes and major intersections.

Policy 3:

Facilitate the free flow of vehicular traffic on major arterials.

The Specific Plan Amendment provides for San Elijo/Twin Oaks Valley Road to be built out in phases as appropriate to four lanes and a median, which will serve to planned future growth of the southern quadrant of the City. Internal roadways will be built out commensurate with development of homes, in conformance with the Mitigation Monitoring and Reporting Program.

Goal 3:

Policy 4:

Design and regulate City streets to minimize traffic-related impacts on adjacent land uses.

As discussed in the Final SEIR, the Project's circulation component has been designed to minimize traffic-related impacts on adjacent land uses. The Project has been designed to provide for higher density uses and commercial along the future alignment of San Elijo Road. The environmental analysis concludes that sound attenuation walls/berms will be necessary. San Elijo Road also will have extensive parkway and median landscaping. Moreover, street design criteria, including sound attenuation, shall be to City standards in conformance to the Project's Mitigation Monitoring and Reporting Program.

Goal 4:

Policy 5:

Identify and designate local scenic roadways and theme corridors, and protect significant open space areas and scenic vistas along local scenic roadways.

The Specific Plan Amendment identifies scenic road network opportunities and design guidelines. San Elijo Road has been redesigned to widen the wildlife corridors, which have sensitive species, and to avoid habitat south and east of the Project.

Within the Project boundaries, an open space area is proposed adjacent to San Elijo Road, with landscape plans for the roadway in some areas to be developed in the future when roadway improvement plans are prepared. A landscape concept plan shall be developed and implemented for each phase of the San Elijo Road. Plantings along the road will be designed to enhance the viewshed of the open space and scenic qualities of the area by not obstructing key views from the road. Careful attention will be given to using plants that will not obstruct views of the primary ridgeline, Double Peak, or other prominent landforms in the area. Many of the landform alteration and visual quality impacts associated with extending San Elijo Road across the San

Elijo Ranch property to Twin Oaks Valley Road have been reduced from those of the previously approved alignment.

7. ALTERNATIVE TRANSPORTATION MODES GOALS AND POLICIES

Goal 1: To provide a multi-modal transportation system that encourages efficient use of existing and future facilities.

Goal 2: To reduce the total number of Average Daily Traffic (ADT) trips throughout the City.

Goal 3: To maximize traffic safety for the elderly and handicapped, transit users, bicycle riders, pedestrians, and trail users.

Goals 1 and 2:

Policy 2:

Support car-pooling efforts and ridesharing services in order to reduce traffic demands on the circulation system.

The Mitigation Monitoring and Reporting Program requires that the applicant coordinate with appropriate agencies (SANDAG, North County Transit District, etc.) to implement several techniques to further reduce vehicle emissions. These techniques may include providing support for transit improvements such as bicycle lanes, additional bus services, and feeder bus/shuttle services, and/or encouraging ride share opportunities. In addition, the Project will implement an extensive trails network, which will link to offsite segments and will provide for alternative modes of travel as well as recreational opportunities. Public transit opportunities are expected to be provided on San Elijo/Twin Oaks Valley Road. Moreover, by providing onsite schools, a commercial center and recreational opportunities, offsite trips will be reduced.

Goal 3:

Policy 6:

Create and maintain a safe, convenient, and effective bicycle system, which encourages increased bicycle use.

The Project will provide walking trail and bike route connections to areas where regional transit services are located, thus providing for both recreational and commuting opportunities. It also will install transportation improvements, such as signals, lanes and roadway widenings, which will reduce idling times and further minimize Project impacts on air quality. The design of all transportation facilities will be to City specifications as well as to all applicable state and federal regulations.

Policy 7:

Create and maintain a safe and convenient pedestrian system, which encourages walking as an alternative to driving.

The Specific Plan Amendment implements the City-wide Master Trails Plan, as amended, providing a pedestrian/ equestrian/ bicycle trails system to encourage bicycling, walking and horseback riding as alternatives to driving and as recreational uses. The

Policy 8:

Establish a comprehensive trails system to encourage hiking and horseback riding as

alternative forms of transportation and as recreational uses.

Policy 9:

Maximize safety for trail and bikeway users.

Project helps maximize safety for trail and bikeway users by physically separating the bike trail along San Elijo Road from the actual roadway. Signage for the trail system will be provided as necessary.

C. HOUSING ELEMENT GOALS

Goals

Goals are long-range general guidance for the City's Housing Plan. The Goals section discusses State and City housing goals.

2. City Housing Goals

Development Goal:

The City shall encourage development of a variety of housing opportunities with emphasis on providing housing, which meets the special needs of the community.

The Specific Plan Amendment provides for a potential maximum development of 3,398 dwelling units. These dwelling units are categorized into five residential categories: estate, single-family detached, patio, cluster detached/attached, and multi-family, designated by the Master land use plan to provide a variety of housing opportunities. The project incorporates 10% of the 2,718 unit maximum density of the originally approved Specific Plan (i.e., 272 units) as affordable housing to qualifying families or individuals with incomes defined as very low income, defined for this purpose as no more than 50% of the regional median income. Such housing will be located in Planning Areas C3 and F1. In addition, about 7% of the total Project area (139 homes) will be designated for 20,000-square foot minimum lot estate homes.

Another 32% of the total Project area (1997 homes) will be designated for single-family detached homes, accommodating wide and shallow lot, zero-lot-line and traditional subdivisions, with lot sizes ranging from 4,000 to 10,000 square feet. The patio-home classification, which includes patio homes, zero-lot-line, and duplexes, will account for

approximately 2% of the total Project, or 228 homes. Cluster detached/attached homes will encompass less than 1% of the total Project area (380 homes), and may include clustered single-family homes, townhomes, stacked flats, duplexes or condominiums. The mixed use residential component accounts for less than 1% of the total project area (85 units). These units may be provided through a combination of cluster detached/attached and multifamily housing. Finally, the multi-family category, consisting of 637 homes, will occupy approximately 3% of the total Project area and will likely consist of garden-style apartments in stacked flat configurations of two- and three-story buildings as well as for sale or rental townhomes and condominiums.

Income Goal:

The City shall protect, encourage, and where feasible, provide housing opportunities for persons of low and moderate income. The programs that will assist the city in meeting this goal are as follows:

Facilities Goal:

To ensure that all new development is adequately served with public facilities in a timely manner. The programs that will assist the city in meeting this goal are as follows:

The Papineau Settlement Agreement mirrors the State Density Bonus, which provides for a 25% density bonus when a project includes 10% of its total housing as being housing for families qualifying as very low income. The Project incorporates 10% of the 2,718 unit maximum density of the originally approved Specific Plan (i.e., 272 units) as affordable housing to qualifying families or individuals with incomes defined as very low income, defined for this purpose as no more than 50% of the regional median income. Such housing will be located in Planning Areas C3 and F1.

The Specific Plan Amendment's phasing plan provides for an orderly implementation of the Project in a manner, which will provide public facilities commensurate with need.

Moreover, implementation of the Specific Plan Amendment will provide for the buildup of a large portion of the City's Redevelopment Project Area 3, which was formed to ensure regional infrastructure was extended as necessary and to help cure conditions of blight. Each Project development phase calls for public facilities and utilities to be provided at time of need. Many of these infrastructure improvements will not only serve the Project but will be regionally beneficial as well. For example, the roadways will serve residents and businesses throughout the community, and at least one water storage tank will serve not only the Project but also residents of the proposed University Commons development.

D. CONSERVATION AND OPEN SPACE GOALS AND POLICIES

Goal 1: To preserve the natural resources of the planning area, including dominant landforms, plant and animal habitats, and water courses.

Goal 2: To develop and maintain a complete parks and recreation open space system within the planning area.

Goal 3: To preserve and rehabilitate cultural resources that are significant to San Marcos because of their age, appearance, or history.

Goal 5: To retain open space areas for public safety.

Goal 6: To promote contiguous development of vacant land.

Goal 7: To ensure a high level of air and water quality.

Goal 8: To promote the use of energy conservation measures.

Goal 1:

Policy 1:

Preserve prominent landforms, such as the Merriam Mountains, San Marcos Mountains, Cerro de las Posas, Mt. Whitney, Double Peak, Franks Peak, Owen Peak, the canyon areas, and the 100-year floodplain, by conservation and management policies.

With SPA-1, limited grading shall be allowed for recreation facilities, public facilities, or residential development provided such development will have minimal impact to the visual quality of the primary ridgelines. All grading in primary ridgeline areas shall be subject to detailed visual simulations, and application of Specific Plan land use and grading guidelines during future review of detailed tentative maps and site plans.

Cerro de las Posas and Double Peak landforms will be substantially preserved to viewers along the SR-78 corridor through implementation of the Specific Plan Amendment and the setting aside of more than 1,050 acres of open space. Except for the grading necessary for San Elijo and Twin Oaks Valley Roads and Planning Area S, the Project will preserve the features of the primary ridgeline. Those guidelines, along with the Project Conditions of Approval, require one-story height restrictions, low-profile rooflines, earthtone color schemes and similar measures for lots north of San Elijo Road in Planning Area S. Further, traditional pad grading of estate lots in Planning Areas O and T will occur only when necessary to construct the serving streets and utilities, resulting in minimal custom grading for each home site. Strict CC&Rs and

architectural guidelines will be developed for each lot in Planning Areas O and T to ensure disturbance is kept to a minimum and grading is sensitive and appropriate.

To the extent feasible, development of the upper hillside areas, which include any planning area situated upon the upper elevations of the Cerro de Las Posas - Double Peak ridgeline, has been designed and clustered into those areas where disturbance can be minimized. Grading in such areas shall be done in a way, which will preserve or mimic the natural profile of the landform, and minimize abrupt changes in grade.

Moreover, development clusters throughout the Project have been designed to preserve or mimic significant landform features, to provide for the terracing of lots and to preserve significant outcroppings, which are visible to offsite viewers.

No encroachment is proposed within the San Marcos Creek floodplain, and formerly approved development and grading within the Copper Creek drainage has been substantially reduced by the Specific Plan Amendment. Moreover, the Project's open space program will preserve natural canyons, hillsides, utility corridors, wildlife areas, parks, private Project-related recreational opportunities, trails, and landscaped parkways throughout the community. The designated open space will be maintained via a master association landscape maintenance district and/or annexation to the Lighting and Landscaping District. This open space also will establish part of the City's BRMP. The BRMP is part of the regionally significant NCCP, which will link to similar programs to connect biologically significant habitat throughout the county.

Policy 2:

Develop and/or update management guidelines for soils, slope instability, landsliding and other geological constraints to development.

A qualified geotechnical consultant shall conduct additional detailed site studies to determine any constraints associated with specific Project development plans, in order to identify site-specific measures required to avoid impacts associated with fill materials, compressible topsoil, alluvium, Santiago formation and the structural stability of bedrock materials. These measures shall be incorporated into the final grading plans and

tentative map(s), as provided for in the Mitigation Monitoring and Reporting Program. In addition, a qualified geotechnical consultant will evaluate the suitability of processed rock material for use in building pads and structural foundations prior to site development, and detailed grading plans will be in compliance with the Specific Plan Amendment and will be approved by the City. Grading plans and activities will be based on a comprehensive investigation of surface and subsurface conditions, and all grading shall be supervised by an Engineering Geologist, who will prepare a written report to the satisfaction of the City Engineer certifying that the work has been performed in compliance with the recommendations contained within the geotechnical report and the approved plans.

Policy 3:

Preserve and enhance significant biological resources for the protection of rare and endangered species and for the maintenance of sensitive habitats.

Cerro de las Posas and Double Peak landforms are located within the Specific Plan Amendment. Except for the grading necessary for San Elijo and Twin Oaks Valley Roads and Planning Area S, the Project will preserve the features of the primary ridgeline as viewed from the SR-78 corridor. Those guidelines, along with the Project Conditions of Approval, require one-story height restrictions, low-profile rooflines, earthtone color schemes and similar measures for residential lots located north of San Elijo Road in Planning Area S. Further, traditional pad grading of estate lots in Planning Areas O and T shall occur only when necessary to construct the serving streets and utilities, resulting in only minimal custom grading for each home site. Strict CC&Rs and architectural guidelines will be developed for each lot in Planning Areas O and T to ensure disturbance is kept

to a minimum and grading is sensitive and appropriate.

To the extent feasible, development of the upper hillside areas, which include any planning area situated upon the upper elevations of the Cerro de Las Posas - Double Peak ridgeline, has been designed and clustered into those areas where disturbance can be minimized. Grading in such areas shall be done in a way, which will preserve or mimic the natural profile of the landform, and minimize abrupt changes in grade.

Moreover, development clusters throughout the Project have been designed to preserve or mimic significant landform features, to provide for the terracing of lots and to preserve significant outcroppings, which are visible to offsite viewers.

No encroachment is proposed within the San Marcos Creek floodplain, and formerly approved development and grading within the Copper Creek drainage has been substantially reduced by the Specific Plan Amendment. Moreover, the Project's open space program will preserve natural canyons, hillsides, utility corridors, wildlife areas, parks, private Project-related recreational opportunities, trails, and landscaped parkways throughout the community. The designated open space will be maintained via a master association landscape maintenance district and/or annexation to the Lighting and Landscaping District. The Specific Plan Amendment identifies the significant biological resources and proposes that these be placed in the wildlife corridor along the southerly boundary of the Project and/or preserved as part of the City-wide BRMP. The BRMP is part of the regionally significant NCCP, which will link to similar programs to connect biologically significant habitat throughout the county. Additionally, Planning Areas Q and L are proposed as substantially preserved natural open space.

Goal 2:

Policy 4:

Develop and implement a Recreation Plan that will specify existing and future active and passive recreational land uses and establish priorities for their development.

In addition to natural open space and enhanced landscaping within residential areas, five planning areas are exclusively devoted to open space, and include approximately 1,050 acres, or more than 50% of the Project site. The Specific Plan Amendment open space program will preserve natural canyons, hillsides, utility corridors, wildlife areas, parks, private Project-related recreational opportunities, trails, and landscaped parkways throughout the community. The designated open space will be maintained via a master association landscape maintenance district and/or annexation to the Lighting and Landscaping District. This open space also will establish part of the City's BRMP. The BRMP is part of the regionally significant NCCP, which will link to similar programs to connect biologically significant habitat throughout the

county. The Project's wildlife corridor preserve, of about 132 acres, will be combined with an adjacent off-site designated corridor directly to the west and south to form significant, uninterrupted regional linkages. In addition, the 239 acre recreational use area, which includes a regional park, located near Double Peak and Cerro de las Posas in Planning Area Q, along with private open space of Planning Areas Q and L, will appear visually as a large open space reserve from most San Marcos viewpoints to the north and west of the Project. The park will connect to a major multi-use trail near the ridgeline and will be linked to the wider city/regional trail network.

Goal 3:

Policy 5:

Preserve archaeological sites through resource management techniques, including site restoration, artifact recovery and site documentation.

Preservation or data recovery, as discussed in the Final SEIR and as implemented by the Mitigation Monitoring and Reporting Program, will mitigate any otherwise significant impacts to important cultural source sites, if any, which may be located within the Project area or necessary to implement the Project.

Goal 5:

Policy 9:

Utilize open space to promote the health and safety of the community.

The Specific Plan Amendment's Trails component provides for trails that will double as secondary fire access routes. In addition, fuel modification zones are incorporated along adjacent development areas in open spaces. The Specific Plan Amendment also requires buffers between open space areas and the developed portions of the property, thus minimizing any fire hazards.

Goal 6:

Policy 10:

Utilize open space to promote orderly development in accordance with the Community Plans of the General Plan.

The built-out or planned communities of Lake San Marcos, Discovery Hills and Rancho Coronado lie to the north of the Project. The planned community of University Commons lies to the west. Along the south is the Solid Waste Management Zone and habitat. To the east is the County unincorporated area. The Project implements this Goal by promoting the development of vacant land contiguous to developed or planned development.

Open space will serve to enhance the quality of life as well as to serve as visual relief within the Project area.

Goal 7:

Policy 12:

Preserve watershed areas to maintain health, safety and welfare of residents living adjacent to the City's creeks and tributaries, and to protect habitats that are environmentally sensitive and dependent upon watershed areas. In SPA-1, implementation of this policy shall be governed by the then-applicable Specific Plan.

Policy 14:

Manage and conserve domestic water resources by minimizing water usage and waste, in order to ensure an adequate water supply for existing and future residents.

The primary drainage course in the Project, San Marcos Creek, is left undisturbed by development. In addition, to the extent feasible, Copper Creek has been maintained in its natural condition.

The SEIR provides a complete analysis of air and water quality impacts and mitigation.

The Mitigation Monitoring and Reporting Program has mitigation measures in place to minimize any significant air or water quality impacts and include spraying water on all dirt stockpile areas daily or as needed, stabilizing all disturbed soil areas not subject to revegetation using approved chemical soil binders, jute netting or other appropriate methods, complete paving of all permanent roadways at the earliest feasible time, and abiding by all Conditions of Approval for dust control required by the APCD permit, if any.

In addition, the applicant shall coordinate with appropriate agencies to reduce vehicle emissions by providing for transit improvements, encouraging ride share opportunities, providing walking trail and bike route connections to areas where regional transit services are located and installing transportation improvements to minimize idling times and further minimize Project impacts on air quality.

To ensure water quality is not significantly impacted, permanent detention and/or desiltation basins will be installed to control water quality if determined necessary by detailed hydrological investigation on final grading plan. In addition, grading and improvement plans completed for the final subdivision map in the Project Area will include drainage facilities based on hydrological studies and engineered in accordance with the design standards of the City of San Marcos, discharge velocity from each drainage basin will be reduced to

decrease the amount of transported material, and energy dissipators will be provided at all drainage discharge points and must reduce discharge to nonerosive levels (i.e., 6 feet per second).

The Project's landscape guidelines detailed in Chapter IV of the Specific Plan Amendment, along with the Project's Conditions of Approval, emphasize the use of a variety of drought-tolerant plants, shrubs and groundcovers and use of year-round color accents, extensive use of low-maintenance greenery and timely revegetation of disturbed areas.

Policy 15:

Ensure an adequate wastewater system for existing and future development.

All future Tentative Map submittals shall comply with the applicable requirements of the Vallecitos Water District, related to sewer design and service.

The Project proposes realignment of the existing 30-inch water main and installation of sewer lines in the realigned Questhaven Road (San Elijo Road). The Project will be annexed into Sewer Improvement Districts 1, 2 and 6, as necessary. The sewer facilities, including pump stations and mains to support the Project, will be built, and proposed sewer lines to extend from the Meadowlark facility to the Project will be phased and built to coincide with Project development. Moreover, prior to approval of the master tentative map, the developer will verify in writing to the City that adequate sewer and treatment facilities will be available and provided prior to occupancy of each of the give phases. Should existing treatment facilities reach capacity prior to any Project phase, the applicant shall be responsible for funding the proportionate share of facility expansion as negotiated with the Vallecitos Water District.

Policy 16:

Improve and protect the air quality of the planning area.

The Mitigation Monitoring and Reporting Program requires mitigation measures, which minimize any air quality impacts. These measures include spraying water on all dirt stockpile areas daily or as needed, stabilizing all disturbed soil areas not subject to revegetation using approved chemical soil binders, jute netting or other appropriate methods, complete paving of all permanent roadways at the earliest feasible time, and abiding by all Conditions of Approval for dust control required by the APCD permit, if any.

In addition, the applicant shall coordinate with appropriate agencies to reduce vehicle emissions by providing for transit improvements, encouraging ride share opportunities, providing walking trail and bike route connections to areas where regional transit services are located and installing transportation improvements to minimize idling times and further minimize Project impacts on air quality.

Goal 8:

Policy 17:

Encourage energy conservation in order to ensure an adequate energy supply for existing and future residents.

The Specific Plan Amendment will provide for implementation of the trail system and provisions for public transportation. Housing construction is required to comply with the requirements of Title 24 for energy conservation.

E. PUBLIC HEALTH, SAFETY, AND SEISMIC SAFETY ELEMENT

The objective of the Safety Element is to reduce loss of life, injuries and damage to property resulting from natural and man induced causes. The Safety Element addresses potential hazards to the community and the agencies and facilities established to protect the community from these hazards. The Element is designed to identify areas where private and public land use decisions need to be responsive to potentially hazardous areas. It further serves to inform the citizens, private interest groups and public agencies of the City's safety policies, including permitted land uses, how and where to build public facilities, and what type of emergency and public health services should be provided.

12. SAFETY ELEMENT GOALS AND POLICIES

Goal: To minimize injuries, the loss of life, and property damage resulting from hazards within the planning area.

Policy 1: Minimize damage from seismic and geologic hazards.

Policy 2: Minimize damage from flood hazards.

Policy 3: Minimize damage from fire hazards.

Policy 4: Minimize damage from criminal activities.

Policy 6:

Minimize damage from traffic hazards.

The Project's Final SEIR thoroughly analyzed and designed mitigation measures to address public safety issues, including seismic and geologic hazards as well as hazards posed by flooding, fire, criminal activity and traffic. The mitigation measures to be implemented by the Mitigation Monitoring and Reporting Program are designed to ensure impacts from those potential hazards are reduced to below a level of significance.

For example, a qualified geotechnical consultant shall conduct additional detailed site studies to determine any constraints associated with specific Project development plans, in order to identify site-specific measures required to avoid impacts associated with fill materials, compressible topsoil, alluvium, Santiago formation and the structural stability of bedrock materials. These measures shall be incorporated into the final grading plans and tentative map(s), as provided for in the Mitigation Monitoring and Reporting Program. In addition, a qualified geotechnical consultant will evaluate the suitability of processed rock material for use in building pads and structural foundations prior to site development, and detailed grading plans will be in compliance with the Specific Plan Amendment and will be approved by the City. Grading plans and activities will be based on a comprehensive investigation of surface and subsurface conditions, and all grading shall be supervised by an Engineering Geologist, who will prepare a written report to the satisfaction of the City Engineer certifying that the work has been performed in compliance with the recommendations contained within the geotechnical report and the approved plans.

The portion of the Project which falls within the floodplain has been left in open space or will undergo site plan review to ensure that all structures in that area are elevated at least to one foot above the 100-year floodplain.

A Traffic Analysis and phasing plan are analyzed in the Final SEIR and implemented by the Mitigation Monitoring and Reporting Program and the Project Conditions of Approval. The extensive Project trails component, which includes pedestrian, bicycle and equestrian trails, is designed to separate pedestrian/bicycle paths from vehicular flow throughout the Project.

Fire and police services and facilities will be provided commensurate with phased Project development, and phased roadway improvements will reduce police and fire response times in the Project area. The Project will contribute the funding necessary to construct and equip new fire facilities to serve the Project area, and police protection will be provided by the County Sheriff via the existing San Marcos Station, and a site for a Sheriff's Office is proposed onsite. In addition, the Project includes appropriate street lighting. The Project will either annex into the existing fire and police CFD, or will form a new CFD for such services. Timing of the fee payments and the annexation or formation of the CFD will be timed so that adequate fire protection will be available as the residential units are built out. In addition, all building structures and engineering requirements will conform to the Uniform Building Code, the Uniform Fire Code and City requirements for the use of Class A roof coverings in all dwelling units. Moreover, phased roadway improvements shall be implemented to provide access to development, which would reduce response times for the fire and police departments.

Chapter IV of the Specific Plan Amendment contains a Fuel Management Program, which is designed to protect buildings and structures in high-risk fire zones. The program provides for a gradual transition from native vegetation to fire-retardant plantings near structures, per the requirements of the Fire Marshall. In

addition, fuel modification zones are incorporated along adjacent development areas in open spaces.

F. NOISE ELEMENT

The objective of the Noise Element is to protect the health and welfare of the community by promoting community development, which is compatible with noise standards. The Noise Element includes implementation measures and possible solution to existing and foreseeable noise problems, and shall serve as a guideline for compliance with State noise insulation standards.

5. NOISE ELEMENT GOALS AND POLICIES

Goal 1: To reduce noise to acceptable levels throughout the community.

Policy 1:

Design roadways to reduce noise levels in adjacent areas.

Policy 4:

Establish noise standards for noise-sensitive receptors in the City's noise ordinance.

Policy 5:

Ensure that the construction and future developments will minimize interior and exterior noise levels.

Policy 6:

Utilize land use controls to reduce noise from sources adjacent to residential areas and recreational and community facilities.

Onsite roadway traffic noise impacts due to the realignment and improvements to San Elijo Road and Elfin Forest Road will be mitigated using a standard acoustical barrier (combination noise wall/berm) placed between the roadway and future residences. In addition, a site-specific study will be performed once the master tentative map or final subdivision map(s) are available showing roadway and final residential pad elevations. Upon preparation of the final building plans, an acoustical certification by a qualified acoustician will be prepared for the proposed onsite homes, which are located within the 60 dBA CNEL contour along San Elijo Road. In order to determine the interior noise environment to 45 dBA CNEL or below. Berms, embankments, landscaping, soundwalls, and other noise reduction techniques are Project Conditions of Approval where necessary to reduce noise to acceptable levels.

The Final SEIR includes an acoustical analysis by Ogden of the on-site rock crusher operation. Typical noise emissions from rock-processing equipment range from 75 to 85 dBA at 50 feet. The City and County have a 75 dBA property line standard for noise, which would require the rock crushing operation to have a 50- to 160-foot buffer between it and any occupied residences. While such a buffer would allow the rock crusher operation to meet all City and County noise standards, however, the U.S. Environmental Protection Agency's ("EPA") 55 dBA 24-hour average standard would be

exceeded at this distance. In order to mitigate noise to a level of insignificance under even the U.S. EPA's stricter noise standards, a mitigation measure implemented by the Mitigation Monitoring and Reporting Program requires that, if any occupied residences are within 1,600 feet of the rock-processing area, a site-specific acoustical study shall be conducted for the final engineering plans for the rock-processing areas to determine the appropriate buffer distance and/or enclosure berm locations and heights required to lower noise to an hourly average sound of 55 dBA at the closest occupied residence.

GOALS AND POLICIES

G. PARKS & RECREATION ELEMENT

Goal 1: Local Parks Provision: To plan for, acquire, develop, and maintain a system of local parks and recreation facilities, which meet the needs of the residents of San Marcos.

Policy 1:

Plan for and implement a city-wide distribution of neighborhood and community parks to serve both local and city-wide recreation needs.

The Specific Plan Amendment implements the City-wide Park and Trail Master Plans, as amended, for the Project area.

Policy 2:

Negotiate shared use of non-city-owned facilities in order to augment the range and extent of recreational opportunities available to the City's residents.

The Specific Plan Amendment includes regional, neighborhood and local tot-lot facilities to serve both local and city-wide recreation needs.

Two public parks within the Specific Plan Amendment are designated by the San Marcos Master Plan. The neighborhood park would be located in Planning Area G4 at the northeast intersection of San Elijo and Elfin Forest Roads. This park would include ball fields, a multi-purpose field, tot lots, picnic areas, restrooms, trails, community building, parking and other active and passive recreational opportunities. The second park, Double Peak Regional Park, would be located within Planning Area Q, along the central ridgeline of the Project. The General Plan identifies a number of recreational opportunities for this park, including a campground, primitive amphitheater, and equestrian facilities, among other amenities. The Specific Plan Amendment also incorporates a Multi-use Trail System, which will link amenities and open space to onsite and offsite areas. Further, some of the residential neighborhoods, particularly

Planning Areas M and D4, will include smaller parks and tot-lots. These areas are designed for the recreational enjoyment of the local residents. Where possible, these areas would also link to the trails system.

Goal 2: Trails: To plan for, implement, and maintain a city-wide network of trails for bicycle, pedestrian, and equestrian use.

Policy 3:

Negotiate for and implement an integrated system of pedestrian paths, hiking trails, bicycle trails and bike lanes, and equestrian trails serving both recreational and non-vehicular circulation needs within the city.

The Specific Plan Amendment implements the City-Wide Trails Master Plan, as amended, for the Project area. The extensive Project trail component, which includes pedestrian, bicycle and equestrian trails, has been designed to become an integral part of the San Marcos regional trail system. It also is designed to separate pedestrian/bicycle paths from vehicular flows throughout the Project.

Goal 4: Financing and Implementation: To establish equitable and realistic methods of financing and implementation of acquisition, development, operation, and maintenance of parks and recreational opportunities.

Policy 8:

Identify and utilize all possible equitable and realistic methods to acquire and finance the development of parks and recreation opportunities.

The Specific Plan Amendment, Project Conditions of Approval and the Project Development Agreement provide equitable and realistic financing and implementation of parks in the Project area.

The Project will provide parkland and improvements. Maintenance of parks will primarily be through a Lighting and Landscaping District.

Goal 5: Regional Parks Provision: To plan for, implement, and maintain, both independently and in collaboration with other land use authorities, a system of parks providing informal recreation opportunities for San Marcos and the surrounding region.

Policy 11:

Identify appropriate sites and acquisition, development, and maintenance strategies for regional parks both within San Marcos and in the surrounding area.

The Specific Plan Amendment provides for phased implementation of the Regional Park facility. Two public parks within the Specific plan Amendment are designated by the San Marcos Master Plan. The neighborhood park would be located in Planning Area G4 at the northeast intersection of San Elijo and Elfin Forest Roads. This park would include ball fields, a multipurpose field, tot lots, picnic areas, restrooms, trails, community building, parking, and other active and passive recreational opportunities. The second park, Double Peak Regional Park, would be located within Planning Area Q, along the

central ridgeline of the Project. The General Plan identifies a number of recreational opportunities for this park, including a campground, primitive amphitheater, and equestrian facilities, among other amenities. The Specific Plan Amendment also incorporates a Multi-use Trail System, which will link amenities and open space to onsite and offsite areas. Further, some of the residential neighborhoods, particularly Planning Areas M and D4, will include smaller parks and tot-lots. These areas are designed for the recreational enjoyment of the local residents. Where possible, these areas would also link to the trails system.

Goal 6: Conservation: To integrate where appropriate the location and operation of parks and recreation resources with the conservation goals of the city.

Policy 12:

When consistent with recreation needs, locate and develop park sites to further the protection of environmental resources in the city.

Trails in the Project have been aligned along the City's ridgelines wherever access and development patterns permit.

Drought-tolerant or native plants have been used wherever possible in the Project's landscaped areas, including in the open spaces and parks on the Project site. The Copper Creek drainage area has been incorporated into the neighborhood park and project's trail network.

Policy 13:

Manage and conserve domestic water resources by minimizing water usage and waste in order to ensure an adequate water supply for existing and future parks and other recreational open space.

In an effort to conserve water resources, if determined necessary by detailed hydrological investigation on final grading plan, permanent detention and/or desiltation basins will be installed to control water quality. In addition, grading and improvement plans completed for the final subdivision map in the Project area will include drainage facilities based on hydrological studies and engineered in accordance with the City's design standards; discharge velocity from each drainage basin will be reduced to decrease the amount of transported material; and energy dissipators will be provided at all drainage discharge points to reduce discharge to nonerosive levels (i.e., 6 feet per second). Moreover, drought-tolerant and native planting will be used extensively throughout, and the residences will use low-flow toilets and similar energy-saving amenities.

PARKS & RECREATION ELEMENT

2.2 Primary Goals

Goal 1: Local Parks Provision:

To plan for, acquire, develop, and maintain a system of local parks and recreation facilities, which meet the needs of the residents of San Marcos.

This open space also will establish part of the City's BRMP. The BRMP is part of the regionally significant NCCP, which will link to similar programs to connect biologically significant habitat throughout the county.

The Specific Plan Amendment will implement the City-Wide Trails Master Plan, as amended. The Local Parks Provision of the City's General Plan specifies that a total of 5 acres of local parks per 1,000 population should be provided to the City's residents. At projected build out, the Project would thus need to provide 48 acres of local parks to meet this goal. Instead, it provides even more -- 51 to 54 acres of local parks, including a 20-acre active use area and a 15-acre passive use area within the neighborhood park, two pocket parks with 3 to 5 acres of active use and 11 acres of passive parkland. All of this is in addition to the 239-acre regional park and several tot lots also being provided by the Project.

Goal 2: Trails:

To plan for, implement, and maintain a citywide network of trails for bicycle, pedestrian, and equestrian use.

The Specific Plan Amendment will implement the City-Wide Trails Master Plan, as amended. The trails system for the Project will implement the City-wide trails master plan, as amended, by designing trails which link to the future county-wide trails system when such a system is available. The extensive Project trail component, which includes pedestrian, bicycle and equestrian trails, has been designed to become an integral part of the San Marcos regional trail system. It also is designed to separate pedestrian/bicycle paths from vehicular flows throughout the Project.

Goal 3: Community Services:

To provide for the operation of recreation and leisure programs, community centers, and day care facilities, where such programs and facilities are related to the overall parks and recreation plan.

A community center will be located in the neighborhood parks. A variety of community amenities, including ballfields, open play, picnic areas, and tot lots are expected to be provided.

Goal 4: Financing and Implementation:

To establish equitable and realistic methods of financing acquisition, development, operation, and maintenance of parks and recreation facilities.

The Specific Plan Amendment, Project Conditions of Approval and Project Development Agreement provide equitable and realistic financing and implementation of local parks and recreational facilities in the Project area. A Lighting and Landscaping District will likely be responsible for park maintenance.

Goal 5: Regional Parks Provision:

To plan for, implement and maintain, both independently and in collaboration with other land use authorities, a system of parks providing informal recreational opportunities for San Marcos and the surrounding region.

The Specific Plan Amendment provides for phased implementation of the Regional Park facility. The trails system for the Project will implement the City-wide trails master plan, as amended, by designing trails which link to the future county-wide trails system when such a system is available. The extensive Project trail component, which includes pedestrian, bicycle and equestrian trails, has been designed to become an integral part of the San Marcos regional trail system. It also is designed to separate pedestrian/bicycle paths from vehicular flows throughout the Project. This element of the General Plan specifies that a total of 5 acres of local parks per 1,000 population should be provided to the City's residents. At Projected buildout, the Project would thus need to provide 48 acres of local parks to meet this goal. Instead, it provides even more -- 51 to 54 acres of local parks, including a 20-acre active use area

and a 15-acre passive use area within the neighborhood park, two pocket parks with 3-5 acres of active use and 11 acres of passive parkland. All of this is in addition to the 239-acre regional park and several tot lots.

Goal 6: Conservation:

To integrate where appropriate the location and operation of parks and recreational resources with the conservation goals of the City.

A distinct ridgeline corridor and the Copper Creek drainage area within the property boundaries have been retained as open space, and will be used as part of the park areas. The parks will connect to a major multi-purpose trail system near the ridgeline and in the vicinity of Elfin Forest Road, and will be linked to the wider city/regional trail network.