

Ascend Specific Plan

Month 2026

SP25-0003

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Prepared For:

City of San Marcos
1 Civic Center Drive
San Marcos, CA 92069

Prepared By:

CCI
160 Industrial St. Ste 200
San Marcos, CA 92078

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List of Contributors

Applicant/Developer

Diamond Street Industrial, LLC & MDLV
Investments, LLC
1316 San Julian Ln.
San Marcos, CA 92078
(858) 802-8549

Architect

Summa Architecture
5256 S. Mission Rd. Ste. 404
Bonsall, CA 92003
(760) 724-1198

Planning Consultant

CCI Consultants Collaborative
160 Industrial St. Ste 200
San Marcos, CA 92078
(760) 471-2365

Landscape Architect

KTGY
17911 Von Karman Avenue, Suite 200
Irvine, CA 92614
(949) 851-2133

Civil Engineer

Excel Engineering
440 State Pl.
Escondido, CA 92029
(760) 745-8118

Environmental

Sophia Mitchell and Associates
P.O. Box 1700
Gualala, CA 95445
(858) 243-0843

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Table of Contents

1	Summary	i
1.1	Introduction	i
1.2	Specific Plan Summary	i
1.3	Specific Plan Preparation Statement	i
2	Introduction	1
2.1	Specific Plan Purpose and Scope	1
2.2	Specific Plan Objectives	1
2.3	Contents of the Specific Plan	2
2.4	Planning Area Description.....	3
2.4.1	Regional and local Setting.....	3
2.4.2	Site Characteristics & History.....	6
2.4.3	Regulatory Setting.....	9
2.5	Relationship to the San Marcos General Plan	9
2.5.1	Specific Plan Land Use.....	10
2.5.2	Land Use and Community Design Element.....	10
2.5.3	Mobility Element.....	11
2.5.4	Conservation and Open Space Element.....	12
2.5.5	Parks, Recreation, and Community Health Element.....	12
2.5.6	Safety Element	13
2.5.7	Noise	13
2.5.8	Housing	13
2.6	CEQA Compliance.....	14
2.7	Projects Requiring Consistency with the Specific Plan	14
3	Land Use and Development Standards.....	16
3.1	Land Use and Development Objectives	16
3.2	Distribution of Land uses	16
3.2.1	Allowable Uses	17
3.3	Development Standards	18
3.3.1	Density and Intensity	21
3.3.2	Parking	21
3.3.3	Open Space	24
3.3.4	Wall and Fence Regulations	27

3.4	Landscaping Regulations.....	27
3.4.1	Lighting Regulations.....	28
3.4.2	Signs	28
4	Design Standards	30
4.1	Architectural Style.....	30
4.1.1	Floor Plan Summary	30
4.1.2	Massing and Scale	31
4.1.3	Building Materials, Accents, and Colors.....	37
4.2	Open Space Design	37
4.2.1	Open Space Categories	37
4.2.2	Landscaping.....	41
4.2.3	Plant Material Guidelines.....	43
4.2.4	Walls and Fences.....	46
4.2.5	Signs and Entry Monuments	49
4.2.6	Lighting.....	49
5	Circulation plan	53
5.1	External Roadways and Entries.....	53
5.2	Internal Circulation	53
5.3	Emergency Vehicle Access	54
5.4	Local and Regional Connectivity	57
5.5	Pedestrian, Bicycle, and Public Transit Options.....	57
6	Infrastructure Plan	59
6.1	Grading.....	59
6.2	Stormwater Drainage and Treatment.....	63
6.3	Water Supply.....	63
6.4	Wastewater.....	64
6.5	Dry Utilities.....	68
6.5.1	Electricity.....	68
6.5.2	Gas.....	68
6.5.3	Telecommunications.....	68
7	Public Services and Facilities Plan	70
7.1	introduction to Public Services and Facilities	70
7.1.1	Schools	70

7.1.2	Parks, Recreation, and Open Space	71
7.1.3	Library Services	71
7.1.4	Fire Protection.....	71
7.1.5	Police Protection	71
7.1.6	Solid Waste Disposal	72
8	Facilities Financing Plan	73
8.1	Methods of Financing for Public Improvements and Services	73
8.1.1	Developer Funded Options	73
8.1.2	Special Assessment Districts	73
8.1.3	Community Facilities Districts and Mello-Roos	74
8.1.4	Other Funding Sources.....	74
8.2	Financing Public Improvements and Services.....	74
8.2.1	Circulation Improvements	74
8.2.2	Fire, Paramedics & Law Enforcement Services and Facilities	74
8.2.3	Schools	75
8.2.4	Recreational Facilities, Parks, and Open Space.....	75
8.3	Operations and maintenance of Public Improvements and Private Facilities.....	75
9	Specific Plan Administration	78
9.1	Overview	78
9.2	Implementation	78
9.3	Administration	78
9.4	Specific Plan Authority	79
9.5	Responsibility for Administration	79
9.6	Severability.....	79
9.7	Ambiguity	79
9.8	Substantial Conformance.....	80
9.9	Minor Deviations.....	80
9.10	Specific Plan Amendments.....	81
9.10.1	Minor Amendments	81
9.10.2	Major Amendments	82
9.11	Environmental Review	82

Table of Figures

Figure 1 Regional Map	4
Figure 2 Vicinity Map	5
Figure 3 Existing Conditions	8
Figure 4 Conceptual Site Plan	19
Figure 5 Conceptual Recreational Area Design.....	26
Figure 6 Conceptual SFD Plan 1 & 1X Floor Plans	32
Figure 7 Conceptual SFD Plan 2 & 2X Floor Plans	33
Figure 8 Conceptual Duplex Bldg. Plans.....	34
Figure 9 Conceptual Duplex Floor Plans	35
Figure 10 Conceptual Elevations.....	36
Figure 11 Conceptual Open Space Plan	39
Figure 12 Conceptual Landscape Plan	42
Figure 13 Conceptual Wall and Fence Plan.....	47
Figure 14 Conceptual Wall and Fence Examples	48
Figure 15 Conceptual Lighting Plan.....	51
Figure 16 Internal Driveway Cross Sections.....	55
Figure 17 Conceptual Circulation Plan	56
Figure 18 Conceptual Grading Plan (1 of 2)	60
Figure 19 Conceptual Grading Plan (2 of 2)	61
Figure 20 Conceptual Grading Plan (3 of 3)	62
Figure 21 Conceptual Water Distribution	65
Figure 22 Conceptual Wastewater Distribution	66
Figure 23 Conceptual Stormwater Distribution	67

List of Tables

Table 1 Distribution of Development.....	17
Table 2 Allowable Land Uses.....	18
Table 3 Development Standards.....	20
Table 4 Open Space Summary	38
Table 5 Conceptual Plant Material Guidelines.....	45
Table 6 Allowable Walls and Fencing Types	46
Table 7 Internal Driveway Dimensions	54
Table 8 Utility Providers.....	59
Table 9 Schools	70
Table 10 Financing and Maintenance Responsibilities	76

Specific Plan Summary

1 SUMMARY

1.1 INTRODUCTION

The Ascend Specific Plan hereafter also noted as “Specific Plan,” “Plan,” or SPA has been written with the intent to provide regulations for the development of an attractive, attached and detached townhomes residential community on the east side of Melrose Drive at the northern terminus of Diamond Street in the City of San Marcos, California. The following chapters will explain the vision for this community and the proposed development standards, design guidelines, utilities, infrastructure, and public services necessary to implement that vision and support future development.

1.2 SPECIFIC PLAN SUMMARY

The Ascend Specific Plan provides the City of San Marcos a comprehensive planning tool to help guide the orderly development of a new multi-land use development. Located on Melrose Drive at the northern terminus of Diamond Street, the 16.12-acre Specific Plan Area is located near the City of Carlsbad and unincorporated area of San Diego County in the southwestern portion of the City of San Marcos. The site is close to nearby light industrial/office uses and residential developments. The Specific Plan provides zoning for a attached and detached townhomes residential community complete with recreational opportunities which support a quality of life. The Plan Area includes up to two distinct land uses: a residential land use and open space land use. The residential aspect of this Specific Plan Area may include up to 160 dwelling units. In total, the maximum permitted density for the Specific Plan Area is 12.0 dwelling units per acre which equates to the City of San Marcos General Plan Low Medium Residential Density Residential (LMDR) 8.1-12.0 dwelling units per gross acre land use designation density. New dwelling units may range in size up to 3,000 square feet and include up to 5 bedrooms per unit or an optional next generation unit (Next Gen) for Duplex Plan B units. Each dwelling unit shall include private open space in the form of a minimum private yard space, or private patio space and/or private balcony space which exceeds 250 square feet of private open space area. The Specific Plan Area will be comprised of one lot (Lot ‘A’). Total open space for the Specific Plan Area totals approximately 9.4 acres and includes landscaping, slopes, water quality features, and recreational open space. Common recreational spaces within the Specific Plan Area total approximately 2.7 acres distributed throughout the Specific Plan Area and may be designed with urban-style amenities such as picnic stations, multi-use play fields, tot lots & playgrounds, sports courts, dog parks, and other similar recreational amenities. The Ascend Specific Plan will blend contemporary and modern architectural and landscape styles to reflect the urban setting. The result is a convenient, safe, and efficient development which contributes to the enhancement of the quality of life within the City of San Marcos.

1.3 SPECIFIC PLAN PREPARATION STATEMENT

The preparation of this Specific Plan began with a comprehensive analysis of the existing site conditions and entitlements including past approvals of interest wildlife agency permits any potential future constraints that may potentially affected the locations of development within the property. A series of maps, plans, and exhibits were prepared from that including site plans, infrastructure plans,

circulation plans, to provide a comprehensive snapshot of the overall development of this Specific Plan.

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Chapter 2 – Introduction

2 INTRODUCTION

2.1 SPECIFIC PLAN PURPOSE AND SCOPE

The Ascend Specific Plan is an all-inclusive document prepared to ensure the efficient development of a new residential community, and the accessory uses which are the hallmark of successful communities. The Specific Plan serves as both a policy document and a regulatory document for the systematic implementation of the policies and goals of the General Plan. As a policy document, the Specific Plan embodies the broad policy directives of the General Plan and applies those policies and goals to the establishment of objectives for the planning area. As a regulatory document, the Specific Plan provides direction for the assignment of land uses, development intensities, development regulation, architectural and landscape design guidelines, grading, infrastructure design and capacity standards, development phasing, and financing, which must be met to successfully implement the proposed development. The planning and review process established by the Specific Plan emphasizes the direct and comprehensive correlation between land use, transportation, public services, and infrastructure necessary to support the efficient development of the Specific Plan Area. When implemented, these elements of the Specific Plan will form a cohesive and rational development that complement and enhance the unique characteristics of this area of the city. Any subsequent development within the Specific Plan Area shall be consistent with the policies and regulations contained herein.

2.2 SPECIFIC PLAN OBJECTIVES

Specific Plans provide a tool for comprehensive and creative planning strategies that respond to the unique conditions of the site while implementing the goals and policies of the General Plan. The following objectives have been crafted to guide development that is consistent with the City of San Marcos General Plan:

1. Provide attached and detached townhomes housing opportunities close to employment uses, shopping opportunities, and transportation opportunities.
2. To the extent possible given site constraints, maximize the opportunity to provide housing for the City of San Marcos in the 8.1-12.0 dwelling unit density range which is comparable to low-medium density housing developments in the City of San Marcos.
3. Design a vehicular circulation system that adequately accommodates traffic and improved circulation efficiency in and around the Specific Plan Area.
4. Develop high-quality housing which supports the housing needs of the City of San Marcos and the region.
5. Create a development that promotes a high-quality-of-life by maximizing recreational open space and common gathering areas and fostering an outdoor community culture.
6. Establish development standards and design guidelines that ensure distinctive architecture, landscaping and recreational amenities that complement and enhance the existing built environment.

7. Institute a program for the long-term maintenance of the community to ensure all facilities are adequately maintained to City standards.
8. Finance or contribute a fair share of funding to all community services and infrastructure needed to support development proposed by the Specific Plan to promote economic stability.

2.3 CONTENTS OF THE SPECIFIC PLAN

Per California Government Code §65451, a specific plan shall contain the following written and graphic information:

- The specific plan shall include a statement of the relationship of the specific plan to the general plan.
- The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan.
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources where applicable.
- The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.
- A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out all of the above.

To comply with these requirements, the Ascend Specific Plan includes the following information:

- A summary of the Specific Plan and an introduction that includes the planning objectives for the Specific Plan which encompasses the goals of, and is consistent with, the General Plan regarding land use, circulation, resource management, community design, as well as public services and utilities (Chapter 1 and 2).
- Written descriptions and graphic illustrations of proposed land uses within the Specific Plan Area, including clearly identified specific development patterns and design standards (Chapter 3).
- Written descriptions and graphic depictions of architectural, landscape, and open space designs (Chapter 4).
- Written descriptions and graphic illustrations of proposed vehicle and pedestrian circulation systems for the Specific Plan Area and the connections to adjacent public and private circulation networks (Chapter 5).
- A grading, utility, and infrastructure plan that includes the location and extent of utility services necessary to serve the Specific Plan Area (Chapter 6).
- A public services and facility plan that identifies the specific agencies and extent of public services and facilities necessary to serve the Specific Plan Area (Chapter 7).
- A public facility financing and phasing plan that provides the general outline for the financing mechanisms proposed and the phasing of public improvements to the Specific Plan Area (Chapter 8).

- An implementation and amendment program that provides the mechanisms available for project review procedures and regulations for specific development within the Specific Plan Area and any future amendments to the Specific Plan (Chapter 9).

2.4 PLANNING AREA DESCRIPTION

The Ascend Specific Plan Area is generally located in north San Diego County in the southwestern area of San Marcos within the Questhaven/La Costa Meadows Neighborhood. The 16.1-acre Specific Plan Area encompasses one parcel (Assessor Parcel Number 223-341-17-00) located on Melrose Drive.

The area surrounding the Specific Plan is predominantly developed with light industrial uses and residential land uses.

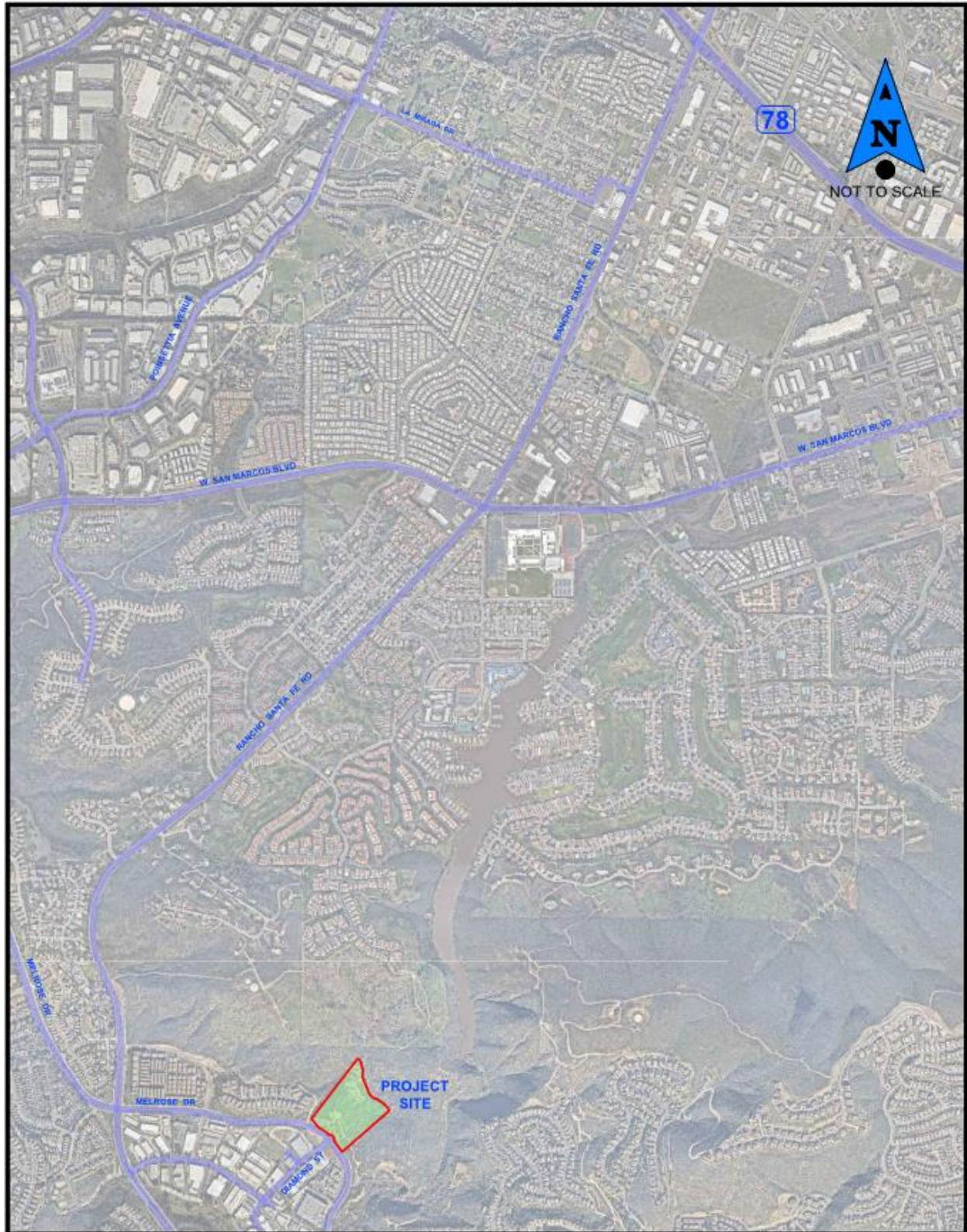
2.4.1 Regional and local Setting

The Ascend Specific Plan Area encompasses approximately 16.12 gross acres. As illustrated in **Figure 1, Regional Map** and **Figure 2, Vicinity Map**, the SPA is situated in northwestern San Diego County in unsectioned land of Township 12 South, Ranch 3 West within the City of San Marcos, in an area defined as the Questhaven/La Costa Meadows Neighborhood by the City's General Plan. The Specific Plan Area is located on the southwestern area of the city near the City of Vista as well as the City of Carlsbad on Melrose Drive approximately three (3) miles from Highway 78 and approximately six (6) miles from Interstate 15. Other uses near the Specific Plan Area include attached and detached townhomes residential neighborhoods, undeveloped land, and light industrial uses.



Regional Map
Ascend Specific Plan

Figure 1



Vicinity Map
Ascend Specific Plan

Figure 2

2.4.2 Site Characteristics & History

The Specific Plan Area slopes up from the western property line to the east and has a utility easement bisecting the parcel from the north to south along the western edge of the property. The property elevation ranges from 510 feet (ft) above mean sea level (AMSL) at the north portion of the site to approximately 415 ft AMSL at the southwest corner of the property near Melrose Drive. Attached and detached townhomes residential neighborhoods are located to the northwest west of the Specific Plan Area. Light industrial development is located across Melrose Drive off Diamond Street to the southwest of the property. Undeveloped property surrounds the parcel on the north, east, and southeast with the preserved parcel that was processed with the last entitlement effort located directly adjacent and northeast of the Specific Plan Area.

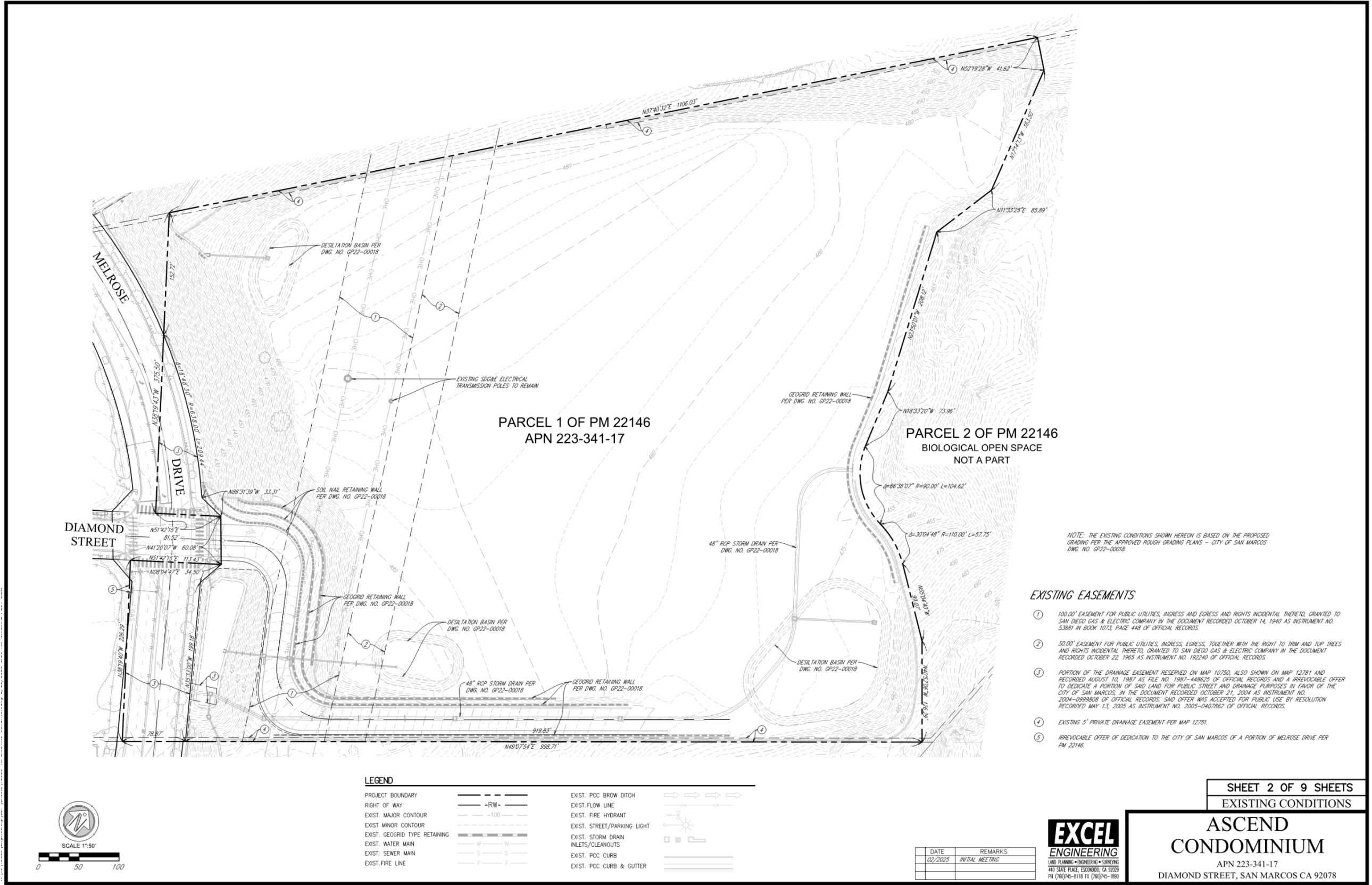
The property was originally zoned as Light Industrial (L-I) consisting of 15 parcels totaling approximately 22.91-acres which was subsequently consolidated and processed for a single large industrial pad with the City of San Marcos (Tentative Parcel Map TPM20-0001/Parcel Map 13066). The past entitlement effort combined the 15 parcels into two (2) parcels; Parcel “A”, the current developable parcel, which is approximately 16.1 acres and Parcel “B”, which is not a part of the Specific Plan Area, is a 6.85-acre parcel that was permitted and preserved as a permanent open space parcel through the appropriate wildlife agencies. The approved industrial entitlement includes an approved grading permit approved wildlife agency permits and was cleared of vegetation and rough graded in anticipation of future development.

After approval of the TPM20-0001/Parcel Map 13066 in 2021 the property owner(s) processed and received a Section 7 Consultation and a Nationwide 39 permit from the United States Army Corps of Engineers (USACOE), a Biological Opinion from the United States Fish and Wildlife (USFW), a Clean Water Act (CWA) Section 401 Water Quality Certification from the Regional Water Quality Control Board (RWQCB), and a 1602 Streambed Alteration permit from the California Department of Fish and Wildlife (CDFW). All permits were issued in 2024, and the property owners subsequently took reliance on the permits in 2025 by clearing and grubbing the property. Prior to issuance of the wildlife and resource agency permits, the mitigation measures outlined in the biological technical report that was reviewed and approved in 2025, were implemented. All project design elements identified in the biological technical report shall be implemented by this Specific Plan. Similarly, all cultural mitigation and monitoring requirements identified in cultural report prepared and approved in October of 2021 were met prior to and during the clearing, grubbing, and grading work.

As mentioned above, the property received clearing permits from State and Federal wildlife agencies and the City of San Marcos in 2024. The developable portion of the property was subsequently cleared of vegetation and remains in a “mowed” state to facilitate future development of the property. Cultural reporting and monitoring were completed during the ground disturbing activities. The utility easement discussed earlier is approximately 150’ wide and is located close to the western edge of the parcel and is granted to San Diego Gas and Electric (SDG&E) for access and maintenance of their power transmission lines transecting the property (**Figure 3**). That easement will remain in place and no structures or any development which would hinder access and maintenance of the power transmission lines will be allowed within the easement area.

Applicable permits from SDG&E and/or the California Public Utilities Commission may be required for development within this easement.

The property had been zoned L-I for many years and in that time, marketing and outreach efforts to various potential users were unsuccessful. In 2025, the efforts to develop the property as an L-I development were abandoned due to multiple failed attempts to secure an industrial user.



Existing Conditions
Ascend Specific Plan

Figure 3

2.4.3 Regulatory Setting

Prior to adoption of the Specific Plan, the property had a light Industrial land use designation (L-I) by the General Plan and San Marcos Zoning Code. The L-I zoning was categorized as “Light manufacturing, processing, assembly, wholesale, office, and research and development laboratories, all within enclosed buildings with limited outdoor storage, in freestanding or campus-style industrial development. Supporting uses, such as office, limited retail, and business services are also allowed.” Concurrent with this Specific Plan, a General Plan Amendment and Rezone application were processed to re-designate the parcel to “Specific Plan Area”, thereby allowing for the development of the low medium-density attached and detached townhomes community proposed herein.

The attached and detached townhomes residential development proposed by this Specific Plan implements AB 32, Strategy 3 of the San Marcos Climate Action Plan (CAP), SB 743, numerous General Plan Goals, and various other state regulations related to reducing greenhouse gas emissions. In accordance with AB 32, the Global Warming Solution Act, the State adopted SB 97, which revised the California Environmental Quality Act (CEQA) Guidelines to require an analysis of greenhouse gas emissions as part of the CEQA process and established standards for the content and approval process of plans to reduce GHG. To comply with these requirements, the City of San Marcos adopted the Climate Action Plan (CAP) in 2013. A CAP is a long-range planning document that identified strategies to reduce greenhouse gas emissions. Since then, the State and CARB have established stricter targets for reducing greenhouse gas emissions. In response, the City of San Marcos update the CAP in 2020 to reflect these new requirements. The State also adopted SB 743 to change the way CEQA evaluates traffic. Vehicle Miles Traveled (VMT) became the new metric to promote development that is walkable, has access to transit and bicycle facilities, and/or implements other mitigation measures that discourage the use of single occupancy vehicles. To implement SB 743 and Strategy 3 of the San Marcos CAP, the City of San Marcos adopted the Transportation Impact Analysis Guidelines in 2020.

The City of San Marcos is the lead agency tasked with overseeing environmental analysis under the California Environmental Quality Act (CEQA). Within that analysis, reports, surveys, analysis, and findings have been prepared, reviewed, and accepted by the city. Those methods must conform with the rules and regulations set forth by the State of California and the United States Clean Water Act of 1972. Implementation of this Specific Plan will address any potential impacts from property development.

2.5 RELATIONSHIP TO THE SAN MARCOS GENERAL PLAN

As indicated in Section 2.1, Specific Plans are a tool that allows for the systematic implementation of the City’s General Plan, effectively linking the implementing policies of the general plan to individual development proposals in a defined area. As such, Specific Plans are required to provide a detailed statement of the relationship of the specific plan to the general plan, including consistency between both plans and a comparison of goals, objectives, and policies. The following sections discuss the various elements of the San Marcos General Plan and compare the stated intent of each element to the development proposed by this specific plan.

2.5.1 Specific Plan Land Use

Chapter 20.250 of the San Marcos Zoning Ordinance establishes specific standards to regulate development by authority from the General Plan, describes specific plans as tools for the systematic implementation of the San Marcos General Plan. As a planning tool, the specific plan derives its authority from state and local law to provide a more precise framework for the distribution of land uses, infrastructure, development standards, resource conservation, and implementation measures necessary to carry out the goals of the General Plan. The Ascend Specific Plan accounts for the unique physical characteristics, constraints, and resources of the Specific Plan Area to provide specific development guidelines for projects within the planning area. According to California Government Code Section 65454, a specific plan must be consistent with the adopted General Plan. The Ascend Specific Plan's consistency with the General Plan is described in more detail below.

2.5.2 Land Use and Community Design Element

As stated in the introduction to the Land Use and Community Design Element, the goals and policies of the general plan are designed to:

- Ensure land use diversity and balanced development that encourage an efficient and responsible relationship between land use, transit, open space, and areas of environmental sensitivity.
- Establish and maintain community connections that better connect people to places.
- Promote economic strength and stability by maintaining a strong local economy and employment base.
- Create a synergy between the business community and academia to promote San Marcos as the educational hub for North County.
- Encourage integration of high-quality and sustainable development through the establishment of development standards and land use patterns that encourage long-term environmental sustainability.
- Promote community design that produces a distinctive built environment with memorable places.
- Direct and sustain growth through management that ensures adequate provision of urban services.

The Specific Plan achieves this as follows:

- Development proposed by the Specific Plan proposes to utilize the property to its highest and best use. Current market demands and the demand for new housing make the property suited for housing. Residential land uses incorporate all USACOE, USFW, CDFW, and RWQCB design elements required by the approved agency permits.
- The proposed residential uses include for-sale, workforce housing that will support local businesses by providing financially attainable housing opportunities for employees compared to traditional detached single-family homes available in the area.
- New housing proposed by this Specific Plan will be designed to current Building Codes and Standards that include some of the most stringent requirements in the United States for water, material, and energy efficiency; improved air quality; and more. The specific plan implements

the strategies of the City's Climate Action Plan to reduce greenhouse gases by including elements that support transit use, active modes of transposition, and the use of electric vehicles.

- The Specific Plan provides a detailed set of architectural and landscape design guidelines to ensure a distinctively built environment with unique and memorable amenities and spaces.
- Infrastructure and service plans provided within this specific plan have been developed to ensure that adequate provisions for urban services are available. Financing for both the construction and long-term maintenance of necessary infrastructure and services has also been identified in the final chapter of this Specific Plan.

The Specific Plan is located in the Questhaven/La Costa Meadows Neighborhood which the General Plan describes as "The Questhaven/La Costa Meadows Neighborhood is located in the southernmost portion of the City. This neighborhood is home to two large adopted specific plans, San Elijo Hills and Old Creek Ranch (previously known as University Commons), which are still developing. Notable within this neighborhood is the Cerro de Las Posas Double Peak ridgeline featuring Double Peak Park, which has unobstructed 360-degree views of much of North San Diego County and beyond, including the Pacific Ocean. The former 200-acre San Marcos Landfill, now closed, is also located within the southern portion of this neighborhood. This 200-acre area has been revegetated with native coastal sage scrub and chaparral habitat and will remain designated as open space"..

2.5.3 Mobility Element

As stated in the introduction, the purpose of the Mobility Element is to strategically enhance and manage the mobility network as a critical component in continuing the city's vibrant commercial and industrial areas, its thriving residential neighborhoods, its diverse job and employment uses, and its unique student population. The Mobility Element focuses on maximizing the quality, comfort, safety, walkability, livability, and bikeability of the City's streets, sidewalks, trails, and multi-modal transportation system while incorporating key ingredients of sustainability.

The City of San Marcos' Active Transportation Plan (ATP) identifies interim and ultimate improvements to Melrose Drive to facilitate alternative modes of transportation and improve pedestrian and bicycle safety. Interim and ultimate improvements for Melrose drive are shown in the ATP as a Class II buffered bike lane. Additionally, a multi-purpose decomposed granite trail exists along the Specific Plan frontage. Therefore, the Specific Plan proposes installing two bike ramps on Melrose Drive to direct bicyclists onto and off of the roadway where the existing off-street trail sections exist.

The Specific Plan further implements the Mobility Element as follows:

- Implementing development near transit opportunities, shopping centers, and employment centers to encourage residents to utilize alternative modes of transportation thereby relieving stress on local and regional roadways.
- Including design guidelines that promote facilities and improvements which maintain or promote alternative modes of transportation.
- Installing EV charging and bicycle parking to support the use of electric vehicles and active modes of transportation.

The Specific Plan area will incorporate EV charging and all city-required improvements/programs that promote alternative transportation options that limit the impact to city roadways and facilities. These programs and plans will provide specific measures the HOA must implement such as opportunities for car and van pool programs, dedicated car and van pool parking spaces, offering reduced fares for bus and transit, and other measures meant to reduce the project's vehicle footprint.

2.5.4 Conservation and Open Space Element

As stated by the General Plan, the purpose of the Conservation and Open Space Element is to identify natural, cultural, historic, and open space resources.

The Conservation and Open Space Element also seeks to address air pollution, climate change, energy independence, water supply and water quality. Development proposed by the specific plan will be designed to current Building Codes and Standards that include the most stringent requirements in the United States for water, material, and energy efficiency; improved air quality; stormwater treatment; and more. The specific plan implements the strategies of the City's Climate Action Plan to reduce greenhouse gases by including elements that support transit use, active modes of transportation including pedestrian and bicycles, and the use of electric vehicles. Proximity to transit and trails and the walkable design of the community have the potential to significantly reduce vehicle miles traveled (VMT) for improved air quality.

During the previous industrial pad entitlement efforts and the associated biological analysis (Tentative Parcel Map TPM20-0001/Parcel Map 13066), the Specific Plan Area was identified as a mix of disturbed habitat and native vegetation communities. In 2024 federal, state, and local resource agencies issued permits to clear the site along with the preservation of approximately 6.85 acres of habitat as mitigation for the clearing. As a result, no further biological impacts will occur from future development.

2.5.5 Parks, Recreation, and Community Health Element

According to the General Plan, the purpose of the Parks, Recreation, and Community Health Element is to maintain and increase access to parks, trails, recreational facilities, and community service programs. In addition, it aims to provide a healthy and safe community by taking into consideration community health and family enrichment needs of community members, including older adults, children, persons with special needs, and residents of all ages.

The Specific Plan includes an open space plan and an amenity package designed to address the recreational needs of the anticipated community demographics. Standards for both private open space and common recreational open space are provided to ensure an adequate amount of space is provided to support a high quality of life. Selected amenities cater to an urban lifestyle and consider not only families, but young singles and couples who may be purchasing their first home within this community. Consideration for landscape design and architecture promotes pedestrian scaled development. New development is also required to pay public facility fees which fund its fair share of public park and recreational facilities within the City.

2.5.6 Safety Element

The Safety Element is designed to ensure public health, safety, and welfare of residents and their property by identifying and planning for anticipated natural and human-caused safety issues including geologic and seismic hazards, flood, fire and more.

Hazards associated with the development proposed by the Specific Plan were evaluated as part of the CEQA process and no significant hazards were identified. Homes and landscaping will be designed, built, and installed to current safety codes and standards. Additionally, the specific plan includes development and design standards that incorporate Crime Prevention Through Environmental Design (CPTED) strategies. CPTED strategies consider design standards that deter criminal activity and build a sense of community between neighbors so that residents are encouraged to take ownership of their neighborhood, watch for and discourage crime, and protect one another. A fire protection plan which identifies ways to minimize and mitigate potential for loss from wildfire exposure shall be submitted to and reviewed by the San Marcos Fire Department for this residential development.

2.5.7 Noise

The Noise Element Identifies potential problems and noise sources threatening community safety and comfort with the intent of limiting the community's exposure to excessive noise levels. Noise impacts to new residents as well as noise impacts generated by the development of the Specific Plan were evaluated as part of the CEQA process. Design measures such as STC 33 rated dual pane windows and mechanical ventilation or other similar design items may be incorporated to achieve the necessary interior noise reductions to meet the city's standards for residential units exposed to noise generators. It is not anticipated that mitigation measures will be required to reduce potential noise impacts to a less than significant level. Additionally, any development proposed within the specific plan is subject to the City's noise standards.

2.5.8 Housing

As required by State law, the City of San Marcos Housing Element identifies the housing needs of both the existing and projected population and ensures that the land use plan provides adequate capacity to provide safe, suitable, and affordable housing for City residents. The Housing Element is coordinated with each element to ensure comprehensive policies and goals throughout the General Plan. These policies and goals form a framework that the Ascend Specific Plan will follow to systematically implement a comprehensive housing development plan that is consistent with these goals and policies. The residential development proposed by the Ascend Specific Plan will encompass approximately 16.1-acres and will include a maximum of 160 attached and detached townhomes residential dwelling units for an approximate total density of up to 12.0 dwelling units per acre (du/acre). This residential density is equivalent to a Low Medium Density Residential (LMDR) General Plan land use classification, which allows for 8.1-12.0 du/ac. Homes proposed by the Ascend Specific Plan are designed as attainable housing with a range of unit sizes and price points, creating opportunities for home ownership that will be attractive to varying income levels. The dwelling units proposed also offer a style of home different from traditional detached single-family homes largely found in the general area and provide a residential density near employment, schools, retail centers, as well as transportation. Therefore, the Ascend Specific Plan is consistent with the goals provided within the Housing Element of the General Plan.

2.6 CEQA COMPLIANCE

An Environmental Impact Report (EIR) was prepared for the Ascend Specific Plan in accordance with the California Environmental Quality Act (CEQA) and serves as a comprehensive environmental document for subsequent development within the Specific Plan Area. The EIR examines the relationship the Specific Plan implementation may have on potential environmental impacts to the Specific Plan Area and makes determinations for mitigation measures to reduce impacts to below levels of significance. The EIR was certified concurrently with the Specific Plan by the decision-making body. The EIR considered the following project alternatives:

- No Project/No Development Alternative
- No Project/Existing General Plan Alternative
- Reduced Project Footprint Alternative (50% reduction from proposed maximum units = 80 SFD).

The alternatives were analyzed and ultimately rejected because they did not meet the project goals identified in this Specific Plan and the EIR.

A Mitigation Monitoring and Reporting Program (MMRP), adopted in accordance with Public Resources Code Section 21081.6, ensures the proper implementation of the mitigation measures outlined within the EIR. All future development within the Specific Plan Area is required to adopt and implement the mitigation measures specified in the MMRP, if applicable.

Subsequent development proposals within the Ascend Specific Plan, if found by the City of San Marcos to be consistent with this Plan and the impact analysis and mitigation measures found in the certified EIR, may be approved, and implemented without further public environmental review according to California Government Code Section 65457. Prior to amendment to this Specific Plan and/or a Attached and detached townhomes Site Development Plan, the City of San Marcos shall determine if further environmental review and analysis is required to satisfy CEQA requirements.

2.7 PROJECTS REQUIRING CONSISTENCY WITH THE SPECIFIC PLAN

Discretionary actions and projects proposed within the Specific Plan Area are required to demonstrate consistency with this Specific Plan. The actions processed under this Specific Plan which require consistency prior to approval, and/or adoption by the San Marcos City Council are the General Plan Amendment and Rezone of the project site from Light Industrial (LI) to Specific Plan Area (SPA),, a Tentative Subdivision Map (TSM), a Attached and detached townhomes Site Development Plan (MFSDP), and a Conditional Use Permit (temporary use of a rock crusher). Subsequent projects proposed within the Specific Plan Area must demonstrate compliance with the Specific Plan's policies, rules, regulations, and design standards. More discussion on what is considered a project under this Plan can be found in the Implementation Chapter.

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3 LAND USE AND DEVELOPMENT STANDARDS

Overview

This chapter regulates the distribution and intensity of land uses and establishes development standards that will govern all future development within the Ascend Specific Plan. These standards and guidelines provide a foundation for the community's character and sense of place that will ultimately result in an attractive and functional community.

3.1 LAND USE AND DEVELOPMENT OBJECTIVES

Ascend Specific Plan provides the community with an appealing residential development founded on solid design principles. The Plan Area's natural features provide an opportunity to create a distinct pocket neighborhood while respecting the natural topography and the character of its surrounding neighborhoods.

This Specific Plan will address community planning goals and will incorporate core recreational concepts into the development design. Through careful engineering the site will present a residential design conscious of private open space, recreational open space, and orderly circulation design thereby reducing the projects impacts and maximizing residential opportunities. These goals include:

- Create a sustainable development through implantation of applicable green construction methods including the use of all electric mechanical equipment and appliances.
- Design a circulation system that is mindful of pedestrian, bicycle, vehicle, and alternative transportation options which safely link the development to the larger community.
- Create a series of built features, using architecture design and landscape design that provide a distinct built environment which is pleasing to residents and neighbors alike.
- Maintain the feel of the community through use of building materials that complement and enhance the surrounding environment and neighborhoods.
- Create a distinct recreational environment though the careful placement of open space features that blend with natural landforms.

3.2 DISTRIBUTION OF LAND USES

The 6.1-acre Specific Plan Area is comprised of two primary land uses: Up to 160 attached and detached townhomes residential dwelling units for a maximum density of 12.35 dwelling units per acre; and open space land uses totaling approximately 8.6-acres. The overall site density is equivalent to the Low Medium Density Residential (LMDR) General Plan land use classification, which allows for 8.1-12.0 du/ac. Land use permit requirements, regulations, and development standards of this section shall be applicable to all existing and new uses, structures, modifications, additions, and activities within the Specific Plan Area.

Table 1, Distribution of Development, provides a summary of the areas dedicated to roadways, buildings, conceptual open space, and various types of allowable uses proposed within the planning area.

Table 1 Distribution of Development

Residential Land Use	Total Gross Area (in acres)	Target Density (DU/acre)	Max. Unit Range
Driveways/Alleys/Parking/loading	3.5	X	X
Attached and detached townhomes Residential	3.2	8.1-12.0	160
Common Area Landscaping, slopes, and Bio-Retention Basins	6.7	X	X
Private Open Space	XX.X	X	X
Recreational Open Space	2.7	X	X
Open Space Subtotal ¹	9.4	-	-
Site Total	16.1 ²	8.1-12.0 du/ac	-

¹Open Space subtotal does not include private open space areas.

²Site Total includes Attached and detached townhomes Residential (MFR). MFR includes all roadways, common & private open space, & bio retention area.

3.2.1 Allowable Uses

Table 2, Allowable Land Uses identifies the permits required to establish uses allowed within the planning area, consistent with this Specific Plan. Allowed uses shall be for the express purpose of establishing and protecting the residential living environment and open space envisioned by this Specific Plan. Residential and open space uses are intended to be the primary permitted uses. All other uses are intended to support residential or open space uses. When indicated, please also refer to the sections identified under the “Additional Use Regulations” column for additional operational standards and regulations applicable to the use. When a use is not specifically listed, that use is not permitted; however, in accordance with Section 9.7 through 9.10 of Chapter 9 of this document, the Planning Director shall have the authority to determine whether the proposed use shall be permitted or conditionally permitted based on a finding of substantial conformance if the proposed use is similar to a use already listed in **Table 2**.

Table 2 Allowable Land Uses

Use	Permit Required	Additional Use Regulations
Residential Land Uses		
Apartments	MFSDP	
Condominiums	MFSDP	
Townhomes	MFSDP	
Open Space Land Uses		
Common Area Open Space	P	Refer to Section 3.
Private Open Space	MFSDP	Refer to Section 3.
Accessory Uses		
Non-Public Antenna or Communications Facility	CUP	SMMC
Alternative Energy Systems	P	SMMC; Title 24 California Building Standards Code. Includes Photovoltaic Systems and Solar Water Heaters.
Signs	P	SMMC

Symbol:

P = Permitted use subject to compliance with all applicable provisions of the Ascend Specific Plan.

CUP = Conditional Use Permit.

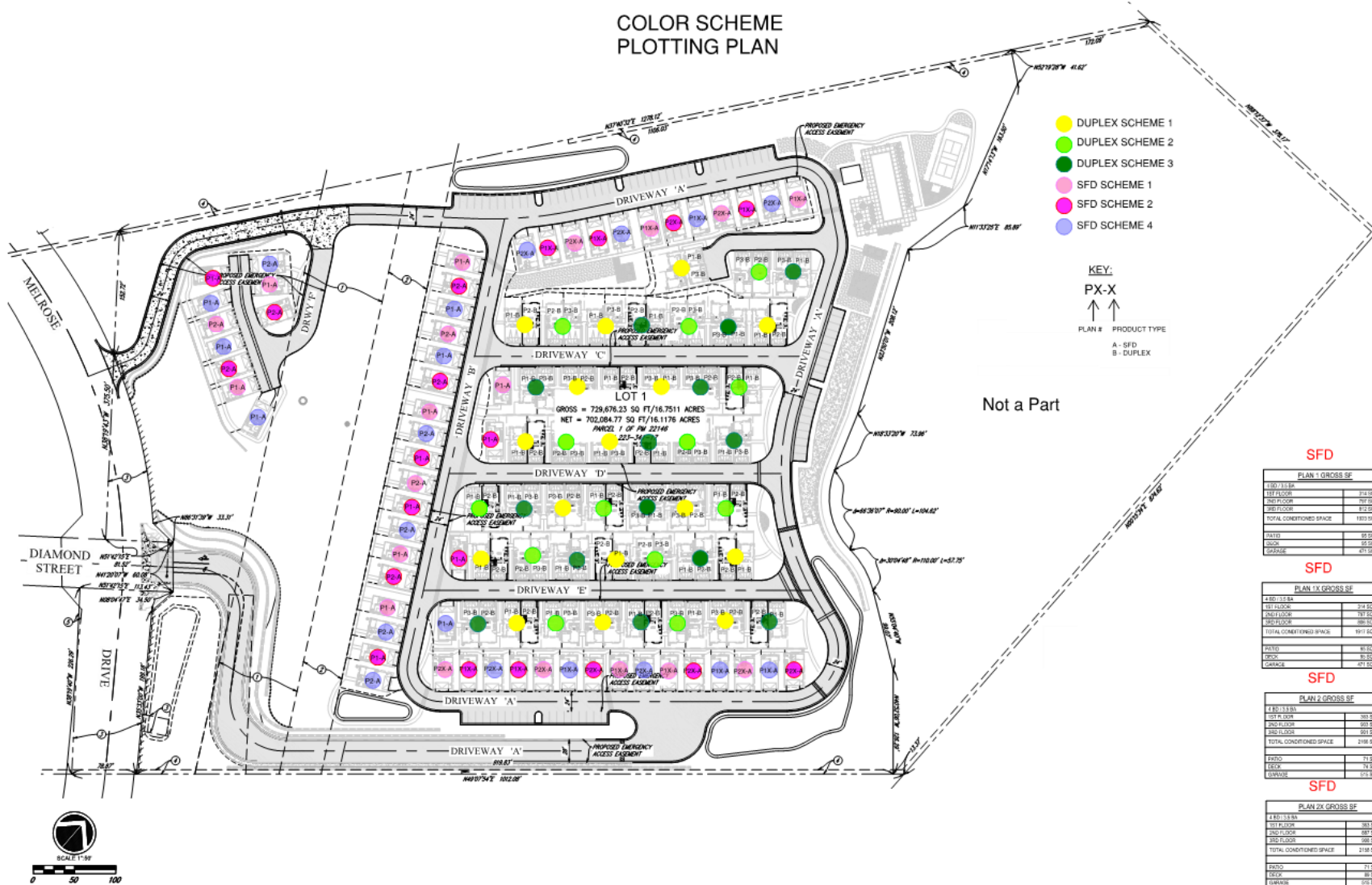
SMMC = San Marcos Municipal Code.

MFSDP = Attached and detached townhomes Site Development Plan

3.3 DEVELOPMENT STANDARDS

Table 3, Development Standards, provides a list of development standards applicable to all new development within the Ascend Specific Plan Area. These standards include building setbacks, height and stories limitations, open space requirements, and more. Development standards not identified in this Chapter, and which may be relevant to a proposed development within the Specific Plan Area, shall rely on Chapter 20 of the City of San Marcos Municipal Code. **Figure 4** provides a visual representation of the Conceptual Site Plan including planning areas which may be included in the Specific Plan. Development standards apply to the residential planning areas.

COLOR SCHEME PLOTING PLAN



PROJECT SUMMARY

RESIDENCES	147 HOMES
AREA	16.12 AC
DENSITY	10.97 DU/AC

UNIT MIX

DUPLEXES	
16 PLAN 1	2,077 SF
14 PLAN 2	2,263 SF
14 PLAN 3	2,338 SF
44 TOTAL	97,618 SF

UNIT MIX

SINGLE FAMILY	
19 PLAN 1	1,923 SF
13 PLAN 1X	1,917 SF
13 PLAN 2	2,166 SF
14 PLAN 2X	2,158 SF
59 TOTAL	119,820 SF

PARKING SUMMARY

REQUIRED	147 DU X 2.33 SP	343 SP
GARAGE		294 SF
OPEN		79 SF
TOTAL PROVIDED		373 SP

SFD

PLAN 1X GROSS SF

1ST FLOOR	714 SQ FT
2ND FLOOR	787 SQ FT
3RD FLOOR	812 SQ FT
TOTAL CONDITIONED SPACE	1313 SQ FT
PAVING	8150 SQ FT
DECK	8150 SQ FT
GARAGE	21150 SQ FT

SFD

PLAN 1X GROSS SF

1ST FLOOR	714 SQ FT
2ND FLOOR	787 SQ FT
3RD FLOOR	812 SQ FT
TOTAL CONDITIONED SPACE	1313 SQ FT
PAVING	8150 SQ FT
DECK	8150 SQ FT
GARAGE	21150 SQ FT

SFD

PLAN 2X GROSS SF

1ST FLOOR	801 SQ FT
2ND FLOOR	801 SQ FT
3RD FLOOR	801 SQ FT
TOTAL CONDITIONED SPACE	2403 SQ FT
PAVING	7150 SQ FT
DECK	7150 SQ FT
GARAGE	21150 SQ FT

SFD

PLAN 2X GROSS SF

1ST FLOOR	801 SQ FT
2ND FLOOR	801 SQ FT
3RD FLOOR	801 SQ FT
TOTAL CONDITIONED SPACE	2403 SQ FT
PAVING	7150 SQ FT
DECK	7150 SQ FT
GARAGE	21150 SQ FT

DUPLEX

PLAN 1 GROSS S.F.
 4 BR/3.5 BA

1ST FLOOR	448 SQ FT
2ND FLOOR	781 SQ FT
3RD FLOOR	818 SQ FT
TOTAL LIVING	2047 SQ FT
DECK	8150 SQ FT
GARAGE	415 SQ FT

DUPLEX

PLAN 2 GROSS S.F.
 4 BR + LOFT / 3.5 BA

1ST FLOOR	633 SQ FT
2ND FLOOR	1000 SQ FT
3RD FLOOR	1000 SQ FT
TOTAL LIVING	2633 SQ FT
DECK	8150 SQ FT
GARAGE	415 SQ FT

DUPLEX

PLAN 3 GROSS S.F.
 4 BR/3 BA + NEXT GEN
 SUITE (1BR / 1BA)

1ST FLOOR	678 SQ FT
2ND FLOOR	803 SQ FT
3RD FLOOR	817 SQ FT
TOTAL LIVING	2308 SQ FT
DECK	8150 SQ FT
GARAGE	177 SQ FT

Conceptual Site Plan
 Ascend Specific Plan

Figure 4

Table 3 Development Standards

Use	Standards	Additional Standards/Notes
Density and Intensity		
Maximum Density	12.0 du/ac	Shall not exceed 160 dwelling units
Product Type	One and two-family dwelling units	Duplex Plan B includes a Next Gen option (up to 28)
Maximum Developable Lot Coverage	50%	Building footprints only.
Maximum Building Height	45 feet/3 stories	Whichever is less, as measured from the adjacent grade to the top of the tallest roof or architectural feature. If included, a mezzanine shall not count as a story.
Development Setbacks		
Melrose Drive.	50'	Measured from ROW to buildings.
Property Line	10'	Measured from external boundary of project site. Setbacks must conform with any requirements as defined in the approved wildlife agency permits.
Building Setback from Driveway	0'	
Garage Driveway	0-3 feet or 18 feet plus.	Measured from the face of garage door. Street corner units and a small number of units located at odd angles may have driveway dimensions exceeding 3' but less than 18'. Refer to Section 3.3.2 for parking restrictions.
Building Separation	5 feet minimum	Measured wall to wall and consistent with adopted Building Code based on building design
Accessory Structures	5' from any exclusive use area. Balconies shall have a 10' setback from any exclusive use area.	Applies to attached or detached accessory structures.
Parking (parking space dimensions shall comply with current standards of SMMC 20.340.)		
Dwelling Unit	Min. 2-car garage (20' x 20' clear interior space)	4' min clearance at the front 3' of garage, otherwise 7' min clearance.
Next Gen Unit	1 space per unit	Refer to Section 3.3.2
Guest	Min. 1 space per 3 units	Refer to Section 3.3.2

Bicycle	Garage space for bicycle parking. 1 visitor bicycle parking rack.	Refer to Section 3.3.2
Post office Parking	A dedicated area shall be striped for post office parking adjacent to mailbox location	
Open Space		
Private Open Space	Min. 250 sf total of patio/yards/deck/balcony per unit	Combination of any private open space element may be utilized to achieve the min. SF requirement. Refer to Section 3.3.3
Common Open Space	Area equal to 30% of livable ground floor area of all units	Refer to Section 3.3.3
Other Standards		
Walls and Fencing	Walls/fences enclosing private side and rear yards shall not exceed 6'. Walls/fences enclosing private patio areas where access to the front door is provided shall not exceed 42" (3.5').	Refer to Section 3.3.4. Walls and fencing must conform with any requirements identified in the approved wildlife agency permits.
Landscaping		Refer to Section 3.4 Landscaping must conform with any requirements identified in the approved wildlife agency permits.
Signage		Refer to Section 3.4.2. Signage must conform with any requirements identified in the approved wildlife agency permits.

3.3.1 Density and Intensity

The principal land uses within the Specific Plan include attached and detached townhomes residential land uses and their respective private and common recreational open space. The Specific Plan Area is approximately 16.1-acres and includes a maximum of 160 attached and detached townhomes dwelling units for a total maximum density of 12 du/acre.

3.3.2 Parking

The purpose of this section is to regulate the provision of off-street parking for all residential use within the planning area. Parking standards have been developed in accordance with the SMMC Section 20.340 Off-Street Parking and Loading.

A. General Requirements

1. Parking shall only be permitted in designated parking spaces and inside garages. No parking shall be permitted in Private Drives, Private Drive Aisles, or driveways.
2. All circulation, ingress and egress, and off-street parking areas shall be surfaced with asphalt or cement concrete paving, designed to withstand repeated vehicular traffic. Other paving material may be used, such as pervious surfaces, subject to the approval of the Planning Director and/or City Engineer.
3. All storm water runoff shall be conveyed into an appropriately designated drainage facility on-site. Drainage facilities shall be provided in accordance with the specifications of the City Engineer. Storm water runoff shall be treated per the requirements of the latest National Pollution Discharge Elimination System (NPDES) permit for the San Diego Region, Municipal Separate Storm Sewer System (MS4) permit, and City of San Marcos BMP Design Manual prior to entering the city's separate storm drain sewer system.
4. All guest parking spaces, Private Drives, Private Drive Aisles, pedestrian crossings, driveways, and fire lanes shall be striped or otherwise designated to provide safe access and circulation. Pavement markings, signage, and other distinctions shall be maintained in a visible and legible manner.
5. Parking for mail delivery will be coordinated with United States Postal Service at final engineering and will identify an area dedicated for mail truck parking, delivery vehicles, and mail-box locations.

B. Garages/Covered Parking

The following standards shall apply to all private residential garages within the Specific Plan Area:

1. Condominium garages shall provide a minimum of two (2) parking spaces.
2. Each interior garage parking space for units shall maintain an unobstructed dimension 20 feet long and 10 feet wide with a minimal vertical clearance of seven (7) feet, except the front three (3) feet of a parking space located at the front of the garage may have a vertical clearance of four (4) feet.
3. Garages shall be designed to provide adequate storage for three (3) waste carts. Waste cart storage space shall not encroach into the required parking space area.
4. Bicycle parking shall be allowed within garages.
5. Garage spaces shall be used for parking and not storage, which shall be enforced through the Community's Covenants, Conditions, & Restrictions (CC&Rs).

C. Guest Parking/NextGen Parking

The following standards apply to all guest parking and NextGen unit parking within the Specific Plan Area.

1. A minimum of 1 guest space per 3 units shall be required for guest parking. A minimum of 1 space per NextGen unit shall be required. Calculations for the

required number of spaces of 0.5 or greater shall be rounded up to the nearest whole number.

2. Parking Space dimensions shall be provided as follows:
 - a. Perpendicular guest parking spaces shall have a minimum dimension of nine (9) feet wide by 18 feet long. Bumper guards or wheel stops shall be provided in such a manner as to ensure that no portion of any parked vehicle shall touch any wall, fence, building or project beyond any lot lines bounding a parking area facility. In lieu of bumper guards or wheel stops, the paved parking space length may be decreased by up to two (2) feet by providing an equivalent vehicle overhang into landscape areas or paved walkways. Such an overhang area shall not be considered as part of any open space requirement. In no case shall such an overhang be considered part of a required walkway or sidewalk width.
 - b. If provided, parallel guest spaces shall provide a minimum dimension of nine (8) feet wide by 22 feet long.
3. Where possible, guest parking spaces should be evenly distributed throughout the Specific Plan Area and designed to occur along private driveways where possible.
4. To provide shade and reduce the heat island effect, rows of new parking shall be broken up with tree planters provided at a minimum of one (1) tree for every five (5) parking spaces. Tree planters shall have a minimum interior dimension of five (5) feet. Trees shall be a minimum 24-inch box size and shall be designed to achieve a goal of fifty percent (50%) shade within fifteen (15) years of planting. Landscape irrigation shall be provided per the requirements of the City of San Marcos Water Efficient Landscape Standards (WELO).
5. Guest parking spaces shall be solely used for parking, not for storage; display for sale or lease; or repair of vehicles, trailers, recreation vehicles, boats, or similar.
6. In addition to required guest spaces, at least one (1) space shall be reserved for United States Postal Service and other delivery trucks per residential lot. This delivery space shall be located in convenient proximity to grouped mailboxes.
7. Designated parking spaces for the disabled shall be provided in compliance with state law (Title 24) and the California Vehicle Code (Section 22507.8), including required number of parking spaces and design requirements.

D. Bicycle Parking

The following standards promote the use of bicycles as an alternative to single occupancy vehicle use:

1. Each home shall provide a minimum of one (1) secure and weatherproof bicycle parking space or as otherwise required by CalGreen, whichever is more stringent. Space may be provided within a garage, locker, or accessible indoor area.
2. A bike rack shall be included near the common recreation area.

E. Electric Vehicle Parking and Charging

The following standards implement Measure T-2 of the Climate Action Plan and the CalGreen building code to support and promote the use of electric vehicles:

1. The project shall comply with Title 24 CalGreen EV charging station requirements, EV ready spaces, and EV capable spaces.
2. Garages shall be equipped with electric vehicle charging infrastructure in accordance with CalGreen.
3. Charging stations/spaces shall not interfere with on-site parking or pedestrian circulation.
4. Charging stations/spaces shall be maintained in functioning order in all respects.
5. Final EV stall locations will be determined at submittal of building plans.
6. EV charging station calculations apply to both garage/covered parking as well as uncovered and/or guest parking.
7. At least 5% of the total guest parking spaces shall have electric vehicle charging stations (Level 2 or better) installed.

3.3.3 Open Space

In accordance with SMMC, new attached and detached townhomes residential developments are required to provide both private and common open space.

A. Private Open Space

Private open space is defined as open space areas intended for the private use of individual dwelling units. Private open space areas shall be subject to the following requirements:

1. Each dwelling unit shall include private yard space.
2. combination of 250 square feet of private yard/balcony/deck open space is required per unit
3. Private open space shall be directly accessible from the interior living space of the unit it is intended to serve.
4. Private open space shall not be used for storage.
5. Any storm water and irrigation runoff generated in the private open space cannot be directed down adjacent slopes and must be collected via planting areas and on-site area drains directed to the Private Drive Aisles.

B. Common Open Space

Common area open spaces are provided for the benefit of residents and their guests. Common area open space includes landscaping and recreation areas and amenities. See Sections 4.2.1.2 and 4.2.1.3

1. An area equal to 30% of the total livable ground floor area of all units shall be provided as usable common open space.

2. Common open space exceeding ten percent (10%) in slope shall not be considered usable open space.
3. Walkways and bike paths shall be used in the calculation of usable open space.
4. Children's play structures, including tot-lots and playground equipment should be strategically within the planning area to maximize usage.
5. Amenities shall be strategically placed within the site to maximize usability and should be selected to cater to a diverse range of interests and lifestyles including pet owners, young families, singles and more. Spaces should be provided that offer opportunities to play, socialize, and relax.

3.3.4 Wall and Fence Regulations

Walls, fences, and monuments within the Specific Plan Area are functional boundaries framing outdoor spaces and complementary pieces of landscape design and serve many other purposes. The review of walls and fences shall be an integral part of any site plan, permit, or Site Development Plan review application. Compliance with all wall and fence regulations contained herein shall be required unless otherwise approved by the Planning Director.

1. Walls and fences may be used to create partitions between private open space, screen the development from roadways, reduce noise from roadways, retain soil and material, and enhance the site design.
2. Walls, fences, and architectural screening elements shall be compatible with the architectural treatments of the site buildings.
3. Walls and/or fences should be incorporated for usable open space areas where fall hazards exist.
4. No wall, fence, or landscape element shall interfere with intersection visibility, line of sight, or other safety issues.
 - a. Decorative vinyl fencing shall incorporate pilasters.
 - b. Approved materials include wood, vinyl, stone, masonry, brick, block, stucco, and tubular steel. Vinyl coated chain link fencing may be permitted around certain recreational amenities and cable railing may be appropriate as safety railing above retaining walls. All walls and fences shall be approved in conjunction with the project's landscape and grading plans. Comparable materials are permitted subject to approval by the Planning Director.
 - c. Prohibited materials include barbed wire, razor wire, concertina, corrugated metal and plastic, tarps, and electrified wire of any kind or configuration.
 - d. All retaining walls are subject to the City of San Marcos Municipal Code and Engineering Standards.
5. Permanent fencing will be installed along the property line adjacent to offsite preserves and the top of the retaining wall and slope adjacent to the southerly boundary of the onsite preserve. Fencing will have no gates except to allow access for maintenance and monitoring of the adjacent preserve and maintenance of the manufactured slope, retaining wall and fire buffer between the slope and the adjacent preserves southern boundary.
6. Walls/fences enclosing private side and rear yards shall not exceed 6'. Walls/fences enclosing private patio areas where access to the front door is provided shall not exceed 42" (3.5').

3.4 LANDSCAPING REGULATIONS

All open space areas shall be landscaped in accordance with the City of San Marcos' Water Efficient Landscape Ordinance (WELO). All required landscaping shall be permanently maintained in a healthy

and thriving condition free from weeds, trash, and debris.

1. Only plants listed in Appendix E.20 of the BMP Design Manual shall be planted within a biofiltration BMP unless otherwise approved by the City Engineer.
2. The project is located in a Very High Fire Hazard Severity Zone. All fuel modification zones and plant material shall be in compliance with the Fire Protection Plan.

3.4.1 Lighting Regulations

Lighting fixtures shall be directed and shielded so as not to illuminate surrounding properties and reduce glare and shall comply with the following standards, as verified through a photometric study:

1. Parking areas shall be illuminated to levels that achieve a uniform ratio of three to one (3:1) (average to minimum) and maintain an average of one (1) foot candle, with a minimum of one-half (1/2) foot candle.
2. Perimeter lighting, not affiliated with the lighting of parking lots, shall not exceed one-half (1/2) foot candle at any point along the property line of the subject or adjacent parcel.
3. No light shall spill over into any offsite adjacent open space land use.
4. All lighting shall be shielded and directed downward.
5. Lighting abutting habitat northwest and southeast of the Specific Plan Area shall be screened with vegetation.

3.4.2 Signs

Signs are permitted within the Specific Plan Area and shall be subject to the City of San Marcos sign code. Up to one (1) Monument Sign is permitted at the residential planning area entry. Monument signs shall be subject to the following requirements:

1. Monument signs shall not exceed six (6) feet in height, and a maximum 20 square feet of sign area. Any accent pilaster(s) may exceed the maximum height by up to one (1) foot.
2. Monument signs shall be set back a minimum of five (5) feet from any right-of-way, subject to City Engineer approval.
3. Monument signs shall not interfere with intersection visibility, line of sight or other safety issues.
4. Per the approved wildlife permits, signage shall be posted in conspicuous locations along fencing adjacent to offsite habitat preserve areas.

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Chapter 4 – Design Standards

4 DESIGN STANDARDS

Overview

The architectural design guidelines contained herein are meant to supplement the development standards outlined in Chapter 3. The design standards and regulations will help ensure a high-quality Specific Plan Area designed to complement and enhance the neighborhood. To create successful communities, architectural design must embody methods which are flexible enough to meet the changing needs of the consumer market yet, must also be visually pleasing products complementary to the surrounding community. For those reasons, the proposed architectural style has been presented for inclusion in the Ascend Specific Plan Area and was chosen based on its historic popularity with homeowners in California.

The following overview offers a brief description of the look and feel for the Ascend Specific Plan architectural style, which could be offered within the Plan area.

4.1 ARCHITECTURAL STYLE

The Ascend Specific Plan community consists of a minimum of two building elevations. This differentiation in design helps contribute to the diversity of buildings within the Specific Plan Area. Each type provided is a variation of contemporary/modern style architecture. A description of this style is provided below:

- The architecture incorporated with the Ascend Specific Plan Area takes inspiration from contemporary/modern style architecture. Elements and materials traditionally used for this style include angular pitched roofs using concrete roof tiles, simple forms with stucco or stone veneer walls, metal railings, and awnings. The architecture was chosen to complement existing contemporary architecture found elsewhere in San Marcos.

The architectural style will be complemented with a color scheme which incorporates a subdued color palette, as well as other earth tones to help blend the project with the surrounding hills and draw attention away from the buildings.

It should be noted that architecture proposed in the following sections is considered conceptual and subject to modifications. Additional architectural styles not represented in the following text should be allowed within the Plan Area so long as any proposed architecture is found to be an appropriate design by the City of San Marcos Development Services Department and consistent with design guidelines set forth in the sections below. Final architectural design shall be approved by the Planning Director.

4.1.1 Floor Plan Summary

A minimum of two (2) floor plans should be prepared for any proposed development within the Specific Plan Area to provide options for future residents. Floor plans may include up to five (5) bedroom units. The duplex Plan 3 includes a Next Generation Unit (Next Gen) option. The Next Gen

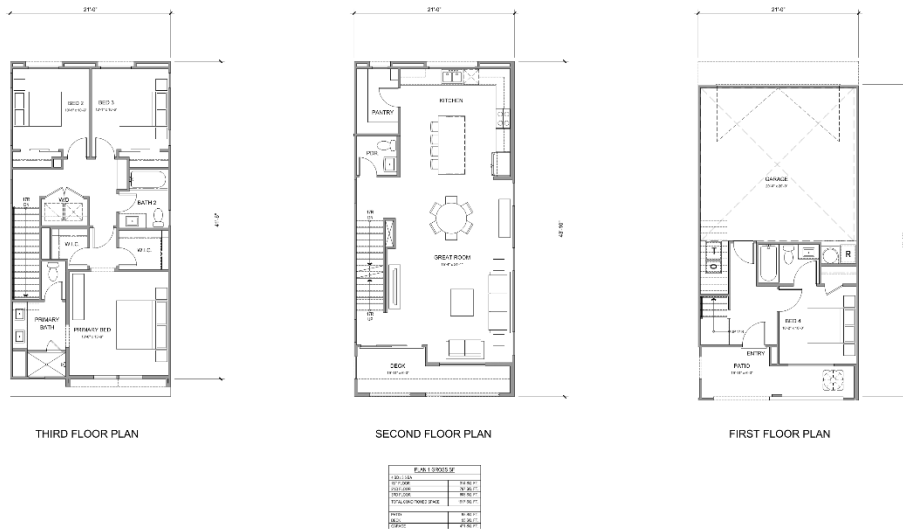
units shall be located on the ground floor, up to 400 square feet, and include a bedroom, bathroom, kitchenette, and a living area. Next Gen units require 1 open parking space per unit. \

Residential units should be grouped in a manner which promotes architectural variation of the building exterior. Architectural features include angular pitched roofs using concrete tile, wood facias, simple forms with stucco or stone veneer walls, metal railings, and awnings.

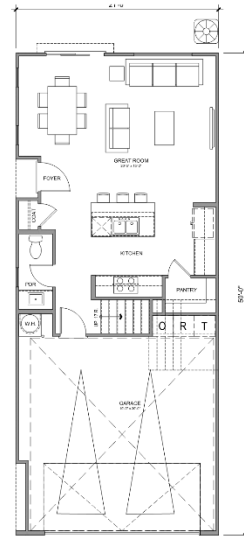
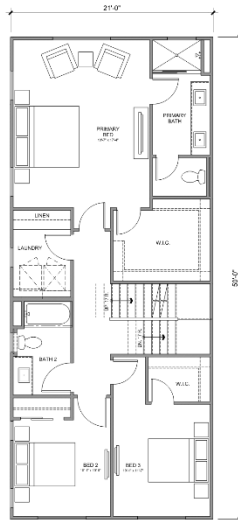
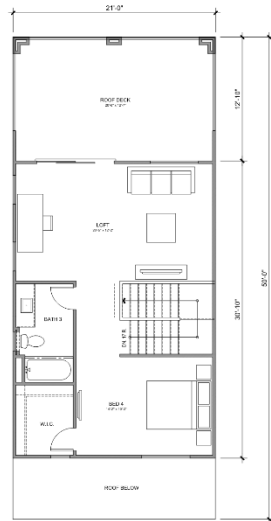
4.1.2 Massing and Scale

Massing and scale provide the visual identity between residential dwelling units and the environment. Those qualities help dictate the placement, size, and form for attached and detached townhomes residential buildings within the planning area. Building location and orientation should be designed to enhance the pedestrian scale of the development, provide building articulation, and create visual interest. Incorporation of the following design concepts should be considered for the architecture within the Specific Plan Area:

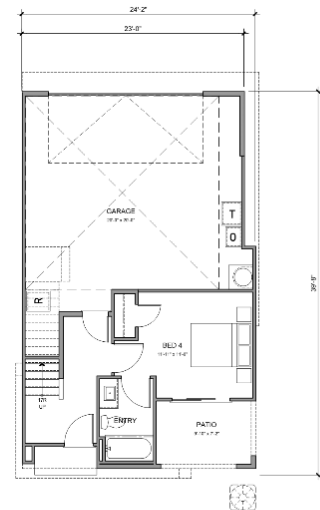
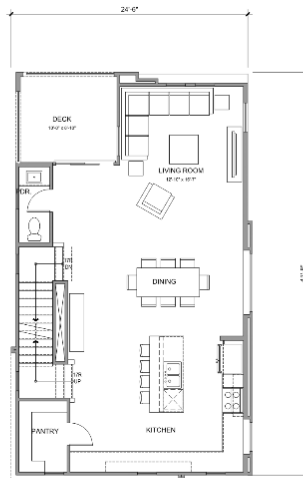
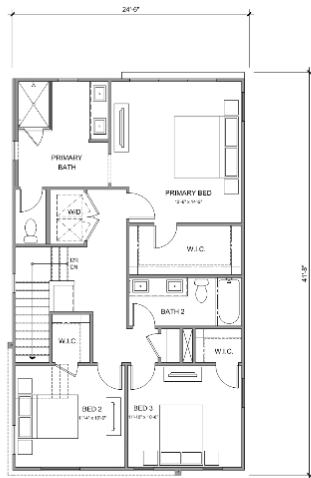
- Utilize building form elements such as plane breaks, roof forms, and changes in materials to define individual units.
- Vertically and horizontally articulate building design for both front and rear elevations, and side elevations visible from public roads.
- Avoid long unbroken surfaces on front and rear elevations by providing a change in plane at least every 25 feet.



Conceptual SFD Plan 1 & 1X Floor Plans Figure 6 Ascend Specific Plan



PLAN 2 GROSS S.F.	
4 BR + LOFT / 3.5 BA	
1ST FLOOR	633 SQ. FT.
2ND FLOOR	1050 SQ. FT.
3RD FLOOR	580 SQ. FT.
TOTAL LIVING	2263 SQ. FT.
ROOF DECK	297 SQ. FT.
GARAGE	487 SQ. FT.



PLAN 2X GROSS SF	
TOTAL LIVING	2410 SQ. FT.
1ST FLOOR	633 SQ. FT.
2ND FLOOR	1050 SQ. FT.
3RD FLOOR	727 SQ. FT.
TOTAL CONDITIONED SPACE	2390 SQ. FT.
ROOF	297 SQ. FT.
GARAGE	487 SQ. FT.

Conceptual SFD Plan 2 & 2X Floor Plans

Ascend Specific Plan

Figure 7



Conceptual Duplex Floor Plans
Ascend Specific Plan

Figure 8

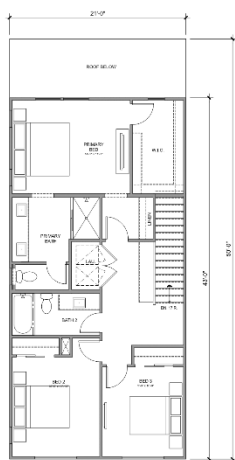
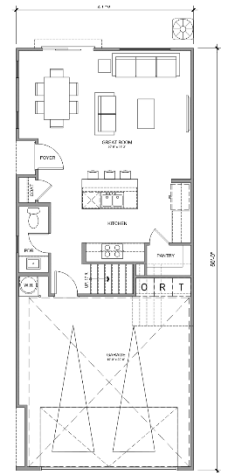
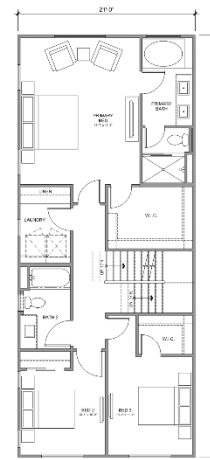
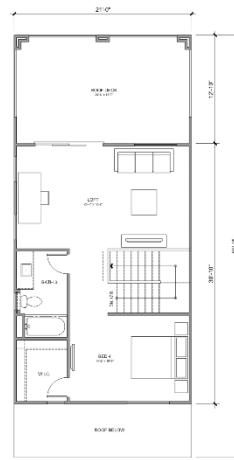


THIRD FLOOR PLAN

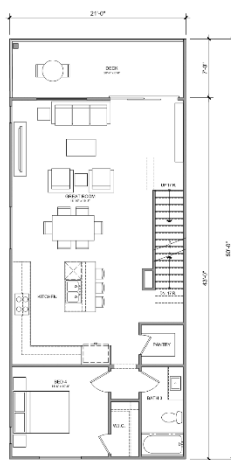
SECOND FLOOR PLAN

FIRST FLOOR PLAN

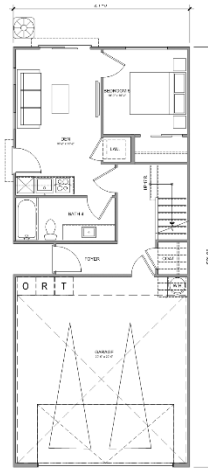
PLAN 1 GROSS S.F.	
4 BR/3.5 BA	
1ST FLOOR	446 SQ. FT.
2ND FLOOR	791 SQ. FT.
3RD FLOOR	658 SQ. FT.
TOTAL LIVING	2897 SQ. FT.
DECK	65 SQ. FT.
GARAGE	455 SQ. FT.



THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

SECOND FLOOR PLAN

FIRST FLOOR PLAN

PLAN 2 GROSS S.F.	
4 BR + LOFT / 3.5 BA	
1ST FLOOR	1055 SQ. FT.
2ND FLOOR	1086 SQ. FT.
3RD FLOOR	658 SQ. FT.
TOTAL LIVING	2800 SQ. FT.
ROOF DECK	287 SQ. FT.
GARAGE	457 SQ. FT.

PLAN 3 GROSS S.F.	
5 BR/4 BA + DEN	
1ST FLOOR	1715 SQ. FT.
2ND FLOOR	803 SQ. FT.
3RD FLOOR	658 SQ. FT.
TOTAL LIVING	2976 SQ. FT.
DECK	136 SQ. FT.
GARAGE	477 SQ. FT.

Conceptual Duplex Floor Plans
Ascend Specific Plan

Figure 9



SFD PERSPECTIVE 1



SFD PERSPECTIVE 2



DUPLEXES PERSPECTIVE

Conceptual Elevations --- Ascend Specific Plan

Figure 10

4.1.3 Building Materials, Accents, and Colors

Materials and accents are a key factor in defining architectural style, convey a sense of quality, and contribute to the community character. Building color is the unifying component of structures, which creates a sense of variation for the streetscape and builds upon the foundation of the community aesthetic. The following guidelines should be considered when selecting materials and colors:

- Select materials, accents, and colors which are appropriate for each facade and contribute to enhancing the visual theme for the planning area as well as themes for the specific style of building to which they are applied.
- Avoid high-reflective glass and other high reflective materials where possible.
- Use materials and colors to accentuate changes in massing, define individual units, and complement architectural materials and features.
- Choose colors and materials that complement each other, complement neighboring developments to the extent possible considering neighboring land uses, and add depth to the community.
- Avoid materials and colors that significantly clash with the surrounding neighborhood.
- Where possible, avoid the use of identical color palettes where possible for adjacent buildings.
- Use color palettes to distinguish individual buildings within the planning area and improve the visual interest of streetscapes.
- Appropriate materials include wood, stone, or similar veneers, and stucco. Metal or wood accents and trims are acceptable within the planning area.
- Choose colors to achieve a reasonable representation of a particular architectural style and which lend authenticity to the final product.
- Accent colors should complement the palette of the main structure.

4.2 OPEN SPACE DESIGN

Overview

Open space is a critical component of the Specific Plan and is provided in several ways to improve the quality of the Specific Plan Area. The open space component of this Plan provides recreational opportunities and a landscape theme to enhance the living experience for residents and visitors. The introduction of these guidelines will contribute to a well-balanced Specific Plan and ensure open space is designed and implemented in an orderly manner. Dwelling units within the Ascend Specific Plan Area will include a yard, patio, and/or balcony as private open space for personal enjoyment.

4.2.1 Open Space Categories

Figure 9, Conceptual Open Space Plan identifies the categories of open space provided within the Specific Plan Area as well as their locations and the extent of each open space area. Open space within the Ascend Specific Plan Area has been divided into three (3) categories of open space to help identify the rules regulating implementation of each type of open space: Private open space,

common open space that includes common area landscaping, slopes, and water detention basins, and recreational open space.

Table 4 Open Space Summary

Type of Open Space	Total Provided (Acres or SF)
Common Open Space	6.7 Acres
Private Open Space ¹	18,849 SF SF (0.43 Acres)
Recreational Open Space	2.7 Acres
Total	9.83 Acres

¹Private open space square footages are not included in the total.



Conceptual Open Space Plan
Ascend Specific Plan

Figure 11

4.2.1.1 *Private Open Space*

Each dwelling unit included within the Specific Plan Area will include a minimum of 250 square feet of private open space in the form of a patio, balcony, deck, private yard space or any combination thereof.

4.2.1.2 *Common Open Space*

This category includes open space areas with grades of 10% or above that are not typically “usable” open space. Common area landscaping, storm water quality basins, fire buffer area, wall planting, and planted slopes fall into this category of open space. These open space areas support the functionality of the built environment and include planted drainage systems that store water and protect development from flooding, they protect the development from threats of wildland fires, as well as enhance and beautifying the Specific Plan Area. Area’s not conducive to building pad placement or construction including streets, or landscaping, due to grades or other factors such as fire buffers, preservation of open space, and slopes will be placed in a lettered lot.

- Graded areas of development containing slopes over 10% shall be landscaped to prevent erosion of slopes.
- Retaining walls, infrastructure necessary to support the project, and other not usable construction, may encroach into lettered lots.
- Walls fronting Melrose Drive should include either a 2’ planting strip and/or small planting pockets spaced along the wall appropriately sized to support planted vines.

4.2.1.3 *Recreational Open Space*

Recreational open space represents common areas dedicated to recreational activities or functions for the residents living with the Plan Area. This category of open space should include “usable” area that is able to be activated with amenities or open areas residents may use for activities. The following bullet points outline some minimum design standards for Recreational open space:

1. For recreational open space to be considered “usable” it shall equal an area no less than 10’ x 10’.
2. Recreational amenities may include open turf areas or open landscape areas so long as it meets the minimum usable area.
3. A minimum of one children’s play area shall be provided.
 - a. Children’s play areas shall be a minimum of 400 square feet of usable area.
 - b. Children’s play area shall be effectively buffered/fenced from adjacent street and parking areas.
4. At least three (3) major recreational amenities shall be provided and may include similar amenities to the following:
 - a. Tot lot
 - b. Pickleball court(s)
 - c. Open turf play areas

- d. Picnic space(s) with trellis or shade structure.
- e. Pool/Spa
- f. BBQ areas
- g. Entertainment building/restrooms

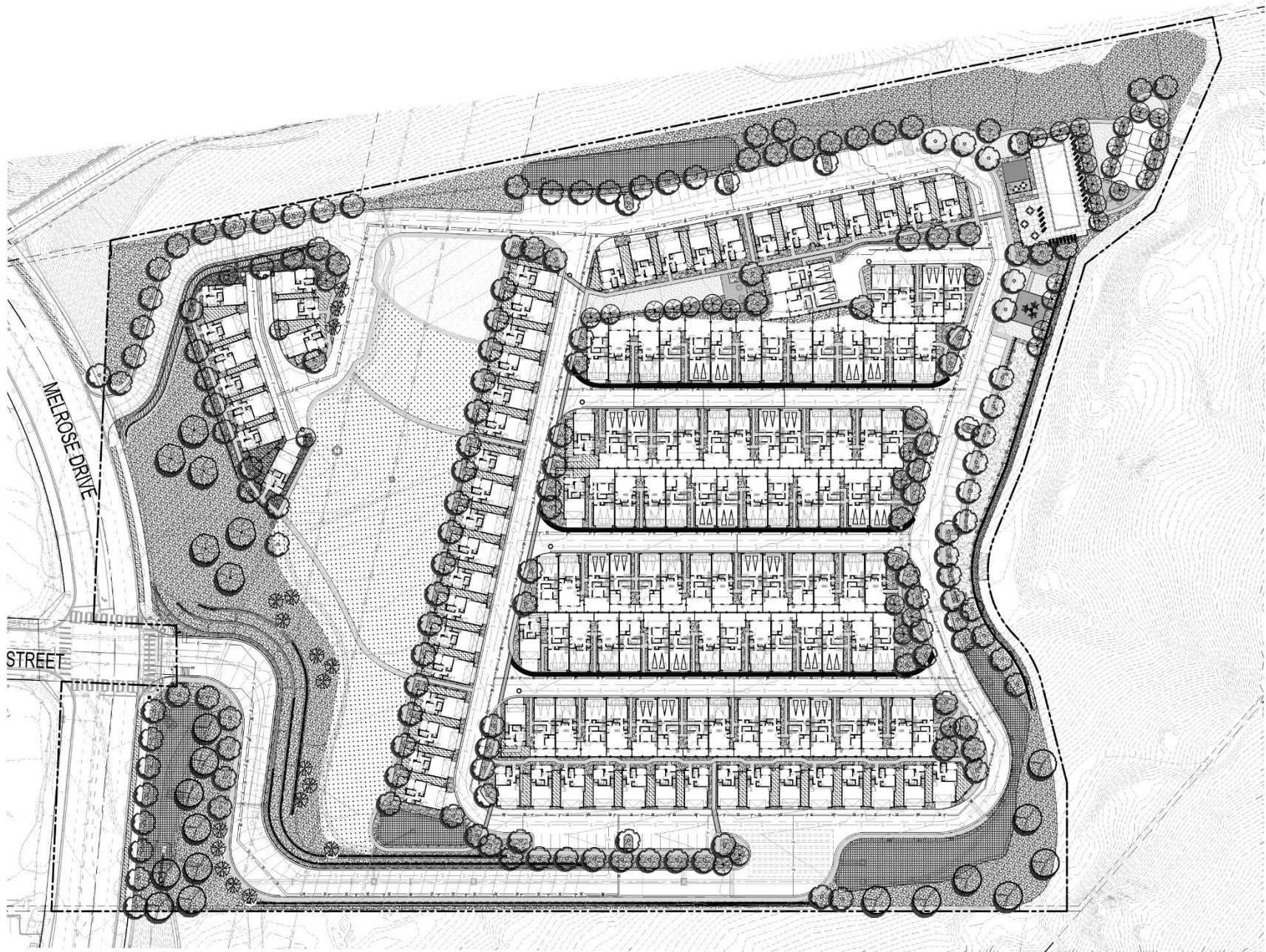
Other similar amenities may be allowed pending approval by the Planning Director.

4.2.2 Landscaping

Along with architecture, landscaping helps form an identity and theme for development. Landscaping must be carefully considered to meld architecture with the landscape to form an attractive neighborhood, which is both functional and water efficient. To ensure the development of an attractive and cohesive community the following landscape guidelines have been provided. A landscape concept for the project can be seen in **Figure 11, Conceptual Landscape Plan**. Developers and/or builders will use the following information on the design, materials, lighting, and themes, which shall be incorporated into the Ascend Specific Plan Area. Although provided, the following information should be considered conceptual in nature. Minor changes may be necessary due to changing material guidelines, design theme modifications, or changes to State or local regulations. Final landscape design shall be approved by City of San Marcos Development Services Department.

Irrigation within the Specific Plan Area shall utilize the following:

1. Install automatic controllers which feature evapotranspiration or moisture sensing data, with manual and automatic shut-off.
2. Low volume heads, subsurface irrigation system designed to prevent runoff, low head drainage, and overspray.
3. Group plants by hydrozones and irrigate hydrozones separately.



Conceptual Landscape Plan

Ascend Specific Plan

Figure 12

4.2.3 Plant Material Guidelines

The Plant Material Guideline provided below in **Table 5** is intended to provide developers and/or builders of the Ascend Specific Plan Area with guidelines for landscape plantings of locations such as entries, streetscapes, biofiltration basins, and common open space areas. Plan materials selected for the project area should be chosen based on a multitude of factors and should strengthen the overall character of the community.

The plant material has been selected to provide textural and flowering interest, while remaining sensitive to California's ongoing water shortages. The palette ties in with the architecture and provides a welcoming setting as residents arrive home, visit neighbors, walk through the neighborhood, or use the open space facilities. These plants will conform to the City of San Marcos' requirement to utilize draught tolerant and California native plant palettes when designing and implementing landscaping on all projects in the City of San Marcos. In addition, plants selected for stormwater quality basins will need to comply with the City of San Marcos BMP Design Manual. Landscaping within the Plan area has been designed to blend in with the surrounding native vegetation and ornamental landscaping. These plants and the applicable planting areas are defined in **Table 5**. Additionally, plant selection, planting, and quarantine shall conform to all conditions of the approved wildlife permits.

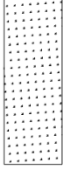
All plants and trees included in the Plant Material Guidelines have been chosen for their appropriateness to the Specific Plan Area theme, local climate tolerance, soil conditions, and level of maintenance intensity. The selected plants are well suited to the local soils and have proven to flourish within the project area's climate and are consistent with AB 1881 requirements and the City of San Marcos Water Efficient Landscape Ordinance (WELO) and Municipal Code, Title 20. When significant bedrock is discovered in areas to be planted the rock should be broken up in the planting holes to allow for plants to become established. The following guidelines should be applied to all plant materials selected for residential land use planting within the planning area:

1. The plant materials selected should be tolerant of a wide range of temperatures and require very little water consumption.
2. No plants requiring intensive irrigation, fertilizers, or pesticides shall be allowed adjacent to offsite habitat preserves.
3. No non-native plant species shall be used that are listed on the Cal-IPC Invasive Plant Inventory.
4. All street trees planted within 10' of public improvements shall have root barriers.
5. Subject to SMFD approvals, landscape vegetation adjacent to preserved vegetation or native vegetation shall be non-invasive species and not found on the undesirable list for planting in Wildland Urban Interface areas. The planting palette in these areas shall be compatible with native vegetation for a seamless visual transition.
6. The applicant shall submit a draft list of species to be included in the landscaping to the appropriate wildlife agencies at least 45 working days prior to initiating project landscaping for approval.

7. The applicant shall submit to the appropriate wildlife agencies the final list of species to be included in the landscaping within 30 days of receiving approval of the draft list of species.
8. Any planting stock to be brought onto the project site for landscaping will be first inspected by a qualified pest inspector to ensure it is free of pest species that could invade natural areas.
9. Any infested plants with pests identified in the approved wildlife permits will not be allowed on the project site or within 300 feet of natural habitats unless documentation is provided to the appropriate agency that identified pest already occur in natural areas around the project site.

This Plant Material Guidelines should be considered fluid and subject to change, with final approval determined by the City of San Marcos Development Services Department in consultation with the City of San Marcos Fire Department for planting within any fuel modification zones per the Fire Protection Plan. Should changes be necessary to the Plant Material Guidelines, the newly selected plants and trees should be similar in tolerance and water usage to the conceptual list provided. If those requirements are met, any proposed changes to the Plant Legend shall be considered minor. Details on any proposed changes to the Plant Legend are provided in Chapter 9, Specific Plan Administration.

Table 5 Conceptual Plant Material Guidelines**CONCEPT PLANT SCHEDULE**

	TREES COMPLIANT WITH SDGE EASEMENT CERCIS OCCIDENTALIS / WESTERN REDBUD DODONAEA VISCOSA / PURPUREA / PURPLE LEAFED HOPSEED BUSH MAGNOLIA STELLATA / STAR MAGNOLIA MULTI-TRUNK	15 GAL 15 GAL 15 GAL
	INTERIOR STREETS/COMMON AREAS TREES ARBUTUS X MARINA / MARINA STRAWBERRY TREE STANDARD CHLOPSIS LINEARIS / DESERT WILLOW GEUERA PARVIFLORA / AUSTRALIAN WILLOW KOELREUTERA BIPINNATA / CHINESE FLAME TREE MULTI-TRUNK LAGERSTROEMIA INDICA / CRAPE MYRTLE OLEA EUROPAEA 'SWAN HILL' TM / SWAN HILL OLIVE QUERCUS ILEX / HOLLY OAK QUERCUS SUBER / CORK OAK	24" BOX, L 24" BOX, VL 24" BOX, L 24" BOX, M 24" BOX, L 24" BOX, L 24" BOX, L 24" BOX, L
	ACCENT FLOWERING TREES CERCIS OCCIDENTALIS / WESTERN REDBUD CHLOPSIS LINEARIS / DESERT WILLOW LAGERSTROEMIA INDICA / CRAPE MYRTLE	15 GAL, L 15 GAL, L 15 GAL, L
	SLOPE TREES PSTACIA CHINENSIS / CHINESE PISTACHE PLATANUS MEXICANA / MEXICAN SYCAMORE QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	24" BOX, L 24" BOX, M 24" BOX, M
	SLOPE TREES PLATANUS MEXICANA / MEXICAN SYCAMORE MULTI-TRUNK QUERCUS AGRIIFOLIA / COAST LIVE OAK MULTI-TRUNK RHUS LANCEA / AFRICAN SUMAC	24" BOX, M 24" BOX, VL 24" BOX, L
	INTERIOR COMMON AREA SHRUBS/VINES BOUGAINVILLEA X 'SAN DIEGO RED' / SAN DIEGO RED BOUGAINVILLEA FIGUS PUMILA / CREEPING FIG ALOE STRATA / CORAL ALOE ALYOGYNE HUEGELII / BLUE HIBISCUS CALLISTEMON X 'LITTLE JOHN' / BOTTLEBRUSH DIANELLA REVOLUTA 'DR5000' TM / LITTLE REV FLAX LILY DIANELLA TASMANICA VARIEGATA / VARIEGATED FLAX LILY DIETES GRANDIFLORA / FORTNIGHT LILY HESPERALOE PARVIFLORA / RED YUCCA LIGUSTRUM JAPONICUM 'TEXANUM' / TEXAS JAPANESE PRIVET PITTOSPORUM CRASSIFOLIUM / KARO PITTOSPORUM PITTOSPORUM TOBIRA VARIEGATA / VARIEGATED MOCK ORANGE RHAPHIOLEPIS INDICA / INDIAN HAWTHORN ROSA FLORIBUNDA 'ICEBERG' / ICEBERG ROSE SALVIA LEUCANTHA / MEXICAN BUSH SAGE	15 GAL, L 5 GAL, M 1 GAL, L 5 GAL, L 5 GAL, L 1 GAL, L 1 GAL, M 1 GAL, M 5 GAL, VL 5 GAL, M 5 GAL, M 5 GAL, M 5 GAL, L 5 GAL, M 5 GAL, L
	INTERIOR SLOPE SHRUBS ALOE ARBORESCENS / TORCH ALOE CISTUS X PURPUREUS / ORCHID ROCKROSE DASYLIRION WHEELERI / DESERT SPOON HESPERALOE PARVIFLORA / RED YUCCA HESPERALOE WHIRLPOOL / CHAPARRAL YUCCA OPUNTIA ROBUSTA / PRICKLY PEAR OPUNTIA VIOLEACEA / PURPLE PRICKLY PEAR RHUS INTEGRIFOLIA / LEMONADE BERRY RHUS OVATA / SUGAR BUSH ROSA CALIFORNICA / CALIFORNIA WILD ROSE SALVIA SONOMENSIS / CREEPING SAGE WESTRINGIA FRUTICOSA / COAST ROSEMARY TAGETES LEMMONI / MOUNTAIN MARIGOLD HETEROMELES ARBUTIFOLIA / TOYON	5 GAL, L 1 GAL, L 5 GAL, VL 5 GAL, VL 5 GAL, VL 1 GAL, VL 1 GAL, VL 1 GAL, VL 1 GAL, VL 1 GAL, L 1 GAL, L 1 GAL, L 1 GAL, L 5 GAL, VL
	Basin Planting CAREX PRAEGRACILIS / CALIFORNIA FIELD SEDGE HYDROSEED MIX / HYDROSEED MIX	26,455 SF LINERS @ 12" O.C., M SEED, M
	INTERIOR COMMON AREAS GROUND COVER MYOPORUM PARVIFOLIUM / TRAILING MYOPORUM ROSMARINUS OFFICINALIS 'PROSTRATUS' / DWARF ROSEMARY SENECIO MANDRALISCAE / BLUE CHALK STICKS TRACHELOSPERMUM JASMINOIDES / CHINESE STAR JASMINE	89,995 SF FLATS @ 18" O.C., L 1 GAL @ 24" O.C., L FLATS @ 12" O.C., L 1 GAL @ 24" O.C., M
	INTERIOR SLOPES GROUND COVER BACCHARIS PILULARIS / DWARF COYOTE BRUSH MYOPORUM PARVIFOLIUM / TRAILING MYOPORUM SENECIO MANDRALISCAE / BLUE CHALK STICKS	69,667 SF FLATS @ 18" O.C., L FLATS @ 18" O.C., L FLATS @ 12" O.C., L
	SINGLE FAMILY PRIVATE SPACE MYOPORUM PARVIFOLIUM / TRAILING MYOPORUM ROSMARINUS OFFICINALIS 'PROSTRATUS' / DWARF ROSEMARY SENECIO SERPENS / BLUE CHALKSTICKS	25,463 SF FLAT, L 1 GAL @ 24" O.C., L FLAT, L
	SDGE EASEMENT HYDROSEED ACMISPON GLABER / DEERWEED AMISCKIA MENZIESII INTERMEDIA / FIDDLENECK BLOOMERIA CROCEA / GOLDENSTAR CASTILLEJA EXSERTA / PURPLE OWL'S CLOVER CLARKIA PURPUREA / PURPLE CLARKIA DICHLOSTEMMA CAPITATUM / BLUE DICKS EPILOBIUM FLEISCHERI / ALPINE WILLOWHERB ERIOPHYLLUM CONFERTIFLORUM / GOLDEN YARROW LASTHENIA CALIFORNICA / CALIFORNIA GOLDFIELDS LAYIA PLATYGLOSSA / TOY TIPS PLANTAGO OVATA / DESERT INDIANWHEAT STIPA LEPIDA / FOOTHILL NEEDLEGRASS STIPA PULCHRA / PURPLE NEEDLE GRASS TRIFOLIUM TRIDENTATUM / TOMCAT CLOVER	SEED, L SEED, L SEED, L SEED, L SEED, L SEED, L SEED, L SEED, VL SEED, L SEED, L SEED, L SEED, L SEED, VL SEED, L
	EXISTING CFD PLANTING	2,619 SF

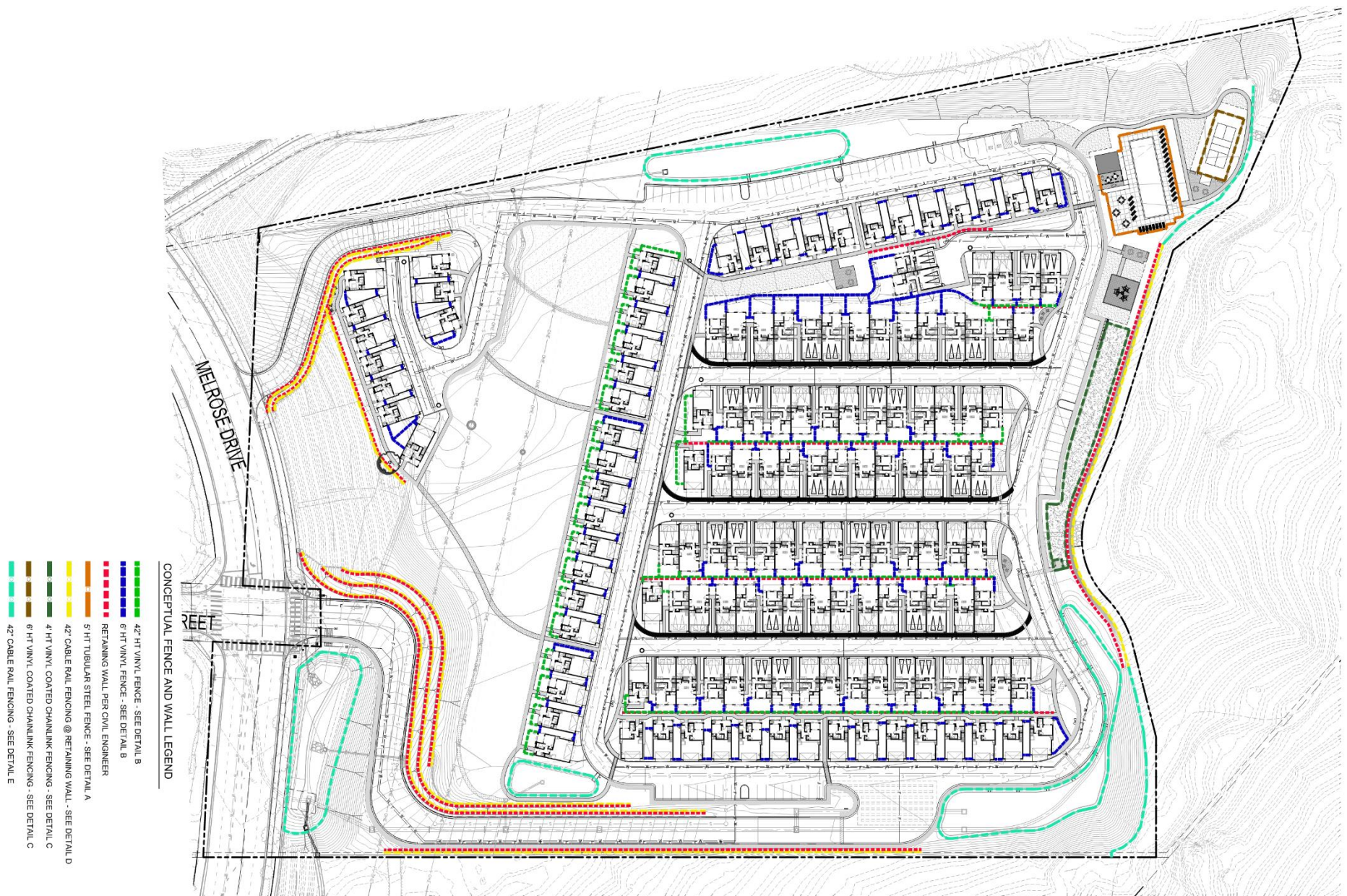
4.2.4 Walls and Fences

Generally, walls and fences within the planning areas are designed to function in five (5) ways; they shall act as aesthetic boundaries for open space, sound attenuation, retaining barriers along roadways or lots, safety fencing around recreational areas, and privacy fencing between private open spaces for attached and detached townhomes dwelling units. Fence and wall types allowed within the Specific Plan Area may include geogrid retaining walls, soil nail retaining walls, tan block retaining wall, tubular steel fencing, tubular steel on retaining wall, and vinyl privacy fencing. Wall and fencing materials may be substituted with other wall and fence types and materials upon review and approval by the Development Services Department. The following guidelines should be applied to any walls or fencing within the Specific Plan Area:

1. Walls and fencing should also be designed in such a way as to become a visual amenity.
2. Walls and fencing should be compatible with the surrounding natural landscape, colors, and materials.
3. Geogrid and CMU block walls should have a similar appearance in color and texture.
4. Soil nail walls should be similar in appearance to soil nail walls included in the Mission 316 Specific Plan Area.
5. Soil nail retaining walls, geogrid retaining walls, standard masonry walls, and masonry retention walls are suitable as retaining walls in areas where engineering requires more stability and strength. Other wall types shall be allowed with approval from the City Engineer.
6. Retaining walls may incorporate fencing along the top of the wall.

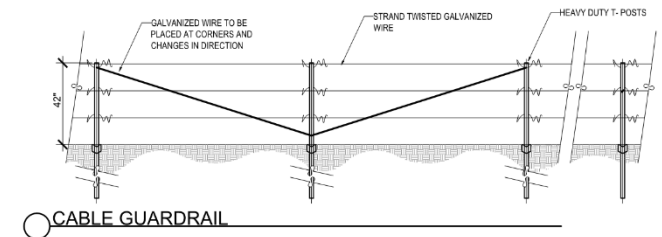
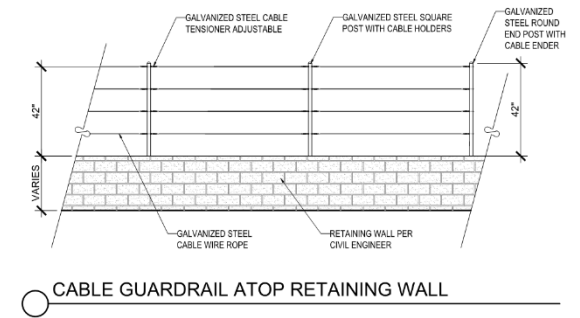
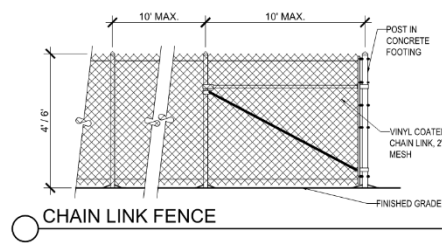
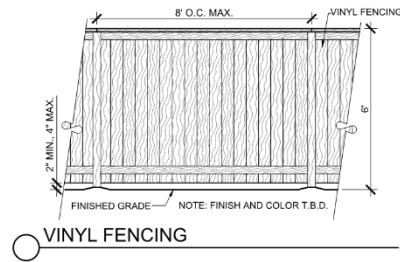
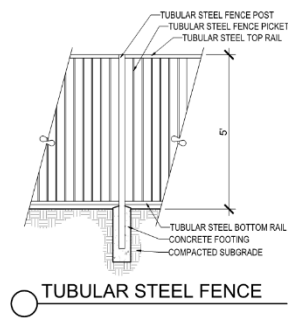
Table 6 Allowable Walls and Fencing Types

Wall and Fence Type	Application
Tubular Steel	Perimeter; adjacent to open space areas and Recreational Open Space fencing. Can be combined with retaining walls.
Masonry Block	Sound attenuation, Retaining
Vinyl	Private open space areas



Conceptual Wall & Fence Plan
Ascend Specific Plan

Figure 13



Conceptual Wall & Fence Examples
Ascend Specific Plan

Figure 14

4.2.5 Signs and Entry Monuments

Non-illuminated monuments may be included within the Specific Plan Area and if included shall accent overall landscape design and provide focal points within the development as well as the entrance to the Plan Area. The following design guidelines shall be adhered to when designing monuments.

1. Entryways to the Planning Area may incorporate a monument sign.
2. The monument within the Plan Area shall incorporate materials compatible with the surrounding natural landscape features and landscape design.
3. A variety of materials may be used to design the monument. Some of these materials may include tile, stucco, stone veneer plaster, metalwork, draught tolerant shrubs and trees, or other draught tolerant vegetation.
4. The monument may include accent lighting.
5. The entry monument shall be limited to a maximum of six (6) feet in height and setback a minimum of five (5) feet from any property line and should not conflict with line-of-sight for vehicular turn motions. A maximum of 20 square feet of sign area is allowed. Any accent pilaster(s) may exceed the six (6) foot height by up to one (1) foot.
6. Signage identifying the site/development name may be included on site retaining walls near the project entry in-lieu of free-standing monumentation.
7. If signage on a project entry wall is included in-lieu of the monument, signage will comply with the City of San Marcos sign requirements. A maximum of 20 square feet of sign area shall be allowed.
8. Precise details for entry monuments shall be provided with plans submitted for the construction of the monument.
9. A lighted directory map, meeting current fire department standards, shall be installed at each driveway entrance.

4.2.6 Lighting

Lighting within the Specific Plan Area shall be used to accent landscaping and provide safety and accent lighting for attached and detached townhomes building clusters. The following guidelines shall be incorporated into all lighting plans:

1. All lighting within the Plan area shall be energy efficient, architecturally appropriate fixtures designed to minimize glare, conflict, and light pollution, while providing illumination levels that create a safe environment for both vehicles and pedestrians.
2. All areas of residential land use will be aptly lit to coincide with their relevant use and activities.
3. Street lighting will be full cut-off fixtures and will utilize house-side shields to reduce light trespass and prevent light pollution.
4. Lighting using the highest efficiency fixtures and lamps are preferred.

5. Lighting adjacent to preserved habitat areas shall be down-facing, shielded and shall not spill over into the habitat area(s).

Common area lighting within the Plan area will be used to enhance and complement the character of the development.

6. Lighting shall be varied and appropriate for each use within the common areas of development.

Conceptual lighting types and locations are illustrated in **Figure 13**. During the construction drawing phase, the builders will submit drawing details providing light fixtures (cut sheets) to the City of San Marcos for conformance with the lighting ordinance and standards.

TREE UPLIGHT



BOLLARD LIGHT



WALL SCONCE



CONCEPT LIGHTING LEGEND

- BOLLARD LIGHT
- WALL SCONCE
- TREE UPLIGHT

Conceptual Lighting Plan
Ascend Specific Plan

Figure 15

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Chapter 5 – Circulation Plan

5 CIRCULATION PLAN

Overview

The Circulation Plan is an integrated component of the Specific Plan and facilitates an interconnected mobility system for bicycles, pedestrians, and vehicles. The Circulation Plan provides developers with the blueprint for designing safe and efficient movement within the Specific Plan Area, emergency vehicle access, connections to existing roadways within the vicinity of the Plan area, and access to regional arterial and highway networks. A minimum 24-foot width curb to curb private internal driveway provides connections to all areas within the Specific Plan Area. Two access points are proposed for the Specific Plan Area and will be located on the western portion of the Plan area on Melrose Drive. **Figure 16** and section 5.2 describe details of roadway design. A 28' to 40' main entrance is located at the southeastern portion of the Specific Plan Area. A 24' Knox box gated emergency access driveway is proposed for the southwest portion of the Specific Plan Area.

5.1 EXTERNAL ROADWAYS AND ENTRIES

One external roadway abuts the Specific Plan Area. Melrose Drive is located along the western boundary of the Specific Plan Area.

Melrose Drive

Melrose Drive is within the City of San Marcos and is described in The City of San Marcos General Plan Mobility Element as a major roadway with a typical right-of-way (ROW) curb-to-curb width of 85 feet. Parking and/or bicycle lanes may be provided, and an existing decomposed granite multi-purpose trail is provided within the parkway. The City of San Marcos' Active Transportation Plan (ATP) identifies interim and ultimate improvements to Melrose Drive to facilitate alternative modes of transportation and improve pedestrian and bicycle safety. Interim and ultimate improvements for Melrose Drive are shown in the ATP as a Class II buffered bike lane. Additionally, a multi-purpose decomposed granite trail exists along the Specific Plan frontage. Therefore, the Specific Plan proposes installing two bike ramps on Melrose Drive to direct bicyclists onto and off of the roadway where the existing off-street trail sections exist.

5.2 INTERNAL CIRCULATION

The internal circulation system for the Ascend Specific Plan Area consists of a combination of private internal driveways designed to safely accommodate the level of vehicular, bicycle, and pedestrian traffic generated by the residential land use included within the Plan Area. The Conceptual Circulation Plan exhibit identifies the locations of the internal sidewalk and driveway systems designed for the Specific Plan Area. The following exhibits and sections provide details and standards for any proposed roadway systems.

The Specific Plan includes one (1) internal circulation system. The driveway(s) in the Specific Plan Area will provide a minimum of 24 feet of paved driving surface measured curb to curb with at least 4 feet of pavers acting as a pedestrian on one side where a separated sidewalk is not adjacent. Where provided, a minimum four (4) foot concrete sidewalk should accommodate safe pedestrian travel through each area to Melrose Drive. A six (6) inch curb and gutter or a zero curb and gutter condition

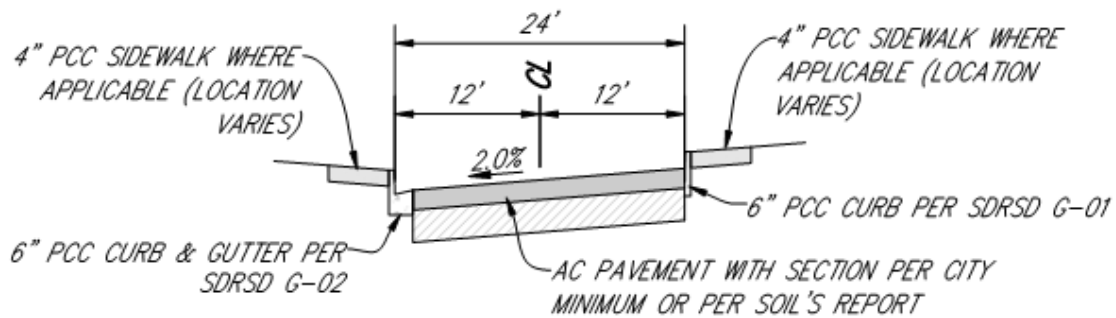
in certain locations (see approved Tentative Map and Grading Plans) will be constructed to either side of the driveway and each travel lane shall be a minimum of 12 feet from center line. Alleys within the Specific Plan Area shall be a minimum of 20-feet in width and clearance above to allow for safe vehicular circulation as well as for fire truck circulation.

5.3 EMERGENCY VEHICLE ACCESS

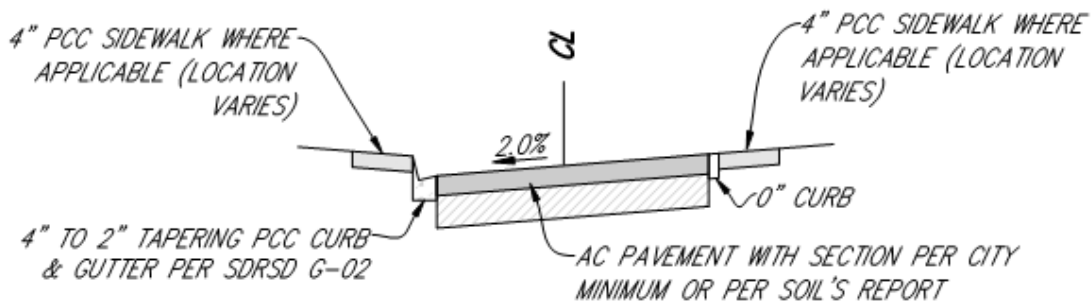
The Specific Plan Area shall accommodate the Pierce 100' tiller truck, which is an emergency vehicle in operation with the City of San Marcos Fire Department. A 20-foot minimum curb to curb emergency vehicle access roadway shall be constructed on the north side of the Specific Plan Area and any portion of the driveway with grades 12% and steeper require concrete pavement surface with a broom finish suitable for emergency vehicles per City of San Marcos fire Department requirements. Alleyways may be a minimum of 20 feet in width as long as the vertical clearance remains unobstructed to allow for fire truck circulation and provided a 150-ft hose pull around buildings can be accomplished from the main driveways. Driveways and alleyways that are 20- or 24 feet wide shall be posted and/or curbs painted in accordance with CA Vehicle Code, section 22500.I, 22658(a) and San Marcos Fire Department Standards. The number, wording and placement of all fire lane signs shall be approved by the Fire Department prior to installation.

Table 7 Internal Driveway Dimensions

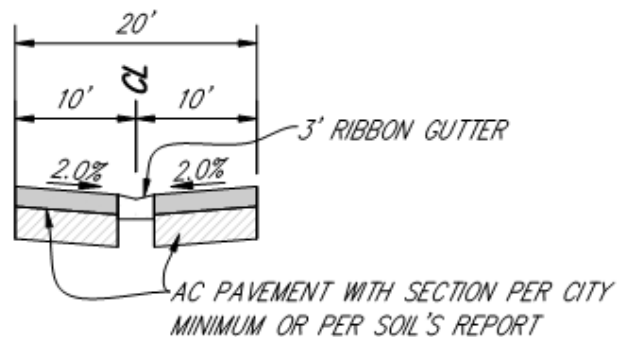
Roadway Type	Street Section Width (feet) ¹	Pavement Width (feet) ²	Vehicle Lanes	Parking	Minimum Pedestrian Component
Project Driveway	24'	24'	2	Varies	4' concrete walk (location varies)
Project Alley	20'	20'	2	No	N/A
Emergency Access	24'	24'	2	No	N/A



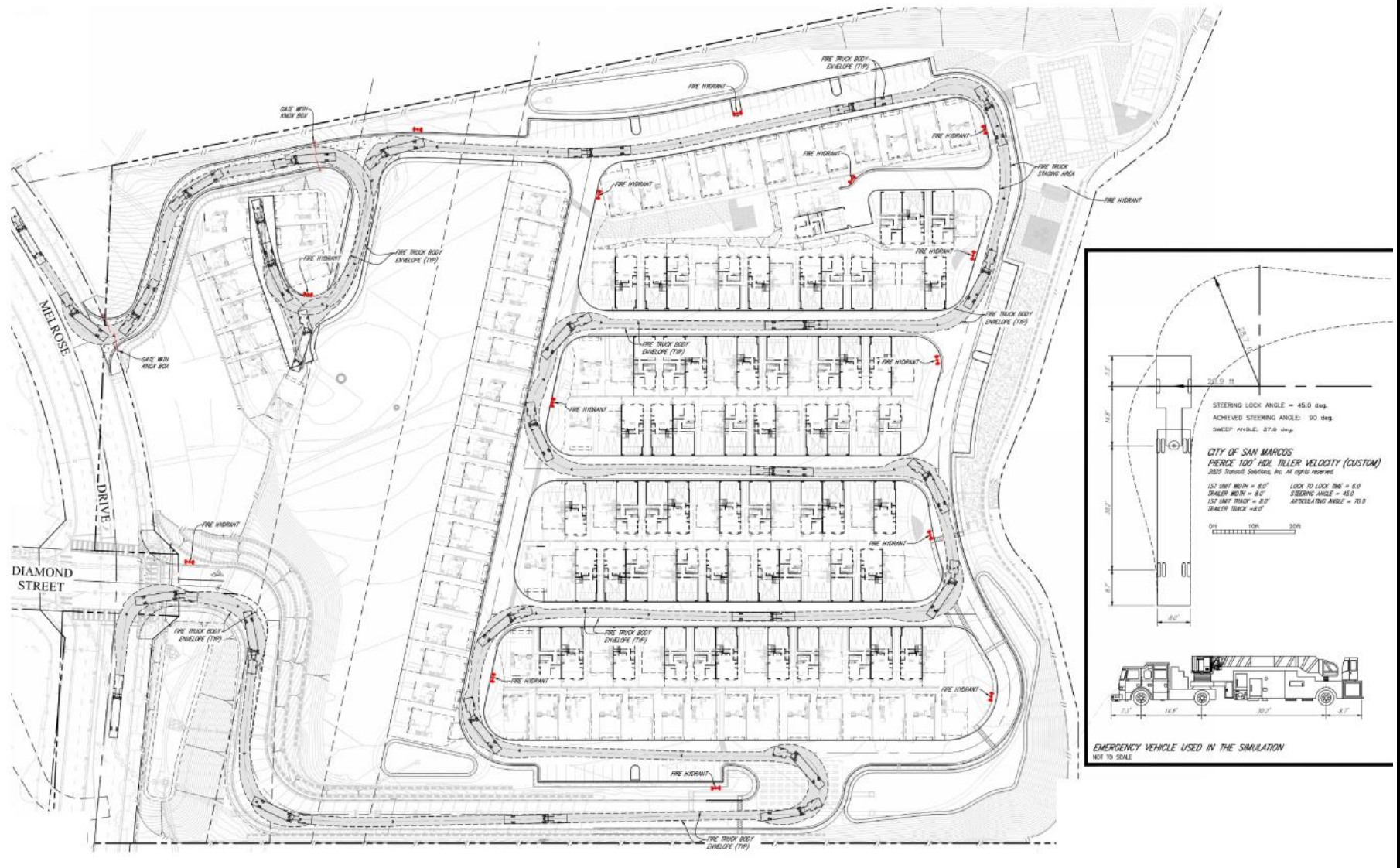
DRIVEWAYS 'A', 'B' & 'F'
NOT TO SCALE



DRIVEWAYS 'C', 'D' & 'E'
NOT TO SCALE



ALLEY
NOT TO SCALE



Conceptual Circulation Plan
Ascend Specific Plan

Figure 17

5.4 LOCAL AND REGIONAL CONNECTIVITY

As noted in Chapter 2, the Ascend Specific Plan Area is regionally connected to San Diego County and north to Riverside County through Interstate 15 via Highway 78. An existing system of expressways, arterial highways, and local roads such as the previously mentioned Melrose Drive link the Specific Plan Area to the City of San Marcos' circulation system, the City of Carlsbad's, and City of Vista's circulation system, and ultimately regionally via Highway 78. As noted in Chapter 2, residents will be able to access Highway 78 westbound and eastbound via on-ramps located approximately 3 miles north of the Specific Plan Area on S. Rancho Santa Fe Rd. From the 78 east on-ramp it's approximately an additional six (6) miles to Interstate 15. The Breeze bus service line 304 has a bus stop just over a half mile southwest of the Specific Plan Area which offers service between Encinitas and San Marcos at the Palomar College Sprinter Station via Rancho Santa Fe Rd. The Palomar College Sprinter station is located approximately 5 miles northwest of the Specific Plan Area and transits between the City of Escondido and the City of Oceanside where travelers can connect to other regional rail and bus opportunities. These local and regional connectivity options allow for convenient and rapid access to and from the Specific Plan Area to other communities, shopping centers, and employment centers, thereby relieving some stress residents would otherwise feel with limited transportation route options.

5.5 PEDESTRIAN, BICYCLE, AND PUBLIC TRANSIT OPTIONS

Alternate forms of transportation help alleviate many modern congestion problems for municipalities while also reducing strain on environmental resources such as greenhouse gas emissions, thereby improving air quality. The City of San Marcos General Plan includes policies and goals for new development to meet so they are in conformance with local and state climate and transportation goals.

BREEZE bus service is provided by North County Transit District and includes 30 routes between Oceanside and La Jolla, as far east as Escondido. Breeze route 304 services riders between the Palomar College Sprinter station in San Marcos and the City of Encinitas via Rancho Santa Fe Road. This route connects to other transit centers within the system, offering connectivity to all major destinations and other transit systems within North County, connections to South County transit systems, and the greyhound bus station in Escondido.

The Palomar College transit station provides two (2) platforms at the train station with access to the SPRINTER hybrid Train. The SPRINTER is operated by North County Transit District (NCTD), offering service to commuters every 30 minutes. The line extends between Oceanside and Escondido and provides connections to three (3) commuter rail lines: The Coaster, Metrolink Orange County Line, and Metrolink Inland Empire-Orange County Line. The SPRINTER also connects to Amtrak's Pacific Surfliner regional rail line.

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Chapter 6 – Infrastructure Plan

6 INFRASTRUCTURE PLAN

Grading, Utilities, and Infrastructure Overview

The Grading and Utilities Plan provides the description of the infrastructure necessary to support each proposed land use within the Ascend Specific Plan Area. This section will discuss in detail the distribution, capacity, size, and extent of grading, utilities, and other infrastructure which must be constructed and installed to facilitate a safe and efficient residential community. Information will be provided for grading and the following utilities: water, wastewater, stormwater drainage and detention, electricity and telephone and cable services. **Table 8** identifies the utility providers anticipated for the Specific Plan Area.

Table 8 Utility Providers

<i>Utility</i>	<i>Provider</i>
<i>Water</i>	Vallecitos Water District (VWD)
<i>Sewer</i>	Vallecitos Water District (VWD)
<i>Stormwater Drainage & Detention</i>	Developer/Builder
<i>Electricity</i>	San Diego Gas & Electric (SDG&E)
<i>Telecommunications</i>	Cox Communications

The design, distribution, capacity, size and extent of utility infrastructure, facilities, and service improvements is dependent upon the increased population resulting from development of new housing within the Specific Plan Area. According to the 2020 Census, the estimated average number of people per household is approximately 3.17. This means the maximum of 160 dwelling units proposed within this Specific Plan will result in approximately 631 new residents for the City of San Marcos. The following chapter explains how the Specific Plan will accommodate these additional residents through the provision of additional utilities, services, and facilities.

6.1 GRADING

The site is currently characterized as having moderate slopes and cleared of natural habitat via issuance of State and Federal wildlife permits and a clearing permit from the City of San Marcos. Following any residential entitlements, site will be mass graded with an approximate total of 128,288 cubic yards of cut and 217,649 cubic yards of fill and potentially 54,452 CY of import. Spoils from foundations and trenching will be handled separately from the cut and fill material described in this section. Final and precise grading will include taking private driveways and drive aisles, lots, and landscape areas to finish grades with final surface, hardscape, and planting installations and preparation of the ground for any foundations for proposed residential buildings.



Conceptual Grading Plan (1 of 3)
Ascend Specific Plan

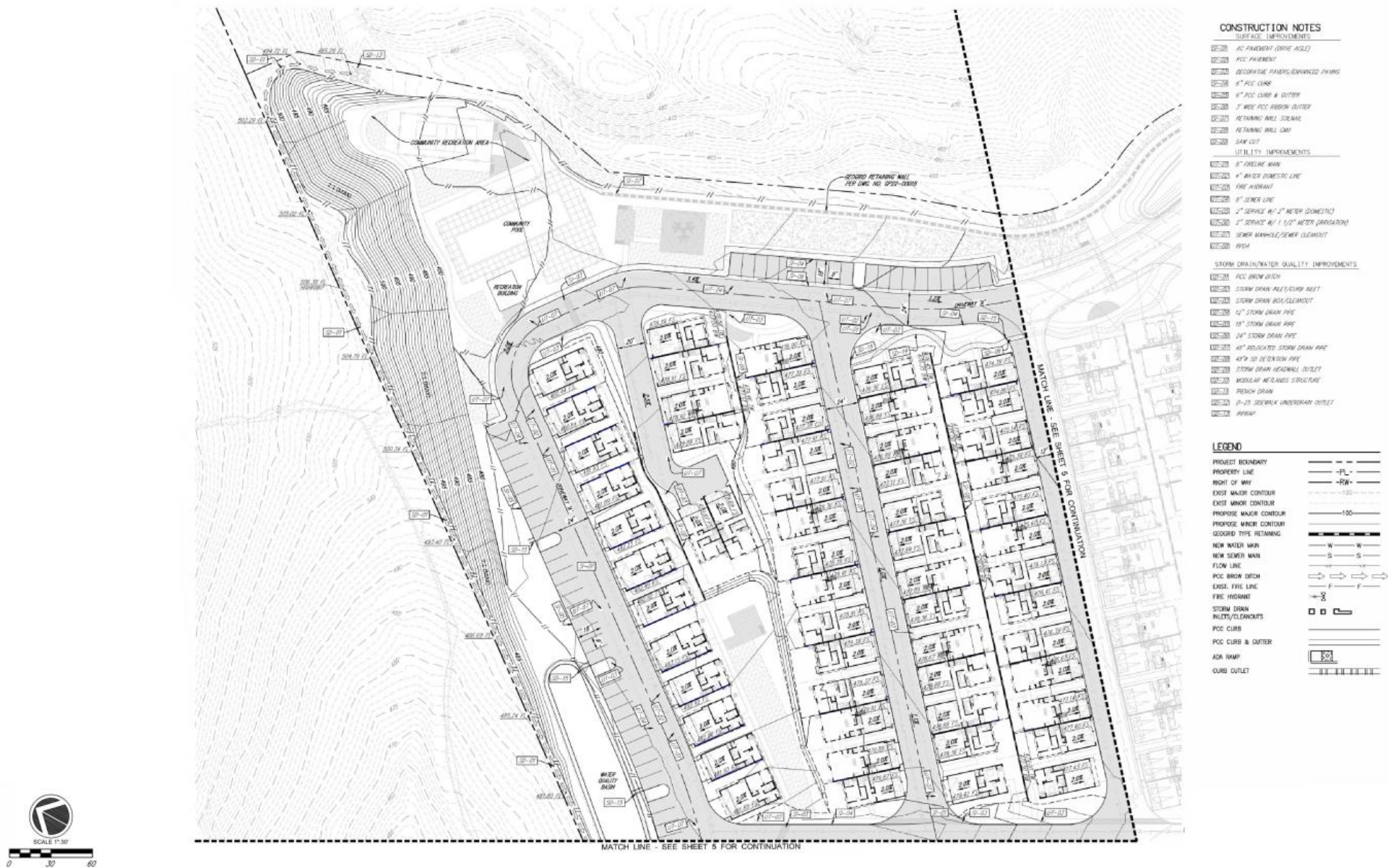
Figure 18



CONSTRUCTION NOTES	
SURFACE IMPROVEMENTS	
10-01	AC FINISHED DRIVE ASIDE
10-02	PCC FINISHMENT
10-03	DECORATIVE PAVER/ENHANCED FINISH
10-04	6" PCC CURB
10-05	6" PCC CURB & GUTTER
10-06	3" WEP PCC AROUND GUTTER
10-07	RETAINING WALL: STONEMAN
10-08	RETAINING WALL (CMU)
10-09	SAW CUT
UTILITY IMPROVEMENTS	
10-10	8" PRECAST MAIN
10-11	4" INTER DOMESTIC LINE
10-12	FIRE HYDRANT
10-13	6" SEWER LINE
10-14	2" SERVICE W/ 2" NEER (DOMESTIC)
10-15	2" SERVICE W/ 1 1/2" NEER (WIRING)
10-16	SEWER MANHOLE/SEWER CLEANOUT
10-17	APRM
STORM DRAIN/WATER QUALITY IMPROVEMENTS	
10-18	PCC BROW DITCH
10-19	STORM DRAIN INLET/CURB INLET
10-20	STORM DRAIN BULK/CLEANOUT
10-21	12" STORM DRAIN PIPE
10-22	18" STORM DRAIN PIPE
10-23	24" STORM DRAIN PIPE
10-24	48" RELOCATED STORM DRAIN PIPE
10-25	48" SP EXTENSION PIPE
10-26	STORM DRAIN HEADWALL INLET
10-27	MODULAR RETAINING STRUCTURE
10-28	FRENCH DRAIN
10-29	24-36" SLOPE/UNDERPASS OUTLET
10-30	APRPP
LEGEND	
PROJECT BOUNDARY	---
PROPERTY LINE	-PL-
RIGHT OF WAY	-RW-
EXIST MAJOR CONTOUR	---100---
EXIST MINOR CONTOUR	---
PROPOSE MAJOR CONTOUR	---
PROPOSE MINOR CONTOUR	---
GEOTRIEVE REMAINING	---
NEW WATER MAIN	W W
NEW SEWER MAIN	S S
FLOW LINE	---
PCC BROW DITCH	---
EXIST. FIRE LINE	F F
FIRE HYDRANT	+
STORM DRAIN INLETS/CLEANOUTS	□ □
PCC CURB	---
PCC CURB & GUTTER	---
ADA RAMP	---
CURB OUTLET	---

Conceptual Grading Plan (2 of 3)
Ascend Specific Plan

Figure 19



Conceptual Grading Plan (3 of 3)
Ascend Specific Plan

Figure 20

6.2 STORMWATER DRAINAGE AND TREATMENT

Statewide rules and regulations require stormwater runoff to be appropriately captured and conveyed into treatment systems, so that water runoff does not increase water flows onto adjacent properties or properties downstream, which could potentially cause pollutants entering into receiving waters, erosion, flooding, and damage.

The rough grading is proposed to fill in a portion of the existing valley to create a large pad that sloped 2.0% towards 2 different desiltation basins while maintaining the natural split of the existing ridge. All offsite flows generally remained undisturbed until they reached the northern edge of the pad where they either entered a 48" pipe or a browditch that drains directly into the existing Type-F box. The upstream watershed and how it flows to the proposed pad for this low medium-density residential project remains largely unchanged as was previously approved – with that 48" pipe and edge-condition browditches intercepting the off-site flows.

What was the Point of Compliance POC-1 location for the previously approved industrial pad stays the same with the off-site runoff running through the 48" pipe through the site, down the easterly main driveway, and connecting to the existing underground storm drain that crosses Melrose Drive. Along the way, the north, northeast, east, and south central/east portion of the residential pad area (largely mimicking the area previously delineated by the split of the existing ridge) received water quality treatment in surface basins and then connects to either the 48" pipe running through the site or at the POC-1 location itself. Additionally, off-site runoff that is intercepted by the brow ditch along the east side of the property continues to be picked up by the Type-F box at that southeast corner near Melrose Drive and connects to POC-1. A portion of cut slope along Melrose Dr. is now redirected to POC-1, due to the proposed driveway. The remaining undisturbed cut slope drains as it did in the pre-development condition. An on-site water quality basin and a proposed Modular Wetland System combined with underground storage collects all onsite flows from the residential pad that flow to POC-2 in the pre-development condition and discharges them into the existing browditch along the access road. A third Point of Compliance, POC-3 is created by the proposal to install a fire lane at the southwest corner of the site. This road is steep and cuts into the portion of the cut slope that previously had been left alone in the GP22-00018 study. This POC-3 proposes treatment and storage by way of a biofiltration swale. The project proposes all necessary improvements to support the drainage and mitigation needs of a typical high density townhome project.

The runoff then returns to its existing flow condition. From there stormwater runoff flows into the existing public storm drain system in Melrose Drive.

6.3 WATER SUPPLY

Water service for potable residential use and fire service to the planning areas will be provided by Vallecitos Water District (VWD). The Specific Plan Area will connect to the existing eight (8) inch water line in Melrose Drive at Diamond Street near the main entry to the Specific Plan Area. Water connections to dwelling units will be provided via a four (4) inch line teeing off the Melrose-Diamond connection and generally following project driveways. Each dwelling unit will connect to the four (4) inch line. An eight (8) inch fire main will parallel the potable water line for fire service to the site.

6.4 WASTEWATER

Wastewater service for residential uses will be provided by Vallecitos Water District (VWD). An eight (8) inch gravity sewer main is located in Melrose Drive. Internal sewer lines shall be privately constructed and privately maintained. Dwelling units will connect to sewer within the Specific Plan Area via a new eight (8) inch sewer main line that will run the length of the main driveway starting at the southern end of the developed area. Sewer will gravity drain to the southwest following the driveways.



Conceptual Water Distribution
Ascend Specific Plan

Figure 21



Conceptual Wastewater Distribution
Ascend Specific Plan

Figure 22



Figure 23

6.5 DRY UTILITIES

Dry utilities include electricity and telecommunications infrastructure for the land uses included in this Specific Plan. Electricity will provide the source for heat and air conditioning and power generation for homes and recreation facilities within the development. Photovoltaic power generating systems or other alternative energy generation systems as approved by the planning department shall be permitted within the Specific Plan Area to supplement electricity and to help reduce or offset carbon emissions. Any alternative energy program must be compliant with State and local regulations and ordinances. The following provides a description of the dry utility system distribution throughout the Specific Plan Area.

6.5.1 Electricity

Electrical service distribution systems proposed for the Ascend Specific Plan Area shall be provided by San Diego Gas and Electric (SDG&E). Developers of the Ascend Specific Plan Area will be required to hire a contractor to provide all trenching, backfill, substructures, conduits, and transformer pads necessary for electrical utility installation work. Should SDG&E find installation of extra facilities is required for system reliability, it shall be the responsibility of the developer to perform the related work mentioned in this section. SDG&E shall be responsible for the installation of necessary cables, connectors, and pad-mounted equipment as required. Any proposed above-ground transformers and electrical facilities that solely service the Specific Plan Area will be placed on-site and not within the City's right-of-way. Final utility equipment design will be coordinated with a utility consultant, the city, and SDG&E.

In accordance with the current Building Code, all buildings will be equipped with photovoltaic panels to provide solar energy for the homes. In addition, homes will include energy conservation features such as spray foam insulation, thermal breaks, low-e windows, advanced thermostats, energy star appliances, and sealed insulated ducts. Homes will be Energy Star Certified to meet EPA standards.

6.5.2 Gas

No natural gas service will be included in this Specific Plan.

6.5.3 Telecommunications

Cable and telephone services will be provided through Cox Communications, AT&T or another telecommunications provider with infrastructure in the area. Cable connections will be stubbed for the property at the time of construction for dry utilities. All existing above ground telecommunications facilities shall be undergrounded during construction. Residents will be able to choose to connect to cable and telephone via several packages offered through the telecommunications provider.

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Chapter 7 – Public Services and Facilities Plan

7 PUBLIC SERVICES AND FACILITIES PLAN

7.1 INTRODUCTION TO PUBLIC SERVICES AND FACILITIES

The Ascend Specific Plan Public Services and Facilities Plan focuses on those services and facilities related to the Specific Plan Area, which are required to provide a safe, healthy, and well-rounded community. This section will provide details on the scope of services and facilities needed to provide comprehensive development while minimizing impacts to existing service providers and infrastructure including districts and schools for children of the Plan Area, community facilities, police and fire protection, and finally solid waste disposal. Details on the financing and maintenance of public services and facilities the developer must provide can be read in Chapter 8.

The US Census Bureau has compiled information related to the average number of people per household. Based on the 2020 census, the average population of households within San Marcos equates to approximately 3.17 persons. The maximum of 160 units proposed in the Plan area would result in approximately 507 new residents within the City of San Marcos. The impacts and contributions those additional residents have on public services and facilities are explained in more detail below.

7.1.1 Schools

This section of the Ascend Specific Plan will identify the school districts and individual schools which school age children residing within the Plan area will attend. The San Marcos Unified School District will provide educational instruction for children residing within the Specific Plan Area. The following institutions have been identified as the primary education providers to the Plan area. Elementary school students residing in the Ascend Specific Plan will attend Carillo Elementary School located at 2875 Poinsettia Ln. Carlsbad, CA. Middle school students will attend San Elijo Middle School located at 1600 Schoolhouse Way San Marcos, CA 92078. High school students will attend San Marcos High School located at 1615 W. San Marcos Boulevard and is approximately one mile from the Specific Plan Area.

Table 9 Schools

School	Address
Carillo Elementary School	2875 Poinsettia Ln. Carlsbad, CA 92009
San Elijo Middle School	1600 Schoolhouse Wy. San Marcos, CA 92078
San Marcos High School	1615 W. San Marcos Blvd. San Marcos, CA 92069

The developer, and/or builder for the Ascend Specific Plan will offset its expected increase in students through monetary contributions in the form of school district development fees paid to the San Marcos Unified School District.

7.1.2 Parks, Recreation, and Open Space

The Ascend Specific Plan incorporates private recreation space in the form of private balconies and patios, private recreational open space areas with common amenities, and common area landscaping open space as a component of the land use concept. Approximately 9.83-acres of open space is distributed throughout the Specific Plan Area and includes private patio/yard space for each dwelling unit. Per the City's Municipal Code, which is consistent with the Quimby Act, a total of 5 acres of public park space is required for every 1000 residents generated by a proposed project or the developer can opt to pay in-lieu fees. The applicant/developer has the option to pay the in-lieu fee as opposed to the development or dedication of new public park space to the City of San Marcos. Those fees are used by the city to construct new public park space and recreation facilities or to maintain existing public park and recreation facilities.

7.1.3 Library Services

The Ascend Specific Plan is served by the San Diego County Library System. The San Marcos branch is located at 2 Civic Center Drive approximately 3.5 miles from the Plan Area. The San Marcos branch offers a variety of services to the public including book and music rentals, computer access, as well as literary programs and other programs beneficial to the community. Additional library resources are provided to the public through the two colleges located in San Marcos. Palomar Community College located at 1140 West Mission Road provides free access to materials with valid picture identification and proof of current mailing address. A Community Borrower Card can be purchased from California State University San Marcos (CSUSM) for \$30.00 which allows the public access to privileges at CSUSM.

7.1.4 Fire Protection

The Ascend Specific Plan is located within the San Marcos Fire Protection District boundary. The San Marcos Fire Department (SMFD) will provide fire protection for urban and wildland fires and emergency services to the entire Plan area. SMFD services San Marcos with four stations, the closest of which is Fire Station Two located at 1250 Rancho Santa Fe Road approximately two miles from the Plan Area. Fire Station Two houses one paramedic engine company and one paramedic ambulance. The Ascend Specific Plan is near to existing development however, the Plan Area is located within proximity to open space areas with slopes, fuel, and fire hazards, therefore residents of the Ascend Specific Plan, in accordance with the Community Wildfire Protection Plan (CWPP) and Hazard Risk Assessment (HRA) doctrines adopted by the SMFD, shall be required to comply with the rules and regulations established within the CWPP and HRA. A fire protection plan which identifies ways to minimize and mitigate potential for loss from wildfire exposure shall be submitted to and reviewed by the San Marcos Fire Department for this residential development. The measures incorporated in the above text contribute to the Ascend Specific Plan's comprehensive approach to fire safety.

7.1.5 Police Protection

Police protection for the Ascend Specific Plan shall be provided by the County of San Diego Sheriff's Department. The County Sheriff provides contract law enforcement services to the City of San Marcos through the station located at 182 Santar Place located within city limits. The station's location is approximately seven miles from the Plan Area and provides services to San Marcos and the surrounding unincorporated areas. Community law enforcement services are provided year-round, 24 hours a day. The Sheriff's Department offers a variety of services to help keep the

community safe. Deputies are responsible for general patrol services including traffic enforcement, suppression of drug activities, and response to theft and gang-related crimes. The San Marcos station has the only ASTREA (Sheriff's Aviation) landing pad in the County to provide assistance to ground units and extending the range deputies can patrol. Additional services to the community include detective units responsible for crime investigations, the Community Oriented Policing and Problem Solving (COPPS) program assigned to investigate community quality of life issues, crime prevention units, crime analysis, and senior volunteers, as well as various administrative services. Child Protective Services, Adult Protective Services, and Juvenile Probation all operate out of the San Marcos Station. Together, these services offer the Ascend Specific Plan comprehensive law enforcement to help maintain community safety.

7.1.6 Solid Waste Disposal

Solid waste collection and recycling services to the Specific Plan Area shall be provided by EDCO Waste & Recycling. Non-recyclable waste, including general trash and green materials, is collected and transported to the Sycamore Sanitary Landfill in Santee. Recyclable materials are transferred to the Escondido Resources Recovery Transfer Station for further processing. Household hazardous waste can be disposed free of charge for residents of San Marcos at the Vista HHW Collection Facility at 1145 E. Taylor Street or the Poway HHW Collection Facility at 12325 Crosthwaite Circle.

Chapter 8 – Facilities Financing Plan

8 FACILITIES FINANCING PLAN

Introduction to Facilities and Financing Plan

This section describes the various options for financing the improvements required for the Ascend Specific Plan. A detailed financing plan should be prepared to ensure improvements to the Specific Plan Area are implemented in a successful manner and within an orderly timeframe. The financing plan will establish specific methods of financing to achieve the goals and policies set forth in this Chapter.

Financing mechanisms for each improvement shall be timed with any proposed phasing of the Specific Plan Area, established conditions of approval, and site plan and/or design review approval. The following descriptions provide information on possible methods which could be employed to finance improvements in the Specific Plan Area. It should be noted there may be other sources not listed below which would fulfill any mandates for the financing of improvements.

8.1 METHODS OF FINANCING FOR PUBLIC IMPROVEMENTS AND SERVICES

The developer or builder shall be responsible for their fair share of financing construction of any public improvements as well as the entirety of private infrastructure improvements required to support development within the Ascend Specific Plan. Improvements may include, however may not be limited to, construction of internal and adjacent streets, water lines, sewer lines, storm drains, and electrical delivery systems. The developer or builder can use a combination of financing mechanisms to achieve the required construction and maintenance of facilities and improvements; however, the developer or builder shall be ultimately responsible for all fair share costs identified with implementation of development within the Ascend Specific Plan, including but not limited to, costs associated with infrastructure construction, compliance with any mitigation measures identified within the EIR Conditions of Approval, or any other associated requirements which may need to be fulfilled. It is anticipated that the developer will construct any required public improvements. It is also anticipated that any long-term maintenance of public improvements or facilities will be maintained through CFD's.

8.1.1 Developer Funded Options

Many of the onsite facilities to be constructed will be financed and constructed entirely by the developer or builder. Some examples of these types of improvements are onsite private streets, alleys, and driveways, utility connections from main trunk lines, and storm drain facilities. In the case of electricity connections, the developer or builder may be required to use the electricity providers' construction crews or contractors provided from an approved list determined by the energy provider. In those cases, correspondence will occur between the parties to establish the funding method, at a cost to the developer or builder, to finance those improvements.

8.1.2 Special Assessment Districts

Special assessment districts may be used by the City of San Marcos to pay for improvements within a defined area so long as the property owner votes to allow the assessment to proceed. Once an approval vote has been made, the City has the authority to form the special assessment district by the authority of the Improvement Act of 1911, and the Municipal Improvement Act of 1913. The

property owner/developer will bond to pay for improvements such as streets, storm drains, sidewalks, landscape and lighting, water and sewer services, and other similar public improvements.

8.1.3 Community Facilities Districts and Mello-Roos

The City of San Marcos may use a Community Facility District and require Mello-Roos to finance public improvements for the Specific Plan Area. The Mello-Roos, Community Facilities Act of 1982 allows the City to establish special districts and to levy special taxes and issue tax exempt bonds to finance those improvements. Mello-Roos do not require municipalities to show any specific special benefit to assessed properties; therefore they may be used to finance a broad range of general improvements such as police and fire facilities, libraries, parks, and any improvements which may benefit specific properties.

8.1.4 Other Funding Sources

The developer or builder may secure other sources of funding to construct and maintain public and private facilities such as government grants, private developer coalitions, or various bonds not specifically mentioned above.

8.2 FINANCING PUBLIC IMPROVEMENTS AND SERVICES

The orderly development of the Specific Plan Area requires the procurement of sufficient funding for public facilities and services. The following summaries provide details on financing of facilities and services for the Ascend Specific Plan required to be available at the time of need. The sections described below will provide information on specific financing options and implementation methods for facilities and service within the Specific Plan Area.

8.2.1 Circulation Improvements

The Ascend Specific Plan includes a comprehensive circulation plan, which includes private road improvements and may be required to provide public road improvements, public utility upgrades or other infrastructure improvements. Development within the Specific Plan Area is contingent upon the financing and maintenance of both private internal streets and external public road improvements, public streetscape improvements, and any mitigation measures for traffic impacts identified in the traffic study produced for the EIR.

Internal private streets will be financed as a whole, by the developer or builder.

Improvements to public external roads, rights-of-way, public landscaping and landscaping adjacent to the project's frontage identified by the City of San Marcos will be financed and constructed by the developer and/or builder.

8.2.2 Fire, Paramedics & Law Enforcement Services and Facilities

Fire and Paramedic Services and Facilities

The Ascend Specific Plan is within the San Marcos Fire Protection District. To offset impacts to fire, paramedic services and facilities the developer and/or builder will pay fees to the City of San Marcos. Service to the Specific Plan Area shall be provided by the San Marcos Fire Department (SMFD). The developer will pay its fair share contribution to the City of San Marcos' CFD for fire service to the Specific Plan Area. Future homeowners will be assessed annual fees for this district with increases as determined by the city.

Law Enforcement Services and Facilities

The County of San Diego Sheriff's Department, under contract with the City of San Marcos, will provide police protection services to the Ascend Specific Plan. The Ascend Specific Plan developer shall pay its fair share contribution to the City of San Marcos' CFD for law enforcement service. Future homeowners will be assessed annual fees for this district with increases as determined by the city.

8.2.3 Schools

The Ascend Specific Plan is located within the San Marcos Unified School District (SMUSD). Impacts to SMUSD will be mitigated by a per square foot fee paid by the developer to the school district and based on total residential dwelling unit square footage.

8.2.4 Recreational Facilities, Parks, and Open Space

All categories of open space located within the Ascend Specific Plan, including common-area open space, parks, water quality features, and any biological preserved areas, will be financed and constructed by the developer. Maintenance responsibilities of recreational facilities, parks, and open space are described in section 7.1.2. The developer and/or builder will pay Public Facilities Fees to offset the project's impact on City-owned parks and recreation facilities.

8.3 OPERATIONS AND MAINTENANCE OF PUBLIC IMPROVEMENTS AND PRIVATE FACILITIES

Maintenance of open space, recreational facilities, storm water quality features, private streets, public streets, water and sewer systems, and landscaping of public rights-of-way are important components to the image of Ascend Specific Plan and the functionality and safety of stormwater movement. This Section will define each entity responsible for maintenance of public improvements and private facilities which will have a prolonged impact on the Specific Plan Areas appearance.

There are several options for funding operation and maintenance of public and private facilities and landscaping. For operation and maintenance of private facilities, the Specific Plan Area will require the formation of a homeowner's association (HOA). Private facility maintenance areas will be the financial responsibility of the HOA and will be maintained privately. These areas include, but are not limited to, common area open space, onsite landscaping, parks, HOA pool facilities, onsite streets, and storm water quality basins and associated facilities. Landscaping within each private lot within the Specific Plan Area shall be the sole responsibility of the homeowner. Operation and maintenance responsibilities are defined in detail below.

- Private parks and common area facilities maintenance within Ascend Specific Plan shall be the responsibility of the Ascend Specific Plan HOA(s).
- Maintenance of common area landscaping within the Ascend Specific Plan shall be the responsibility of the Ascend Specific Plan HOA(s).
- Maintenance of defensible space / fuel modification zone(s) from all sides of structures as identified in the Fire Protection Plan shall be the responsibility of the Ascend Specific Plan HOA(s).
- Maintenance of landscaping within individual dwelling unit private open space shall be the responsibility of the homeowner.

- Maintenance within front patio/yards of multifamily residential units shall be the responsibility of the HOA(s).
- Private streets, landscaped parkways, and entry monuments and gates shall be maintained by the Ascend Specific Plan HOA(s).
- All private stormdrain systems and storm water quality facilities within the Specific Plan Area will be maintained by the HOA.
- Public water and sewer systems will be maintained by VID, VWD and/or both and private water/sewer systems within the Ascend Specific Plan will be maintained by the HOA.
- Maintenance of landscaping, lighting, and storm drain systems, in public right-of-way easements along public streets shall be the responsibility of the City of San Marcos with an assessment paid to the City of San Marcos by the property owner.
- Public street maintenance shall be the responsibility of the City of San Marcos.

Table 10 Financing and Maintenance Responsibilities

Improvement	Installation/Financing Responsibility	Long-term Maintenance Responsibility
Common Area landscaping	Developer	HOA(s)
Private Open Space	Developer	HOA(s)
Private Recreational Facilities	Developer	HOA(s)
Private Streets	Developer	HOA(s)
Public Improvements to Melrose Dr.	Developer	City of San Marcos
Public Landscaping in rights-of-way	Developer	City of San Marcos
Private Storm Drain Systems and Best Management Practice equipment and facilities	Developer	HOA
Public Storm Drain Systems	Developer	City of San Marcos
Public Water	Developer	Vallecitos Water District (VWD)
Public Sewer	Developer	Vallecitos Water District (VWD)
Private Water	Developer	HOA(s)
Private Sewer	Developer	HOA(s)

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Chapter 9 – Specific Plan Administration

9 SPECIFIC PLAN ADMINISTRATION

9.1 OVERVIEW

This chapter of the Ascend Specific Plan is essential to establishing a thorough review process for proposed discretionary entitlements and other processes which may become necessary within the Specific Plan Area. Sections within this chapter form the procedures for review of entitlements and modifications or amendments to the Specific Plan (i.e., administration authority of the Plan, descriptions of the entitlements to be processed concurrently with this Specific Plan, compliance with CEQA, and substantial conformance and amendments to the Plan). Those rules, regulations, and processes outlined within this chapter govern the lead agency's implementation of development within the Specific Plan Area. In addition to the Ascend Specific Plan implementation, several discretionary entitlements will also be processed concurrently. This section provides a detailed description of the mechanisms needed for implementation of the Specific Plan and should be the primary document consulted when questions arise concerning future development or development changes within the Specific Plan Area. As the lead agency, The City of San Marcos is responsible for the administration of the Ascend Specific Plan and as such is responsible for ensuring the rules and procedures described herein are implemented in a consistent manner with all City rules, regulations, and policies.

9.2 IMPLEMENTATION

Subsequent approvals needed to implement this Specific Plan include a tentative condominium map, attached and detached townhomes site development plan, final map, grading plan, improvement plans, final landscape plan, and building permits. Once these subsequent approvals are acquired, the project may be constructed in two (2) phases or more depending on circumstances.

Phase one involves preparing the site for vertical construction. The first phase will consist of clearing grubbing the site of all vegetation, rough grading the land to redefine the shape of the property and bring elevation to within a few inches of the final design, installation of wet and dry utilities, roadway improvements, and finish grading to shape the final contours and establish building pads. Phase one is anticipated to be completed within six months after Tentative Map Approval.

The second phase will involve vertical construction which entails pouring foundations and sidewalks, construction buildings, and installing landscaping and amenities. Phase two may be broken down into subphases depending upon market conditions and the availability of materials. Phase two is anticipated to be completed within one year after the completion of Phase one.

9.3 ADMINISTRATION

Any future development within the Specific Plan Area may be subject to further review and subsequent discretionary permits and approval from the City of San Marcos Development Services Department. Application, fee, and processing requirements shall be in accordance with the City's regulations, unless modified by this Specific Plan. Applications for subsequent development projects or public improvements and other activities will be reviewed by the Development Services Department using established procedures to determine consistency with the Ascend Specific Plan and all pertinent development standards, design standards, and mitigation measures identified during the

environmental review process, as well as other applicable conditions of approval adopted as part of this Specific Plan.

Review and analysis of a subsequent project permit(s) may trigger conditions of approval that the City determines to be reasonably necessary to ensure the project's application and or plans achieve compliance with this Specific Plan. Procedures to amend the Ascend Specific Plan are also detailed in this section, should the applicant or City staff determine changes to the project trigger an amendment to this Specific Plan to remain compliant with the adopted Specific Plan.

9.4 SPECIFIC PLAN AUTHORITY

California Government Code §65450 in conjunction with the City of San Marcos Zoning Ordinance Chapter 20.535, authorizes the City's legislative body to prepare and adopt Specific Plans. The Ascend Specific Plan is to be adopted by Ordinance by the San Marcos City Council and used as the primary guiding document for review of all subsequent discretionary entitlements within the confines of the planning. As a regulatory document, successful implementation of a development project within the Specific Plan Area is contingent upon meeting the land use and associated design, development, and infrastructure standards, and other policies outlined herein. The Ascend Specific Plan establishes development design, infrastructure, and implementation parameters and incorporates those standards through reference of applicable Zoning Ordinance or other appropriate standards and provisions, or the City of San Marcos Municipal Code, to establish specific zoning standards, which govern all development within the Specific Plan Area. Any proposed development and design activities within the Ascend Specific Plan Area must be consistent with the established parameters of this document. Should any requirements contained herein of the Ascend Specific Plan conflict with the City of San Marcos Municipal Code, the Ascend Specific Plan shall be the primary document used to resolve the conflict. If the Ascend Specific Plan is silent on any issues, the City of San Marcos Municipal Code, or other applicable adopted City standard(s) shall be referred to for regulations and standards.

9.5 RESPONSIBILITY FOR ADMINISTRATION

Several entities may/shall be responsible for the administration and enforcement of the Ascend Specific Plan. The City of San Marcos' Development Services Department is the primary department within the city responsible for the implementation, administration, and enforcement of the Ascend Specific Plan. The homeowner's association or other comparable group established for the Ascend Specific Plan shall be responsible for the enforcement of private property pursuant to standards identified herein as well as any covenants, conditions, and restrictions (CC&R's) developed separately from this Plan.

9.6 SEVERABILITY

If any section, subsection, sentence, clause, phase, or portion of this Specific Plan, or any future amendments or additions, is for any reason held to be invalid or unconstitutional by the decision of any court or competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Specific Plan or any future amendments or additions.

9.7 AMBIGUITY

If ambiguity arises concerning the appropriate classification of a particular use or regulation within the meaning or intent of this Specific Plan based on established or unforeseen circumstances,

including technological changes in processing or application of materials, the Planning Director shall have the authority to interpret the regulation based on understanding of the Specific Plan. Applicants may appeal the Planning Director's decision to the Planning Commission for review and interpretation, which shall be final; thereafter, such interpretation shall govern.

9.8 SUBSTANTIAL CONFORMANCE

Substantial conformance means that any proposed activity, construction and development complies with the Ascend Specific Plan, adopted mitigation measures, and project conditions of approval, where no additional units (except accessory dwelling units), property, or parcels beyond that provided by the Specific Plan or approved map are involved, approved minimum lot sizes are maintained, proposed construction is consistent with the architectural guidelines provided in the Specific Plan, no grading beyond substantial conformance limits is proposed, and no new significant environmental impact is created. Additionally, uses that are not specifically listed but are similar to those already listed in **Table 1** may be considered in substantial conformance. The Planning Director or their designees shall make a determination of substantial conformance prior to the issuance of any permits or approval of plans. No written determination is required provided plans submitted to the city for approval exhibit substantial conformance with the Ascend Specific Plan. Plans found not to be in substantial conformance shall not be approved and shall be revised or a Specific Plan amendment shall be required.

9.9 MINOR DEVIATIONS

To provide flexibility in the development and permitting process, minor deviations to approved plans in conjunction with an approved permit may be authorized by the Planning Director without amending the Specific Plan. Examples of Minor Deviations include the following:

1. Modifications to the site plan, architecture, landscape treatments, wall and fence design, lighting, and signage which are generally consistent and compatible with the plans contained herein and provide an equal or superior design aesthetic and quality.
2. Changes in the location, size, or type of common area amenities.
3. Final facility sizing and alignment for water, sewer, and storm drain improvements (with concurrence from the City Engineer).
4. Removal of unnecessary utility infrastructure or design changes to utility infrastructure (with concurrence from the City Engineer).
5. Minor adjustment to the alignment, width, or grade of public or private streets within the Specific Plan Area grading that are generally consistent with the Specific Plan and the exhibits herein (with concurrence from the City Engineer and Fire Department).
6. Deviations that are of a similar magnitude to those listed above, which are deemed minor by the Director and conform to the objectives of this Specific Plan.

Minor deviations shall be limited to actions that will not:

1. Constitute a substantial change in the permit(s).
2. Adversely affect adjacent property or adjacent property owners.
3. Violate any Specific Plan Objectives or Development Standards.

Site plan deviations resulting in one (1) or more of the following shall not be authorized:

- a) Increase in dwelling units above the total prescribed herein (except accessory dwelling units).
- b) Increase of land/site coverage by more than ten percent (10%) by any increase in building size or number of structures.
- c) An increase or decrease of more than ten percent (10%) of the:
 - Gross area of any private or common opens space.
 - Size of any building or structure or of the total land area covered by any building or structure.
 - Building/structure height or depth.
 - Area of any slope.

9.10 SPECIFIC PLAN AMENDMENTS

Amendments to the Specific Plan may be necessary to respond to changes in housing market trends and the economy. Applications that are not in substantial conformance and do not qualify for a minor deviation will require an amendment to the Specific Plan. Amendments may be processed either administratively through the Planning Director's review or through the Planning Commission and City Council. The applicant may submit an application to the City of San Marcos' Development Services Department, which may include maps, text, and or technical studies describing the nature and intent of minor modifications. Upon submittal, the Planning Director or their designees will make a determination as to the applicability of the amendment process. No amendment shall be approved that is not consistent with the General Plan.

9.10.1 Minor Amendments

Minor Amendments include minor changes to the Specific Plan that may be reviewed and approved by the Planning Director for the City of San Marcos. Minor amendments may include the following:

1. Correction or revisions to text to resolve ambiguity pursuant to Section 9.7.
2. Additions, deletions, or modifications to Table 2: Allowable Land Uses, which are consistent with the objectives of the Specific Plan, provided the density, intensity, and traffic, are not increased.
3. Modifications to design guidelines for architectural and open space features, materials, landscape treatments, wall and fence design, lighting, and signage which are consistent and compatible with the surrounding area and neighborhood. Changes should provide an equal or superior design, aesthetic, and quality.
4. Revisions to the site plan that are generally consistent with the Specific Plan and the exhibits herein do not result in any of the following:
 - (a) An increased number of units.
 - (b) Additional environmental impacts not previously addressed in the EIR.
 - (c) Conflicts with final conditions of approval in the City issued permits, regulations, and approvals or as issued by other agencies with jurisdiction over the project.
 - (d) Expansion or contraction of the outer geographic boundaries of the Specific Plan.

(e) Deviations from Table 1: Distribution of Development of more than 20%.

5. Modifications to the Specific Plan that are of a similar magnitude to those listed above, which are deemed minor by the Planning Director and conform to the objectives of this Specific Plan.

Should the Director determine whether a proposed revision does not meet the criteria for a Minor Amendment, a Major Amendment shall be required. The Director may delegate his/her administrative decision to the Planning Commission and City Council. The applicant may also appeal the Planning Director's decision to the Planning Commission in accordance with the appeals procedures set forth in the SMMC.

9.10.2 Major Amendments

If no mechanism can be applied from the defined parameters listed previously in this chapter or as determined by the Planning Director, a major amendment to the Specific Plan shall be required. The City of San Marcos shall process all formal Specific Plan Amendments in accordance with the SMMC. Additional environmental review may be required unless the proposed changes do not warrant additional environmental review in accordance with CEQA.

9.11 ENVIRONMENTAL REVIEW

The Environmental Impact Report (EIR) certified concurrently with the Ascend Specific Plan shall serve as the primary environmental document for all subsequent discretionary entitlements within the Ascend Specific Plan Area. Pursuant to Government Code Section 65456, any residential development project, including any subdivision, or any land use permit that is undertaken to implement and is consistent with a specific plan for which an environmental impact report has been certified is exempt from the requirements of CEQA. However, after adoption of the specific plan, if substantial changes are proposed to the project that would result in additional impacts not already analyzed by the EIR, the exemption does not apply unless and until a supplemental environmental impact report or EIR addendum is prepared and certified in accordance with CEQA. After a supplemental environmental impact report or addendum is certified, the exemption specified in this subdivision applies to projects undertaken pursuant to the specific plan. Subsequent determinations of the level of environmental review for discretionary approvals will be determined by the City of San Marcos on a project-by-project basis in accordance with the California Environmental Quality Act (CEQA) Guidelines.