

CONCEPTUAL PLANNING SUBMITTAL PACKAGE

MONTIEL OFFICE BUILDING

2355 & 2375 Montiel Road, San Marcos, California 92069



41951 REMINGTON AVE, SUITE 250
TEMECULA, CALIFORNIA 92590
(TEL) 951 - 296 - 2828
www.bdg-architects.com
ARCHITECT OF RECORD

PROFESSIONAL SEAL

CONSULTANTS

REVISIONS

APPROVAL

PROJECT PHASE

CONCEPTUAL
PLANNING
SUBMITTAL
FOR
MONTIEL OFFICE
BUILDING

2375 and 2355 MONTIEL ROAD
SAN MARCOS, CALIFORNIA 92069

PROJECT NAME

18116

PROJECT NUMBER

COVER SHEET

SHEET TITLE

T1.0

SHEET NUMBER

NTS

12 FEBRUARY 2019

SCALE

DATE

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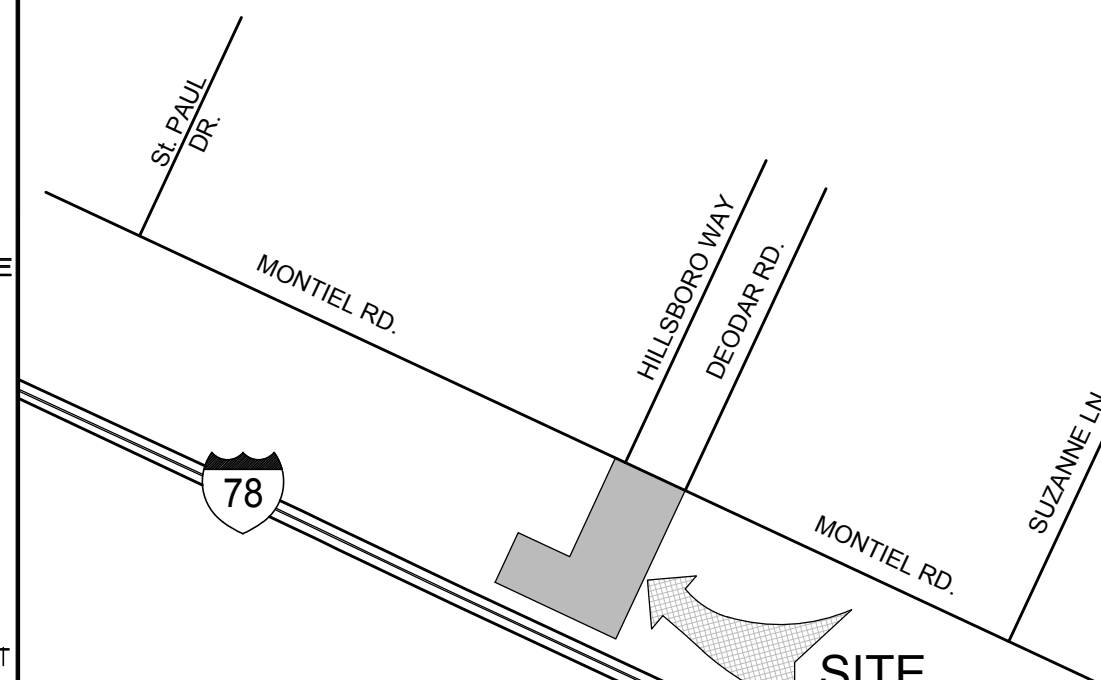

2375 and 2355 MONTIEL ROAD
SAN MARCOS, CALIFORNIA 92069

PROJECT NAME
18116
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TITLE SHEET

SHEET TITLE
T1.1
SHEET NUMBER

NTS 12 FEBRUARY 2019
SCALE DATE

DEFERRED APPROVAL	LEGAL DESCRIPTION	BUILDING & SITE DATA	PROJECT DIRECTORY	SHEET INDEX
<div><div>FIRE SFRINKLER:</div><div>AUTOMATIC FIRE SFRINKLER SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH 2016 CFC UNDER SEPARATE PERMIT</div></div> <div><div>FIRE ALARM:</div><div>FIRE ALARM SYSTEM OR MONITORING SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH 2016 CFC UNDER SEPARATE PERMIT</div></div> <div><div>BUILDING SIGNAGE:</div><div>BUILDING SIGNAGE TO BE SUBMITTED UNDER A SEPARATE PERMIT BY THE BUILDING OWNER</div></div>	<div><div>PROJECT NAME:</div><div>MONTIEL OFFICE BUILDING</div></div> <div><div>PROJECT ADDRESS:</div><div>2355 & 2375 MONTIEL ROAD SAN MARCOS, CALIFORNIA 92069</div></div> <div><div>ACCESSOR'S PARCEL #1</div><div>228-370-20</div></div> <div><div>LEGAL DESCRIPTION</div><div>THE SOUTHEASTERLY 100 FEE OF THE NORTHWESTERLY 225 FEET OF THE NORTHEASTERLY 180 FEET OF LOT 16 IN BLOCK 1 OF THE RANCHO LOS VALLECITOS DE SAN MARCOS, IN THE CITY OF SAN MARCOS, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THEREOF NO. 806, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 21, 1895</div></div> <div><div>ACCESSOR'S PARCEL #2</div><div>228-370-39</div></div> <div><div>LEGAL DESCRIPTION</div><div>ALL OF LOT 16 IN BLOCK 1 OF THE RANCHO LOS VALLECITOS DE SAN MARCOS, IN THE CITY OF SAN MARCOS, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THEREOF NO. 806, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 21, 1895 EXCEPTING THEREFROM THE NORTHWESTERLY 125.00 FEET OF THE NORTHEASTERLY 360.00 FEET ALSO EXCEPTING THEREFROM THE SOUTHEASTERLY 100.00 FEET OF THE NORTHWESTERLY 225.00 FEET OF THE NORTHEASTERLY 180 FEET ALSO EXCEPTING THEREFROM THAT PORTION LYING SOUTHWESTERLY OF THE NORTHEASTERLY LINE OF THAT PORTION OF CALIFORNIA STATE HIGHWAY, XI-SAN DIEGO-196-B AS DESCRIBED IN DEED TO THE STATE OF CALIFORNIA, RECORDED JUNE 20, 1962 AS INSTRUMENT NO. 105013 OF OFFICIAL RECORDS ALSO EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE STATE OF CALIFORNIA, RECORDED NOVEMBER 25, 1970 AS INSTRUMENT NO. 215958 OF OFFICIAL RECORDS, LYING SOUTHWESTERLY OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT A POINT OF THE NORTHWESTERLY LINE OF SAID LOT 16, DISTANT THEREON SOUTH 21°31'32" WEST 438.70 FEET FROM THE NORTHERLY CORNER OF SAID LOT 16; THENCE (1) SOUTH 63°28'41" EAST, 363.09 FEET TO THE SOUTHEASTERLY LINE OF SAID LOT 16, DISTANT THEREON SOUTH 21°34'03" WEST, 431.16 FEET FROM THE EASTERLY CORNER OF SAID LOT 16, EXCEPTING THEREFROM THAT PORTION DESCRIBED IN DEED TO THE STATE OF CALIFORNIA RECORDED JUNE 20, 1962 AS INSTRUMENT NO. 105013 OF OFFICIAL RECORDS THE ABOVE DESCRIBED PARCEL IS THE SAME LAND DESCRIBED IN CHICAGO TITLE COMPANY, TITLE COMMITMENT NO. 00086585-004-RH1-CFU, BEARING AN EFFECTIVE DATE OF FEBRUARY 23, 2018 AT 1:30 AM</div></div>	<div><div>TOTAL LOT AREA:</div><div>112,881.40 SF. = 2.5914 ACRES</div></div> <div><div>(E) ZONING:</div><div>"COMMERCIAL" ZONE WITH NEW SPECIFIC PLAN PER CHAPTER 20.220 OF TITLE 20 OF SMMC/ZONING ORDINANCE</div></div> <div><div>GENERAL PLAN:</div><div>SFA - COMMERCIAL</div></div> <div><div>OCCUPANCY GROUP:</div><div>OFFICE (CBC-SECTION 304)</div><div>GROUP "B"</div></div> <div><div>OCCUPANCY GROUP:</div><div>CAFE (CBC-SECTION 303.3)</div><div>GROUP "A-2"</div></div> <div><div>NOTE:</div><div>A 1-HR FIRE SEPARATION BETWEEN GROUP "B" AND "A-2"</div></div> <div><div>CONSTRUCTION TYPE:</div><div>CAFE (CBC-TABLE 601)</div><div>"V-B"</div></div> <div><div>FIRE PROTECTION:</div><div>FULLY SFRINKLERED</div></div> <div><div>NUMBER OF STORIES:</div><div>(CBC 2016, TABLE 504.4)</div></div> <div><div>ALLOWED:</div><div>3</div></div> <div><div>ACTUAL:</div><div>2</div></div> <div><div>BUILDING HEIGHT:</div><div>(CBC 2016, TABLE 504.3)</div></div> <div><div>ALLOWED:</div><div>60 FEET</div></div> <div><div>ACTUAL TOP OF BUILDING:</div><div>35'-6" FEET</div></div> <div><div>FLOOR AREA INCREASE:</div><div>(CBC 2016, TABLE 506.2)</div></div> <div><div>TYPE V-B ALLOWABLE FLOOR AREA W/SFRINKLERS</div><div>21,000 SF</div></div> <div><div>FLOOR AREA INCREASES BASED ON FRONTAGE</div><div>13,500 SF</div></div> <div><div>TOTAL ALLOWABLE FLOOR AREA</div><div>40,500 SF</div></div> <div><div>FLOOR AREA INCREASE IS BASED ON 2016 CBC SECTION 506.3 AND EQUATION 5-4 AND 5-5</div></div> <div><div>BUILDING SETBACKS:</div></div> <div><div>FRONT SETBACK</div><div>252'-2"</div></div> <div><div>REAR SETBACK</div><div>13'-6"</div></div> <div><div>EAST SIDEYARD SETBACK</div><div>10'-0"</div></div> <div><div>WEST SIDEYARD SETBACK</div><div>54'-2"</div></div> <div><div>BUILDING FLOOR AREA:</div></div> <div><div>FIRST FLOOR OFFICE, CIRCULATION AND CORE AREA</div><div>13,879 SQ. FT.</div></div> <div><div>FIRST FLOOR CAFE AREA</div><div>1,876 SQ. FT.</div></div> <div><div>SECOND FLOOR AREA</div><div>17,214 SQ. FT.</div></div> <div><div>TOTAL:</div><div>32,969 SQ. FT.</div></div> <div><div>LOT COVERAGE TABULATION</div></div> <div><div>PARCEL 1 AND 2 =</div><div>112,881 SQ. FT. = 100.00%</div></div> <div><div>GROUND FLOOR BUILDING AREA =</div><div>15,755 SQ. FT. = 13.96%</div></div> <div><div>DRIVE AISLES / PARKING / WALKWAYS =</div><div>75,854 SQ. FT. = 67.19%</div></div> <div><div>LANDSCAPE AREA =</div><div>21,272 SQ.FT. = 18.85%</div></div> <div><div>TOTAL</div><div>112,881 SQ. FT. = 100.00%</div></div> <div><div>MASTER PLAN PARKING TABULATION</div></div> <div><div>PARKING REQUIRED FOR OFFICE USE AT 4/1000 BASED ON 31093 / 250 SF</div><div>124 STALLS</div></div> <div><div>PARKING REQUIRED FOR CAFE USE AT 1/100 BASED ON 1,876 / 100 SF PLUS 3 EMPLOYEE SPACES</div><div>22 STALLS</div></div> <div><div>TOTAL PARKING REQUIRED</div><div>146 STALLS</div></div> <div><div>STANDARD PARKING STALLS</div><div>139 STALLS</div></div> <div><div>HANDICAP PARKING REQUIRED (2 VAN ACCESSIBLE)</div><div>8 STALLS</div></div> <div><div>"ELECTRIC VEHICLE PARKING SPACES PROVIDED" AND NOT "REQUIRED"</div><div>6 STALLS</div></div> <div><div>CAR / VAN POOL VEHICLE PARKING REQUIRED, NOT ADDITIONAL SPACES (10% OF TOTAL PARKING)</div><div>18 STALLS</div></div> <div><div>TOTAL PARKING PROVIDED</div><div>171 STALLS</div></div> <div><div>2 - 30' X 12' LOADING / UNLOADING AREA PROVIDED</div></div> <div><div>1 - BIKE RACK PROVIDED</div></div>	<div><div>OWNER</div><div>NORTH COAST CHURCH 1451 MONTIEL ROAD ESCONDIDO, CALIFORNIA 92026 (760) 701-6524 MR. JAMIE LOONEY</div></div> <div><div>ARCHITECT</div><div>BURGHARD DESIGN GROUP ARCHITECTS, INC. 41951 REMINGTON AVENUE, SUITE 250 TEMECULA, CALIFORNIA 92590 (951) 296-2828 MR. AL BURGHARD</div></div> <div><div>CIVIL ENGINEER</div><div>PARTNER ENGINEERING AND SCIENCE, INC. 1761 E. GARRY AVENUE SANTA ANA, CALIFORNIA 92705 (800) 419-4923 MR. ALI AZIMI</div></div> <div><div>LANDSCAPE ARCHITECT</div><div>HOWARD ASSOCIATES LANDSCAPE ARCHITECTURE 2442 SECOND AVENUE SAN DIEGO, CALIFORNIA 92101 (619) 518-9660 MS. JULIE HOWARD</div></div> <div><div>PROJECT DESCRIPTION</div><div>THIS 2.606 ACRE PROPERTY IS COMPRISED OF TWO PARCELS, ONE MEASURING 16,214 SF LOCATED AT THE NORTH-WEST CORNER, THE OTHER MEASURING 97,323 SF. BOTH PARCELS CURRENTLY HAVE ONE SINGLE FAMILY, NON-CONFORMING STRUCTURE DATING BACK SEVERAL DECADES. THERE IS ROUGHLY A 21 FOOT GRADE CHANGE FROM THE N-W CORNER SLOPING DOWN TOWARD THE SOUTH-EAST CORNER. BOTH EXISTING RESIDENTIAL STRUCTURES WILL BE DEMOLISHED AND REPLACED WITH A NEW 32,969 SF 2-STORY OFFICE BUILDING ON THE SOUTHERLY PORTION OF THE SITE. A ZONE CHANGE AND SPECIFIC PLAN WILL BE REQUIRED TO BE CONSISTENT WITH "COMMERCIAL" ZONE OF CHAPTER 20.220 OF TITLE 20 OF THE SMMC/ZONING ORDINANCE.</div><div>THE NEW BUILDING WILL BE DEVELOPED AS A CLASS "B" OFFICE BUILDING DESIGNED TO ATTRACT A VARIETY OF PROFESSIONAL TENANTS. IN ADDITION TO A FLEXIBLE LEASE SPACE CONFIGURATION, A PORTION OF THE GROUND FLOOR HAS BEEN CARVED OUT OF THE RECTANGULAR FOOTPRINT TO ACCOMMODATE A COMPLIMENTARY TENANT SUCH AS A COFFEE SHOP WHO WOULD WELCOME OUTDOOR SPACE AS AN EXTENSION OF THE INTERIOR SPACE. THE ENTIRE UPPER FLOOR IS DEDICATED TO LEASE SPACE PROVIDING A CHOICE OF TENANT SPACE SIZES FOR PROFESSIONAL TENANTS. THE COMMON AREA IS ALSO PROVIDED WITH A SHARED BALCONY/DECK OVER THE ENTRY ON THE NORTH SIDE OF THE BUILDING.</div><div>THE EXTERIOR OF THE BUILDING IS DESIGNED IN A MORE PROGRESSIVE STYLE OF ARCHITECTURE REFLECTIVE OF CURRENT TRENDS. THE EXTENSIVE USE OF GLAZING AND TWO DIFFERENT TYPES OF PRE-FINISHED METAL PANELS OR EXPOSED CONCRETE FINISH WILL PROVIDE A DURABLE BUILDING SKIN, LONGEVITY AND MINIMAL MAINTENANCE.</div><div>THE DEVELOPMENT OBJECTIVES ARE AS LISTED BELOW: IT IS OUR INTENTION TO DEVELOP THIS SITE IN A SINGLE PHASE. THE FIRST PART OF THE PROJECT WILL BE THE CIVIL PACKAGE WHICH WILL BE SUBMITTED SEPARATELY FROM THE BUILDING PACKAGE. THE CIVIL PACKAGE WILL INCLUDE NOT ONLY FINAL ENGINEERING FOR THE ENTIRE SITE BUT ALSO OFF-SITE STREET IMPROVEMENTS AND MODIFICATIONS. THIS WOULD ALLOW US TO START GRADING SEVERAL MONTHS EARLIER, INSTALL INFRASTRUCTURE, CURBING, GUTTERS, PAVING AND LIGHTS AT THE NORTHERN HALF OF THE SITE INCLUDING CONNECTIVITY WITH THE ADJACENT PARCEL WHICH COULD BE USED FOR OVERFLOW PARKING FOR SUNDAY SERVICES BY CHURCH ATTENDEES.</div><div>THE EXISTING WOOD FENCE ON THE SOUTHERN PORTION PROPERTY LINE AND ALONG THE EAST AND WEST PARCELS WILL BE REMOVED AND PROVIDED WITH STAIRS AND RAMPS TO FACILITATE PEDESTRIAN FLOW BETWEEN THE OFFICE BUILDING AND THE EXISTING CHURCH. THE LOWER FLOOR OF THE OFFICE BUILDING WILL BE UTILIZED FOR CHURCH ADMINISTRATIVE FUNCTIONS WHILE THE ENTIRE UPPER FLOOR WILL BE LEASED TO OTHER PROFESSIONAL TENANTS. A COFFEE SHOP (SIMILAR TO STARBUCKS) WILL ALSO BE PROVIDED FOR OFFICE TENANTS AND SUNDAY WORSHIP SERVICE. THERE WILL BE NO COOKING OR FOOD PREP IN THE COFFEE SHOP AS ALL GOODS WILL BE PRE-PACKAGED ITEMS.</div></div>	<div><div>T1.0 COVER SHEET</div><div>T1.1 TITLE SHEET / PROJECT DATA SHEET</div></div> <div><div>CIVIL DRAWINGS</div><div>C-1 TITLE SHEET</div><div>C-2 DEMO & EROSION CONTROL PLAN</div><div>C-3 LAYOUT PLAN</div><div>C-4 GRADING PLAN (1 OF 5)</div><div>C-5 GRADING PLAN (2 OF 5)</div><div>C-6 GRADING PLAN (3 OF 5)</div><div>C-7 GRADING PLAN (4 OF 5)</div><div>C-8 GRADING PLAN (5 OF 5)</div><div>C-9 TRIBUTARY AREA PLAN</div><div>C-10 SECTIONS</div><div>C-11 SECTIONS</div><div>C-12 STREET PLAN</div></div> <div><div>ARCHITECTURAL DRAWINGS</div><div>A1.1 OVERALL SITE PLAN</div><div>A1.2 SITE DETAILS</div><div>A1.3 SITE DETAILS</div><div>A1.4 SITE PHOTOGRAPHIC SURVEY PLAN</div><div>A1.5 MONTIEL ROAD SITE ELEVATION PLAN</div><div>A1.6 SITE LIGHTING PLAN</div><div>A2.1 1ST LEVEL FLOOR PLAN</div><div>A2.2 2ND LEVEL FLOOR PLAN</div><div>A2.3 ROOF PLAN</div><div>A4.1 COLOR NORTH AND SOUTH EXTERIOR ELEVATIONS</div><div>A4.2 COLOR EAST AND WEST EXTERIOR ELEVATIONS</div></div> <div><div>LANDSCAPE DRAWINGS</div><div>L-1 LANDSCAPE CONCEPT PLAN</div><div>L-2 WATER CONSERVATION PLAN & SCHEMATIC IRRIGATION PLAN</div><div>L-3 TREE SURVEY</div></div>
<div><div>VICINITY MAP</div><div></div><div><div>NORTH</div></div></div>				

johnaharado Feb 25,2020 - 4:27pm

P:\North Coast Church San Marcos\Pre-App Submittal Package\181116_T1.1_Talk-Sitecheck

GOVERNING CODES

THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR COMPLYING WITH ALL GOVERNING BUILDING CODES, INCLUDING, BUT NOT LIMITED TO:

2016 CALIFORNIA BUILDING CODE (CBC)
2016 CALIFORNIA MECHANICAL CODE (CMC)
2016 CALIFORNIA PLUMBING CODE (CPC)
2016 CALIFORNIA ELECTRICAL CODE (CEC)
2016 CALIFORNIA FIRE CODE (CFC)
2016 CALIFORNIA GREEN STANDARDS BUILDING CODE (GGBC)
2016 CALIFORNIA ENERGY EFFICIENCY STANDARDS
CURRENT CITY OF SAN MARCOS MUNICIPAL CODE

GRADING NOTES

1.

Call the assigned City of San Marcos Public Works Inspector 24-hours before commencement of work.
2.

Imported material shall be obtained from a legal site.
3.

All cut and fill slopes shall be planted with a mixture of trees, shrubs, and ground cover to control erosion. Slope landscaping shall be installed as soon as practical. Irrigation systems are required and shall be installed for perpetual maintenance of the plant life used for slope stabilization in accordance with Section 17.32.170 of the City's Grading Ordinance.
4.

Precise locations/elevations of the existing underground utilities are not known. The Contractor shall be solely responsible for making sufficient explorations to locate all utilities and substructures whether shown on the plans or not and to protect them from any possible damage prior to and during construction. The expense of repair or replacement of said utilities and substructures shall be borne by the Contractor. Contractor shall notify the Engineer-of-Work of any potential conflicts sufficiently in time for construction changes to be made and approved.
5.

The Contractor shall contact the Underground Service Alert at 1-800-422-4133 at least 48 hours prior to excavating to verify the locations of underground facilities of the following utilities:

Pacific Bell/SBC

San Diego Gas & Electric/Sempra

Vallecitos Water District

Cox Communications or Adelphia Communications

A Dig Alert Identification Number must be issued before a "Permit to Excavate" is valid per Government Code section 4216/4217.

6.

Approval of these plans by the City does not authorize any work or grading to be performed until the property owner's permission is obtained and a valid grading permit has been issued.
7.

All operations conducted on the premises, including the warming up, repair, arrival, departure or running of any equipment shall be limited to the hours of 7:00 a.m. to 4:30 p.m., Monday through Friday. No work shall be performed on the premises on Saturday, Sunday, or holidays.
8.

All major slopes shall be shaped and trimmed as shown on the plans and rounded into existing slopes to produce a contoured transition from cut or fill faces to natural ground and abutting cut or fill slopes. All stones, roots or other waste matter exposed on excavation or embankment slopes shall be removed and disposed of off-site in a legal manner by the Contractor.
9.

Notwithstanding the minimum standards set forth in the City's Grading Ordinance and the approval of these grading plans, the permittee is responsible for the prevention of damage to adjacent property. No person shall excavate on land so close to the property line as to endanger any system, or any other public or private property without supporting and protecting such property from settling, cracking, erosion, silting, scour or other damage which might result from the grading described on this plan. The City will hold the permittee responsible for correction of non-dedicated improvements, which cause damage to adjacent property.
10.

The Engineer-of-Work shall be notified when construction commences.
11.

Contractor shall be responsible for all construction/grading of slopes, pads, street grades and infrastructure improvements according to these plans. The Engineer-of-Work shall be contacted when changes or additions made during the progress of construction or if there is a misunderstanding of these plans or field stakes and an interpretation is needed. Certification from the registered civil engineer stating that the grading has been completed per the approved plan, and the compaction report from the geotechnical engineer on any required fill areas shall be provided prior to building permits being issued.
12.

Minimum 90% compaction is required in all on-site fill areas with a minimum of 95% compaction six inches (6") below finished subgrade in a public street.
13.

All trench excavation and backfill in the public right-of-way shall conform to the requirements of the City's Street Excavation Ordinance No. 2003-1196 subject to approval from the Public Works Inspector.
14.

Contractor shall be responsible for protecting any monumentation and/or benchmarks. Any monumentation and/or benchmarks, which are disturbed or destroyed by construction, shall be replaced at the Contractor's expense. Such points shall be referenced and replaced with appropriate monumentation by a licensed land surveyor or a registered civil engineer authorized to practice land surveying. A Corner Record or Record of Survey, as appropriate, shall be filed by the licensed land surveyor or registered civil engineer as required by the Land Surveyor's Act.
15.

Dust control measures, such as the periodic wetting down of the bare and exposed areas, shall be utilized at all times during construction to the satisfaction of the Public Works and/or Building Inspectors.
16.

All work shown on these plans to be completed in accordance with City Grading Ordinance Chapter 17.32.
17.

All grading shall be supervised by an individual appropriately licensed under the Business and Professions Code.
18.

The Contractor is advised that he is responsible for maintaining the adjoining public streets and rights-of-way in a clean and dust free condition within the limitation of the City Municipal Code Section 14.15.030 "Illicit Discharges Prohibited." This section of the Code prohibits the "washing down" of a street into a public storm drain. The continuous use of street sweeping machines may be advisable.
19.

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including the safety of all persons and property. This requirement shall apply continually and not be limited to normal working hours. The Contractor shall defend, indemnify and hold the owner, the Engineer and the City harmless from any and all liability, real or alleged, in connection with the performance of work on this project excepting for liability arising from the sole negligence of the owner, engineer or City.
20.

A permit must be obtained from the San Marcos Fire Department prior to any blasting. Separate City permits are required prior to any construction, excavation, storage of materials or any other encroachments.
21.

A construction, excavation or encroachment permit will be required for any work within the City right-of-way.
22.

Handicapped parking space(s) shall have a maximum slope not exceeding 2% in any direction.
23.

Fire Hydrants shall be as follows:

Residential "single family detached dwellings" Jones 3700 or Clow 2050, one 4" and one 2 1/2" outlets.

Multi-Residential, commercial & Industrial Jones 3775 or Clow 2065, two 4" and one 2 1/2" outlets.

PRIVATE WATER/SEWER NOTES

1.

Private on-site water lines are permitted and inspected under separate permit and are shown on these plans for informational purposes only.
2.

Private on-site Fire lines are permitted and inspected under separate permit and are shown on these plans for informational purposes only.
3.

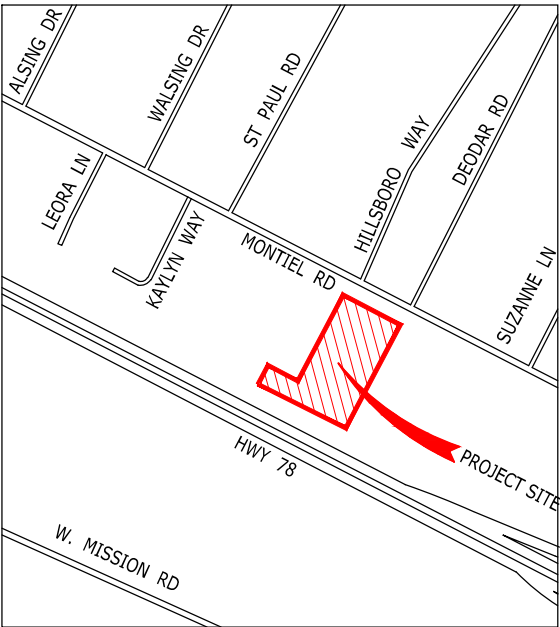
Trenching and backfill operation for private fire, water, and sewer lines shall be observed by the Public works inspection for general conformance with the geotechnical specifications. Trenches shall also be subject to inspection by the permitting department for additional requirements.

General Notes:

1.

Contractor will be responsible for the repair of all damages incurred as a direct result of construction activities. Prior to the final acceptance and approval of improvements shown on these plans all repair and rehabilitation will be done to facilities disrupted by construction activities. All repair will be in conformance to the City of San Marcos Standards.

CITY OF SAN MARCOS
PRELIMINARY GRADING PLANS FOR
2355 AND 2375 MONTIEL ROAD



VICINITY MAP

N.T.S.

SITE ADDRESS AND ASSESSOR PARCEL NUMBERS

2355 & 2375 MONTIEL ROAD
SAN MARCOS, CA 92069
ASSESSOR PARCEL NO(S): 228-370-20-00 & 228-370-39-00

OWNER

TOMMY VARGAS AND PETER VARGAS
10173 VIA MARMOL
ESCONDIDO, CA 92026
TELEPHONE NO.

TOMMY VARGAS _____ DATE: _____

TOMMY VARGAS _____ DATE: _____

STORM WATER SUMMARY

WDD: N/A
PROJECT AREA:
DISTURBED AREA:
IMPERVIOUS AREA:
STORM WATER DEVELOPMENT PROJECT TYPE: PRIORITY
CITY BMP ID NO: XX THRU XX
FACILITY TYPE: COMMERCIAL
MAINTENANCE AGREEMENT DOC #:

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THIS PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS. I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN MARCOS IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME AS ENGINEER OF WORK OF MY RESPONSIBILITIES FOR THE PROJECT DESIGN.

ALI AZIMJIRSAI _____ RCE 48773 EXP. 09/30/20 DATE: _____

GEOTECHNICAL ENGINEER CERTIFICATE

THESE PLANS HAVE BEEN REVIEWED BY THE UNDERSIGNED RELATIVE TO GEOTECHNICAL ASPECTS OF THE PLANS AND HAVE BEEN FOUND TO BE IN CONFORMANCE WITH INTENTIONS OF THE FINDINGS AND RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT BY MATTHEW MARCUS (C-81591) DATED OCTOBER 08, 2018.

MATTHEW MARCUS _____ C-81591 EXP. 00/2008 DATE: _____

SOURCE OF TOPO

FIELD SURVEY CONDUCTED BY PARTNER ENGINEERING AND SCIENCE ON MAY 20, 2018.

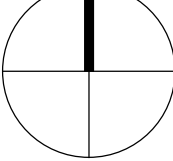
HYDROLOGY/HYDRAULIC REPORT

THE HYDROLOGY/ HYDRAULIC REPORT WAS PERPARED BY PARTNER ENGINEERING AND SCIENCE (JANUARY 2019)

BASIS OF BEARING

THE BEARINGS SHOWN HEREON ARE BASED ON THE NORTHEASTERLY RIGHT-OF-WAY LINE OF MONTIEL ROAD SHOWN AS HAVING A BEARING OF N62° 15' 00"E ON THE MAP OF RANCHO LOS VALLECITOS DE SAN MARCOS, ACCORDING TO MAP THEREOF NO. 806, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

NORTH



WORK TO BE DONE

THE IMPROVEMENTS CONSISTS OF THE FOLLOWING WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE FOLLOWING DOCUMENTS:

- 1) SAN DIEGO AREA REGIONAL STANDARD DRAWINGS
- 2) STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ("GREEN BOOK")
- 3) CITY OF SAN MARCOS GRADING AND EXCAVATION ORDINANCE
- 4) STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) STANDARDS PLANS
- 5) STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) STANDARD SPECIFICATIONS
- 6) STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION SUPPLEMENTAL TO MUTCD
- 7) VALLECITOS WATER DISTRICT STANDARD DRAWINGS AND SPECIFICATIONS

LEGEND

ITEM	QTY	STD DWG	SYMBOL
PROPERTY LINE			---
RIGHT OF WAY LINE			---
AC PAVING (3" AC/8" CL 2 BASE)			
REMOVE EXISTING PAVEMENT (REPLACE WITH 3" AC/CL 2 BASE)			
PROPOSED CURB AND GUTTER	XXX LF	SDRSD G-2	
PROPOSED CONCRETE SIDEWALK	XXX SF	G-7 & G-9	
PROPOSED DRIVEWAY APPROACH	XXX SF	G-14	
PROPOSED PED. RAMP	XX EA	SDRSD G-27	
6" DIP WATERLINE			---
FIRE HYDRANT	XX EA	VWD W-4 & W-5	
STORM DRAIN PIPE			
STORM DRAIN TRENCH	XXXX SF	SDRSD D-60	
TYPE 'A-4' CLEANOUT	XX EA	SDRSD D-9	
TYPE 'A' INLET	XX EA	SDRSD D-1	
TYPE 'B' INLET	XX EA	SDRSD D-2	
TYPE 'B-1' INLET	XX EA	SDRSD D-2	
WALL			
EXISTING CURB AND GUTTER			
EXISTING BERM			
EXISTING WALL			
EXISTING FENCE			
EXISTING PED. RAMP			
EXISTING STREET LIGHT			
EXISTING WATER			
EXISTING FIRE HYDRANT			
EXISTING SEWER			
EXISTING GAS			
EXISTING TELECOMMUNICATIONS			
EXISTING ELECTRICAL			
EXISTING CABLE TV			

CONSTRUCTION NOTES

#	ITEM	STD PLAN
1	SAWCUT EXISTING PAVEMENT	
2	CONCRETE CURB	SDRSD G-01
3	CONCRETE CURB & GUTTER	SDRSD G-02
4	ASPHALT CONCRETE PAVEMENT	
5	PORTLAND CEMENT CONCRETE PAVEMENT	
6	CONCRETE SIDEWALK	SDRSD G-07
7	CONCRETE DRIVEWAY	SDRSD G-14E
8	CONCRETE TIRE STOP	
9	LANDSCAPE	
10	INFILTRATION BASIN	
11	DETECTIBLE WARNING SURFACE	
12	THERMOPLASTIC WHITE PARKING STALL	
13	THERMOPLASTIC ADA PARKING SYMBOL	
14	THERMOPLASTIC BLUE CROSS HATCH	
15	THERMOPLASTIC WHITE CROSS HATCH	
16	6" ROUND CONCRETE FILLED STEEL BOLLARD	SDRSD W-16
17	CONCRETE GUTTER	
18	ACCESS RAMP	
19	RIP RAP ENERGY DISSIPATOR	SDRSD D-40
20	MANHOLE	SDRSD S-17
21	18" X 18" CATCH BASIN	
22	36"X36" CATCH BASIN	
23	TREE WELL	
24	BIOFILTRATION WITH UNDERDRAIN	
25	MIN. 6" DIA. PERFORATED PIPE	
26	ELECTRICAL TRANSFORMER PAD	
27	FIRE HYDRANT	SDRSD WF-01

SHEET INDEX

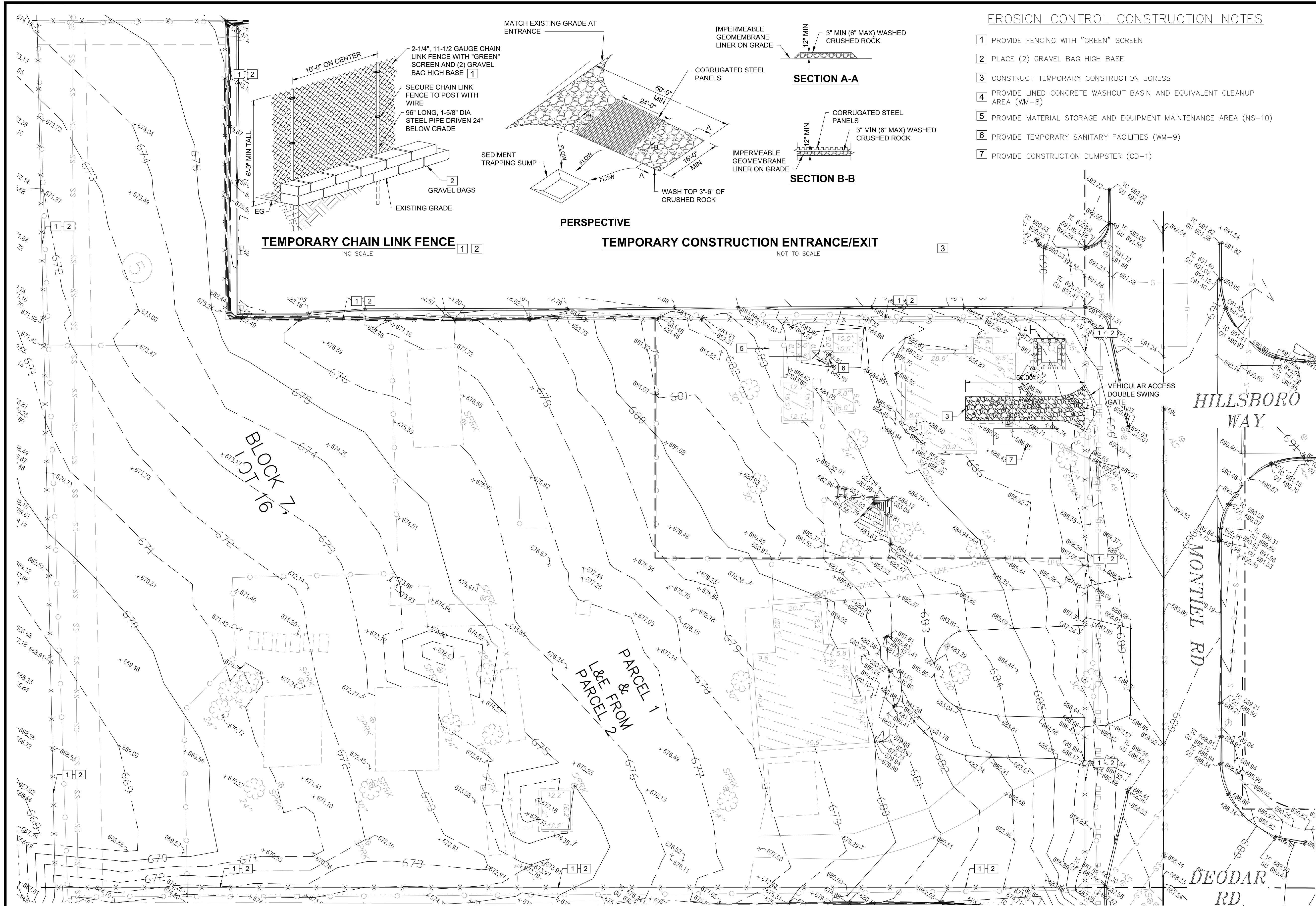
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	DEMOLITION PLAN & EROSION CONTROL
3	LAYOUT PLAN
4	GRADING PLAN (1 OF 5)
5	GRADING PLAN (2 OF 5)
6	GRADING PLAN (3 OF 5)
7	GRADING PLAN (4 OF 5)
8	GRADING PLAN (5 OF 5)
9	TRIBUTARY AREA PLAN
10	SECTIONS
11	SECTIONS
12	STREET PLAN

PRELIMINARY PLAN
BUILDING AND PLANNING COMMISSION
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02/11/2020

SAN MARCOS FIRE DEPARTMENT	VALLECITOS WATER DISTRICT	ENGINEER OF WORK	CITY APPROVED CHANGES	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SAN MARCOS	City Drawing No.
By: Jason Nailon, Fire Marshal	By: _____	By: _____ Date: _____	No. Description App'd By Date	By: Peter Kuey, Principal Civil Engineer R.C.E.: 44034 exp.: 06/30/2021	By: Matt Little, City Engineer R.C.E.: 60569 exp.: 12/31/2020	Description: 3" BC" IN PAVING Location: NORTHEAST CORNER OF MONTIEL RD. AND DECORA RD. 20' NORTHWEST OF RETURN Record From: RECORD OF SURVEY 13928 Elev.: 685.57 Datum: NGVD29	GRADING PLANS FOR: 2355 AND 2375 MONTIEL RD. SAN MARCOS, CA 92069	IPXX-XXXX PLANNING PROJECT NO. SDFXX-XXXX Sheet 1 of 12

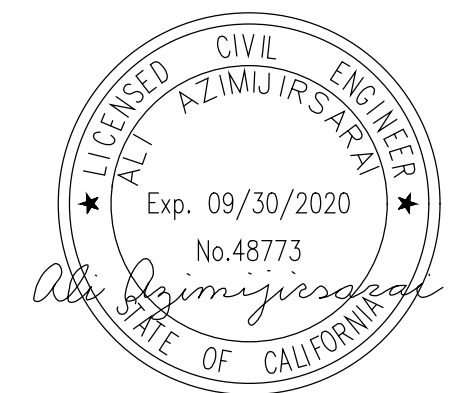
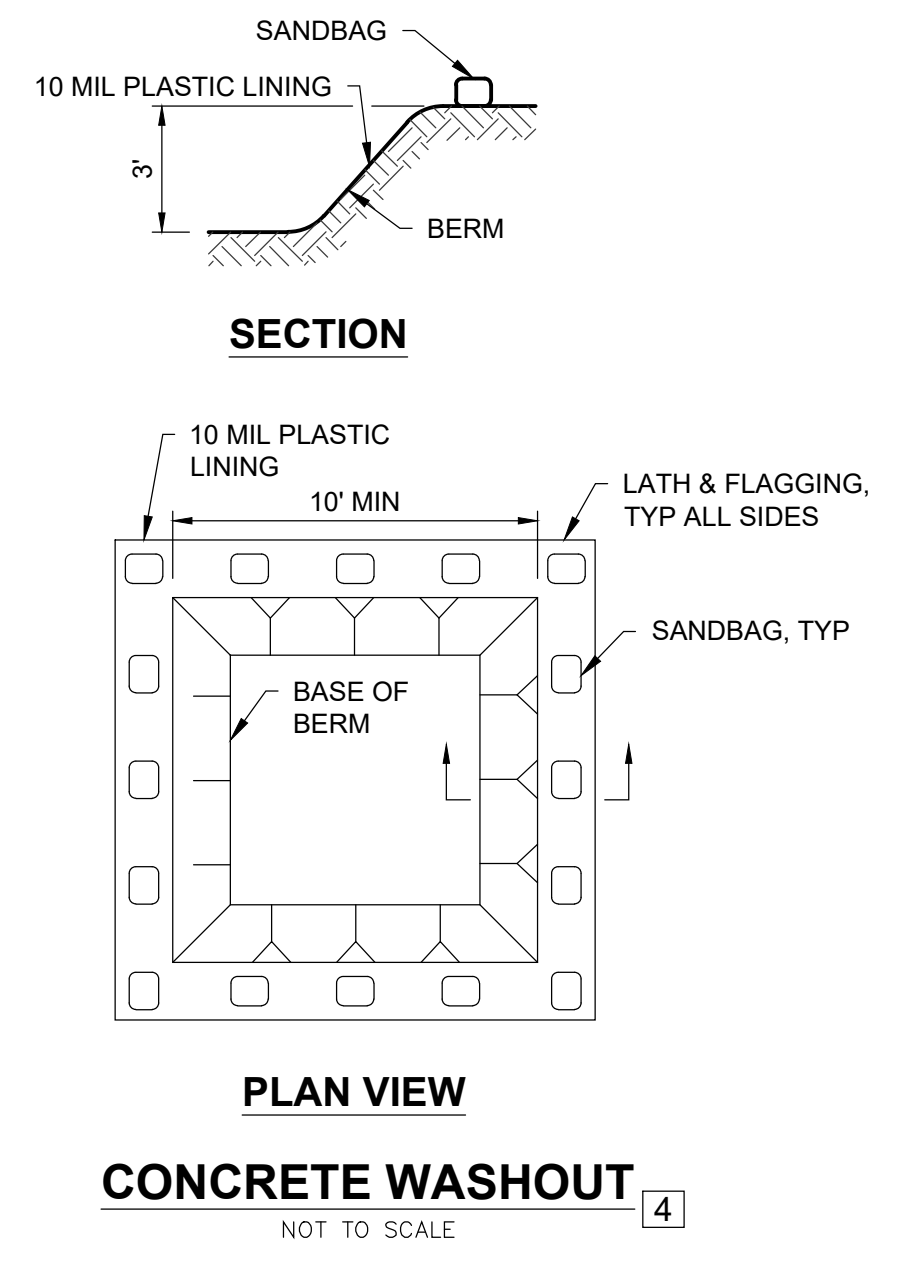


EROSION CONTROL CONSTRUCTION NOTES

- 1 PROVIDE FENCING WITH "GREEN" SCREEN
- 2 PLACE (2) GRAVEL BAG HIGH BASE
- 3 CONSTRUCT TEMPORARY CONSTRUCTION EGRESS
- 4 PROVIDE LINED CONCRETE WASHOUT BASIN AND EQUIVALENT CLEANUP AREA (WM-8)
- 5 PROVIDE MATERIAL STORAGE AND EQUIPMENT MAINTENANCE AREA (NS-10)
- 6 PROVIDE TEMPORARY SANITARY FACILITIES (WM-9)
- 7 PROVIDE CONSTRUCTION DUMPSTER (CD-1)

GENERAL NOTES FOR TEMPORARY EROSION CONTROL

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR, AND SHALL PREVENT THE TRESPASS OF IMPOUND WATER ON PUBLIC AREAS OR THE CREATION OF HAZARDOUS CONDITIONS.
2. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO THAT RUNOFF IS CONTAINED WITHIN THE PROJECT AREA OR CHanneled INTO THE STORM DRAIN SYSTEM WHICH SERVES THE RUNOFF AREA. STORM RUNOFF FROM ONE AREA SHALL NOT BE DIVERTED TO ANOTHER RUNOFF AREA.
3. NO CHANGES TO EXISTING OR NATURAL DRAINAGE COURSES SHALL BE PERMITTED DURING THE RAINY SEASON UNLESS THE APPROVED DRAINAGE FACILITIES HAVE BEEN COMPLETED.
4. CLEARING AND GRUBBING SHALL BE LIMITED TO AREAS THAT WILL RECEIVE IMMEDIATE GRADING. EROSION CONTROL MEASURES SHALL BE REQUIRED AND MAY INCLUDE: GRADED DITCHES, BRUSH BARRIERS AND SILT FENCING. CARE SHALL BE EXERCISED TO PRESERVE VEGETATION BEYOND THE LIMITS OF GRADING.
5. DESILTING BASINS SHALL BE CONSTRUCTED AS INDIVIDUAL ROUGH GRADING AREAS ARE COMPLETED.
6. GRADED AREAS AROUND THE TRACT PERIMETER SHALL DRAIN AWAY FROM THE TOE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY.
7. TEMPORARY EROSION PROTECTION SHALL BE REQUIRED FOR MANUFACTURED SLOPES PRIOR TO PERMANENT PLANTING.
8. FILL AREAS, DURING PERIODS OF COMPLETION PRIOR TO FINAL GRADE, SHALL BE PROTECTED TO LIMIT EROSION AND THE SILTATION OF DOWNSTREAM PROPERTY. PROTECTION MEASURES MAY INCLUDE TEMPORARY DOWNDRAINS USING PIPES OR PAVED DITCHES WITH PROTECTED OUTFALL AREAS, DESILTING PONDS, CHECK DAMS, SAND BAG PROTECTION AROUND INLETS NOT YET BROUGHT TO GRADE AND APPROPRIATE CHANNEL GRADING TO DIRECT RUNOFF AWAY FROM AREAS WHERE EARTHWORK IS NOT UNDERWAY.
9. PROJECT AREAS, AS WELL AS NEIGHBORING PROPERTY AREAS, SHALL HAVE MAINTAINED FIRE ACCESS AT ALL TIMES.
10. EQUIPMENT AND PERSONNEL FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT.
11. REMOVABLE PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40 PERCENT.
12. DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT APPROVAL FROM THE CITY ENGINEER OR PUBLIC WORKS INSPECTOR.
13. AFTER A RAINSTORM, SILT AND DEBRIS SHALL BE IMMEDIATELY REMOVED FROM CHECK BERMS, SILT FENCES AND OTHER IMPACTED AREAS.



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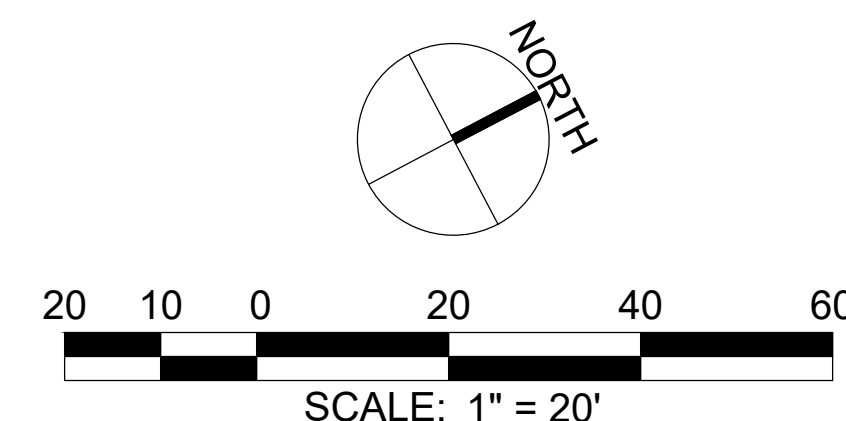
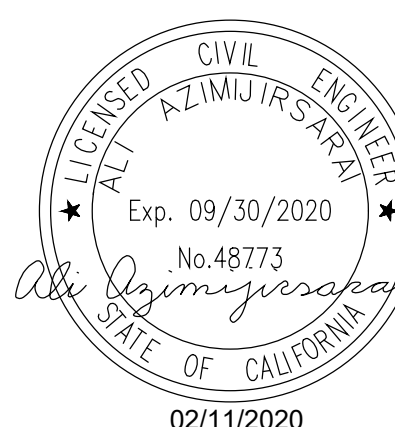
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INSPECTED AND RECOMMENDED
FOR ACCEPTANCE
Public Works Inspector Date

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Checked: 02/17/20 - 12:37 PM, By: azimij
City of San Marcos, California

SAN MARCOS FIRE DEPARTMENT		VALLEJITOS WATER DISTRICT		ENGINEER OF WORK		CITY APPROVED CHANGES		RECOMMENDED FOR APPROVAL		APPROVED FOR CONSTRUCTION		BENCH MARK		CITY OF SAN MARCOS		City Drawing No.	
By: Jason Nailon, Fire Marshal		By:		By: Date:		No. Description App'd By Date		By: Peter Kuey, Principal Civil Engineer R.C.E.: 44034 exp.: 06/30/2021		By: Matt Little, City Engineer R.C.E.: 60569 exp.: 12/31/2020		Description: 3" BC" IN PAVING Location: NORTHEAST CORNER OF MONTEL RD. AND DEODAR RD. 20' NORTHWEST OF RETURN. Record From: RECORD OF SURVEY 13928 Elev.: 685.57 Datum: NGVD29		GRADING PLANS FOR: 2355 AND 2375 MONTEL RD. SAN MARCOS, CA 92069		IPXX-XXXX PLANNING PROJECT NO. SDPXX-XXXX	
Date:		Date:		Name: Ali Azimijarsai R.C.E.: 48773 exp:												Sheet 2 of 12	

#	ITEM	STD PLAN
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FOR ACCEPTANCE

Public Works Inspector Date: _____

CITY OF SAN MARCOS

2355 AND 2375 MONTIEL RD.
SAN MARCOS, CA 92069

IPXX-XXXXX
PLANNING PROJECT NO.
SDPXX-XXXX

City Drawing No.

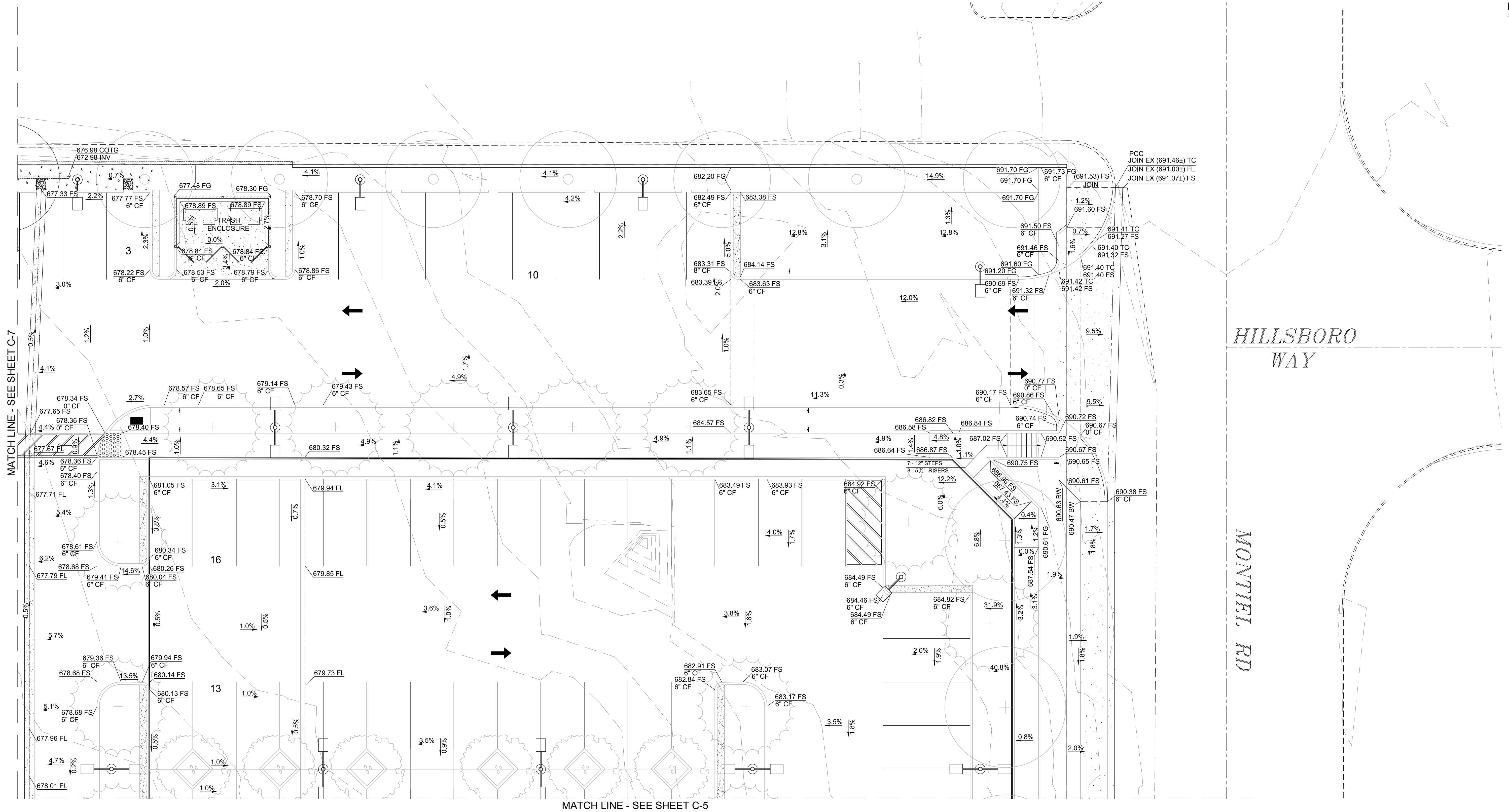
GP19-XXXX

Sheet 3 of 12

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NOTES:
1. SEE SHEET C-12 FOR PUBLIC ROW IMPROVEMENTS

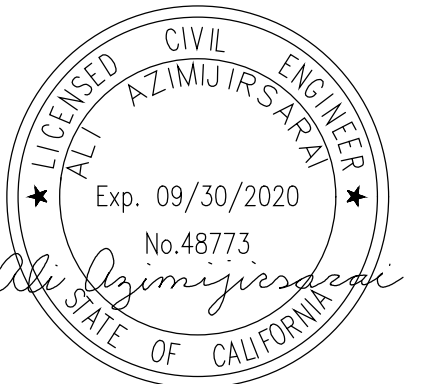
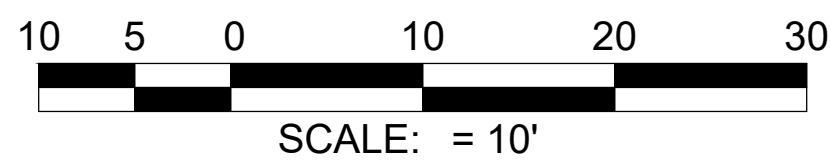
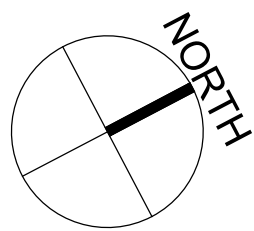


MATCH LINE - SEE SHEET C-7

MATCH LINE - SEE SHEET C-5

HILLSBORO
WAY

MONTIEL RD



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CITY OF SAN MARCOS

2355 AND 2375 MONTIEL RD.
SAN MARCOS, CA 92069

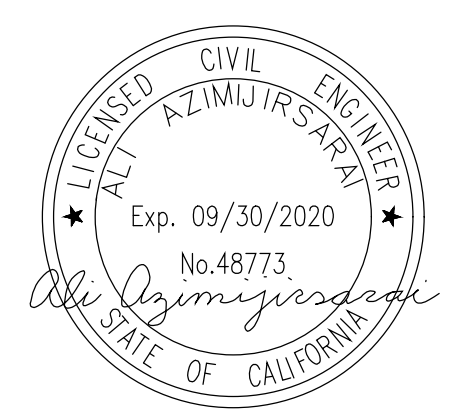
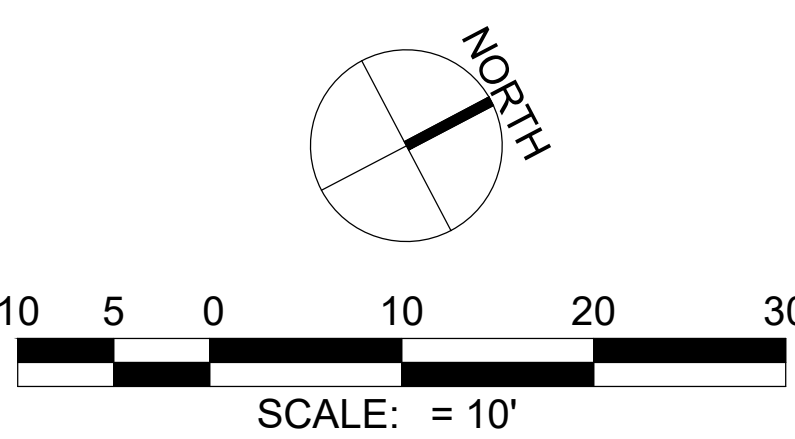
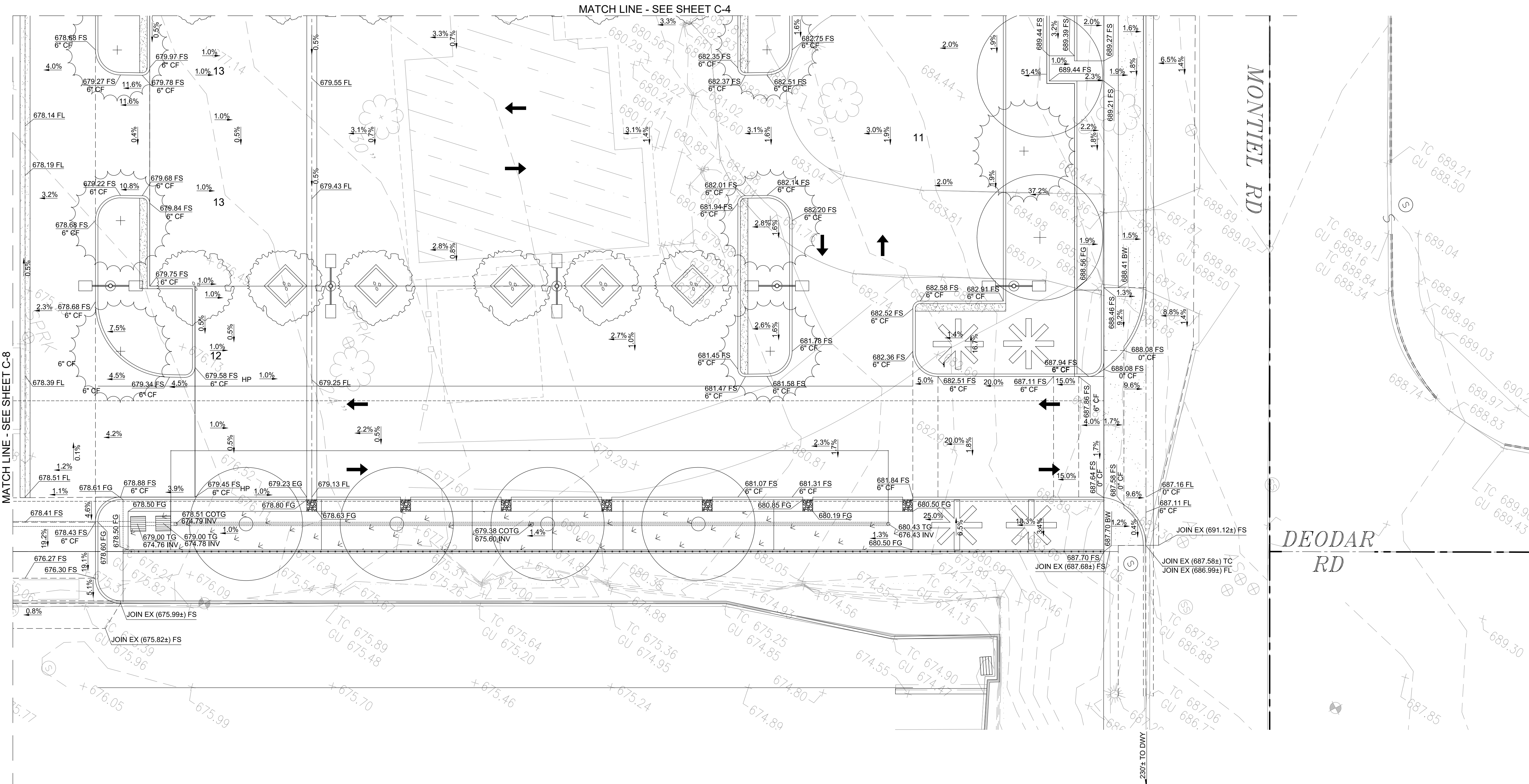
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PLANNING PROJECT NO.
SDPXX-XXXX

City Drawing No.

GP19-XXXX

Sheet 4 of 12

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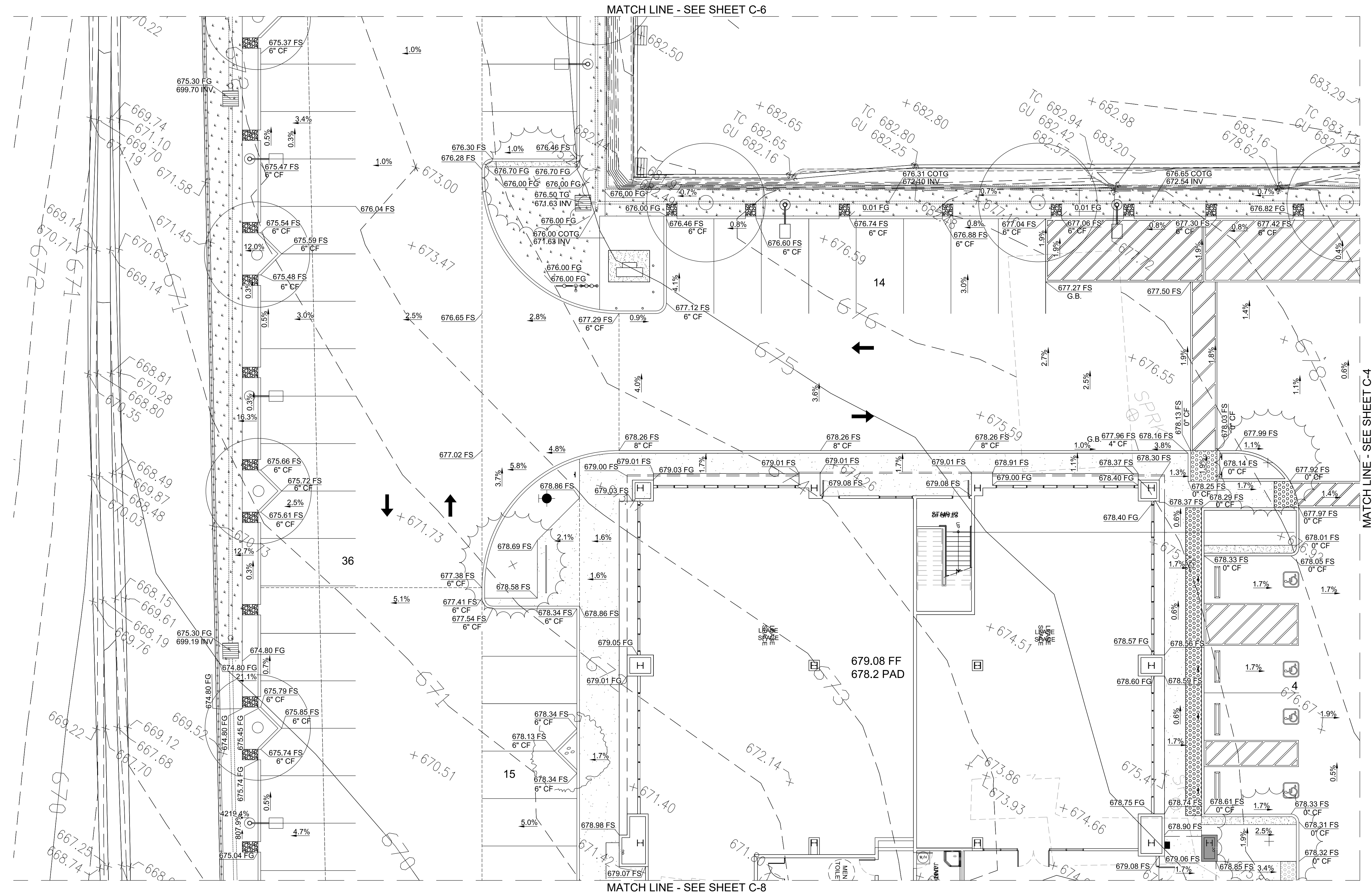


INSPECTED AND RECOMMENDED FOR ACCEPTANCE

Public Works Inspector _____ Date _____

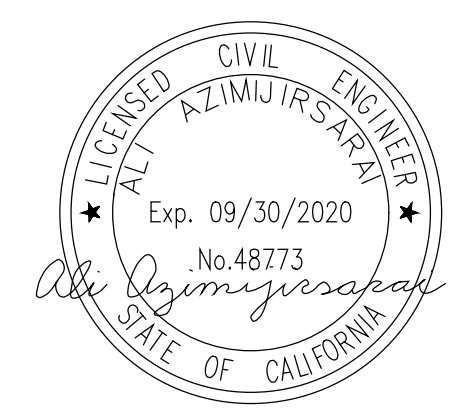
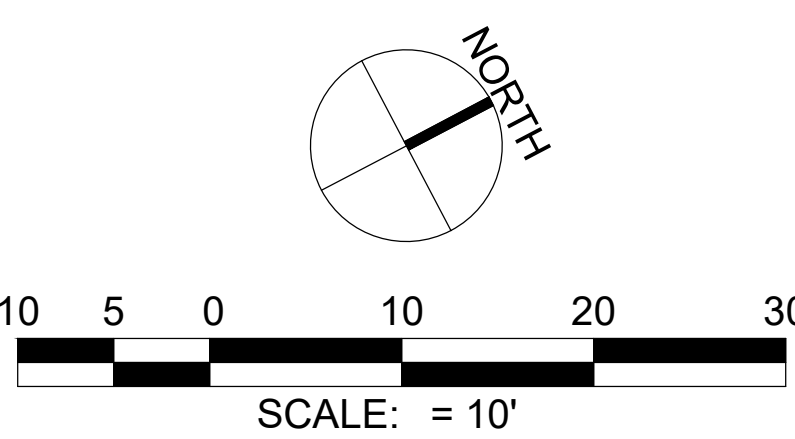
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SAN MARCOS FIRE DEPARTMENT		VALLEJITOS WATER DISTRICT		ENGINEER OF WORK		CITY APPROVED CHANGES		RECOMMENDED FOR APPROVAL		APPROVED FOR CONSTRUCTION		BENCH MARK		CITY OF SAN MARCOS		City Drawing No.	
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Date: _____		Date: _____		Name: Ali Azimjirsarai R.C.E.: 48773 exp: _____												GP19-XXXX	
																Sheet 5 of 12	



MATCH LINE - SEE SHEET C-4

MATCH LINE - SEE SHEET C-8

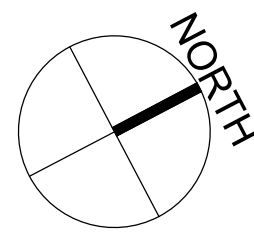
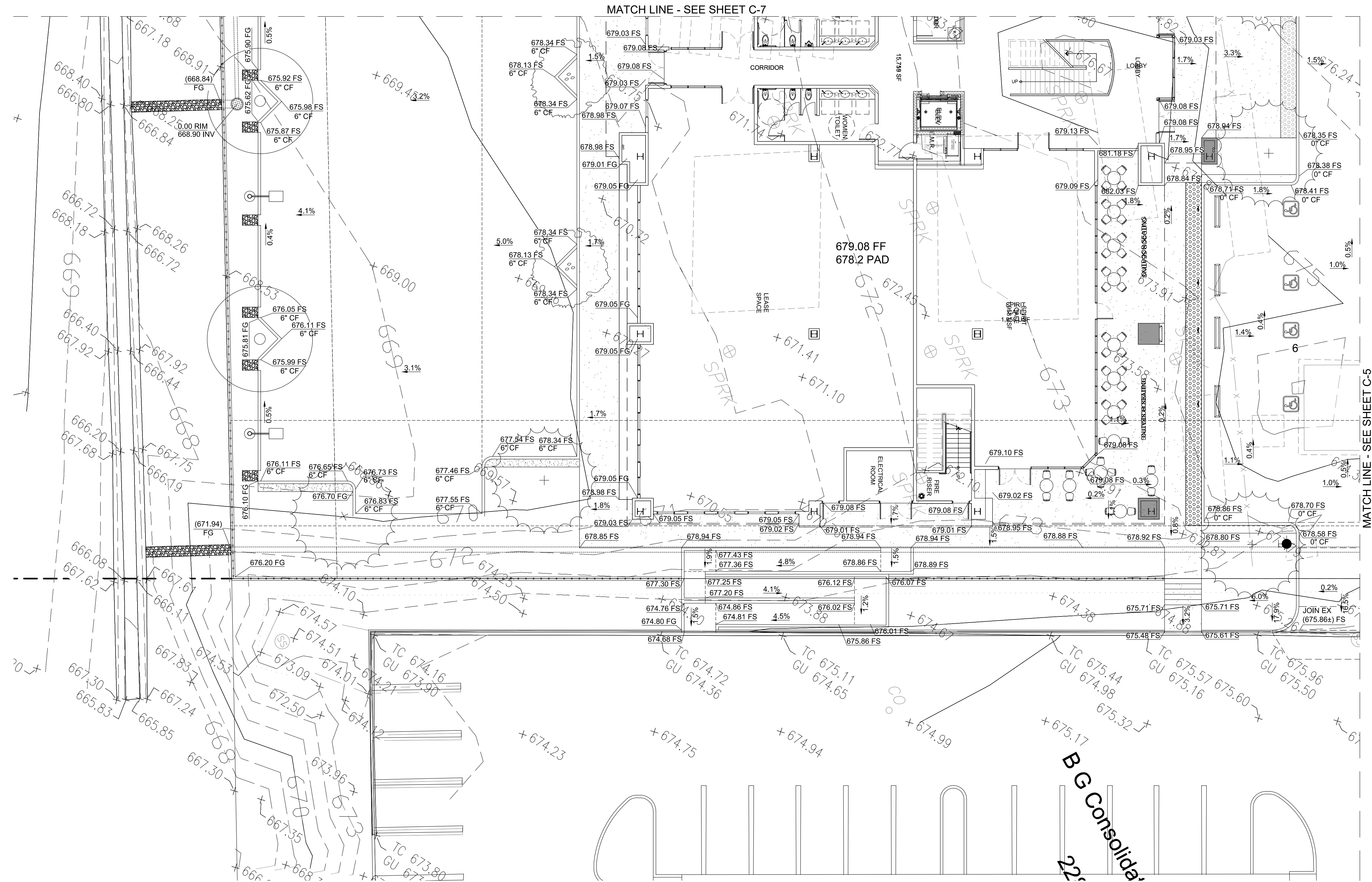


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Date: _____		Date: _____		Name: Ali Azimjirsarai R.C.E.: 48773 exp: _____												Sheet 7 of 12	

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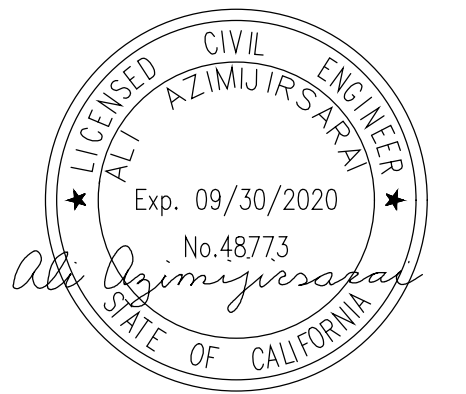
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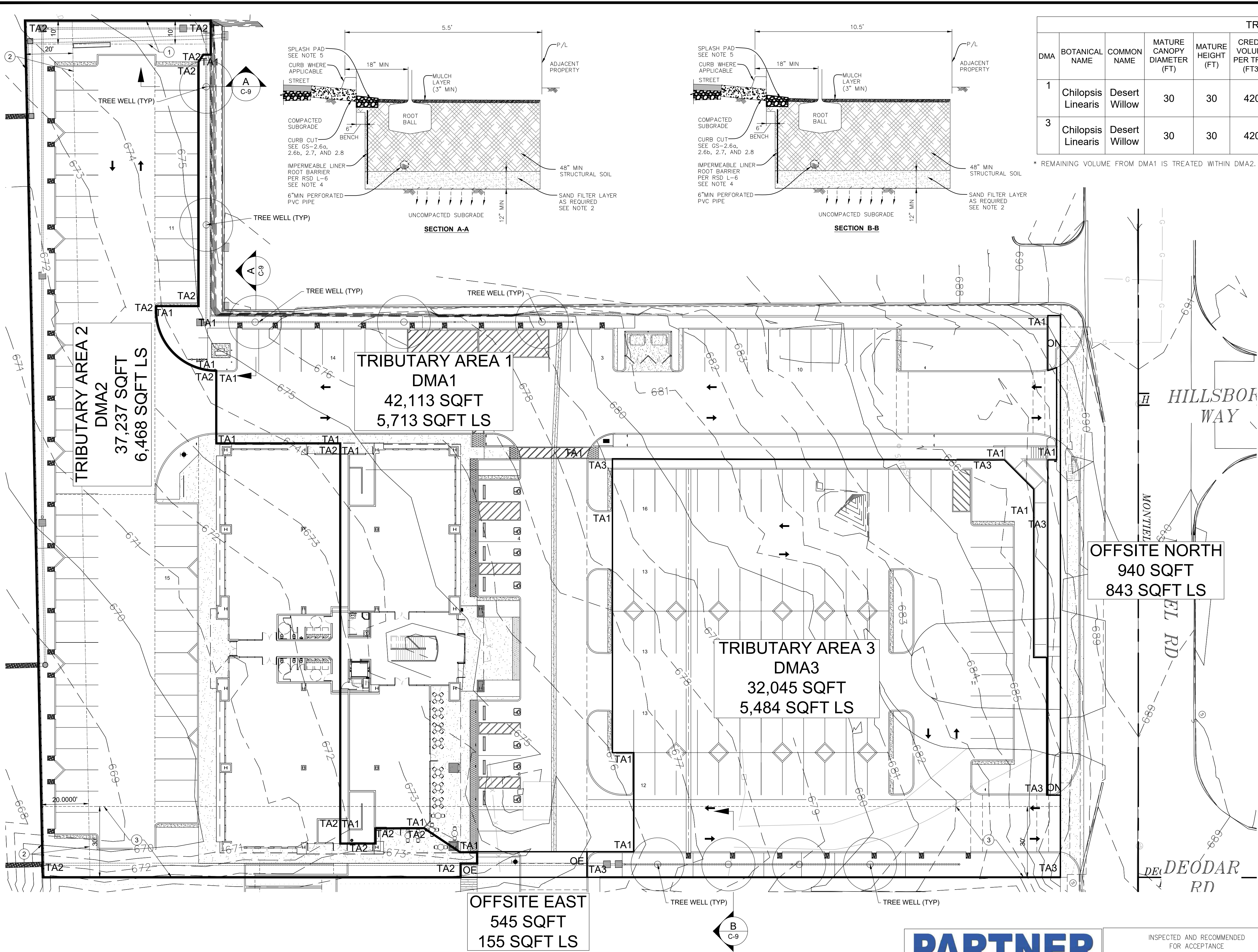
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TREE WELLS										
DMA	BOTANICAL NAME	COMMON NAME	MATURE CANOPY DIAMETER (FT)	MATURE HEIGHT (FT)	CREDIT VOLUME PER TREE (FT3)	REQUIRED SOIL VOLUME PER TREE (FT3)	PROVIDED SOIL VOLUME PER TREE (FT3)	NUMBER REQUIRED	NUMBER PROVIDED	REMAINING DCV (FT3)
1	Chilopsis Linearis	Desert Willow	30	30	420	1,414	5'X60'X5' (W x L x D) = 1,500	6	5	119*
3	Chilopsis Linearis	Desert Willow	30	30	420	1,414	10'X30'X5' (W x L x D) = 1,500	4	4	0

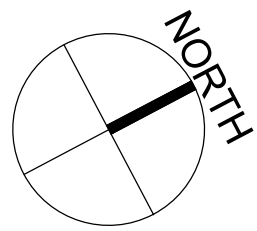
* REMAINING VOLUME FROM DMA1 IS TREATED WITHIN DMA2.

- NOTES:**
- MAXIMUM WATERSHED AREA : 6 TIMES AREA OF THE TREE PLANTING BED.
 - SEE DWG GS-1.5 FOR BOTTOM SAND LAYER AND SUBSURFACE DRAINAGE REQUIREMENTS.
 - SEE SD RSD DWG L-1 THRU L-4 FOR TREE INSTALLATION REQUIREMENTS.
 - PROVIDE 18 " DEEP ROOT BARRIER ON PAVEMENT SIDE AS NECESSARY.
 - PROVIDE SPLASH PAD FOR TREE PLANTING SPACE PER GS-2.6b.
 - PROVIDE PLASTIC LINER WHERE CONCRETE WILL BE POURED ON TOP OF STRUCTURAL SOIL PER GREEN BOOK STANDARD SPECIFICATIONS SECTION 210-2.
 - 18" MINIMUM STEP OUT ZONE IS REQUIRED WHEN PARALLEL PARKING IS PROVIDED.
 - A 3 TO 1 SLOPE MAY BE USED IN LIEU OF THE L-WALL WHERE ADEQUATE SPACE IS AVAILABLE SEE GS-3.1b.

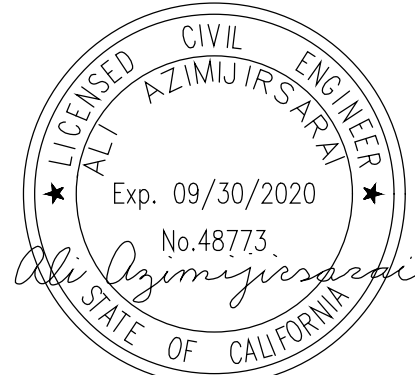
SITE AREAS		
TRIBUTARY AREA	SQFT	LANDSCAPE [SQFT]
TRIBUTARY AREA 1 (DMA1)	42,113	5,713
TRIBUTARY AREA 2 (DMA2)	37,237	6,468
TRIBUTARY AREA 3 (DMA3)	32,045	5,484
OFFSITE NORTH	940	843
OFFSITE EAST	545	155
TOTAL	112,880	21,272

EASEMENT NOTES

- 20 FEET WIDE EASEMENT IN FAVOR OF SAN MARCOS COUNTY WATER DISTRICT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES PER DOCUMENT RECORDED SEPTEMBER 30, 1987, AS INSTRUMENT NO. 87-0553604 OF OFFICIAL RECORDS.
- 10 FEET WIDE EASEMENT IN FAVOR OF DAVID PHILIP WILES FOR INSTALLATION, USAGE AND MAINTENANCE OF SEWER PIPE LINE OR LATERAL, AND FOR INSTALLATION, USAGE AND MAINTENANCE OF POST SIGN VISIBLE FROM STATE FREEWAY 78 PER DOCUMENT RECORDING MARCH 6, 2002, AS INSTRUMENT NO. 2002-0190106 OF OFFICIAL RECORDS.
AND
10 FEET WIDE EASEMENT IN FAVOR OF NCY LAND, LLC FOR INSTALLATION, USAGE AND MAINTENANCE OF SEWER PIPELINE AND FOR INSTALLATION, USAGE AND MAINTENANCE OF POST SIGN VISIBLE FROM STATE FREEWAY 78, PER DOCUMENT RECORDING JULY 5, 2011 AS INSTRUMENT NO. 2011-0338788 OF OFFICIAL RECORDS.
- 30 FEET WIDE EASEMENT FOR PIPE LINES AND ROAD PURPOSES PER DOCUMENT RECORDED JULY 10, 1944, IN BOOK 1714, PAGE 48 OF OFFICIAL RECORDS.



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SCALE: 1" = 20'



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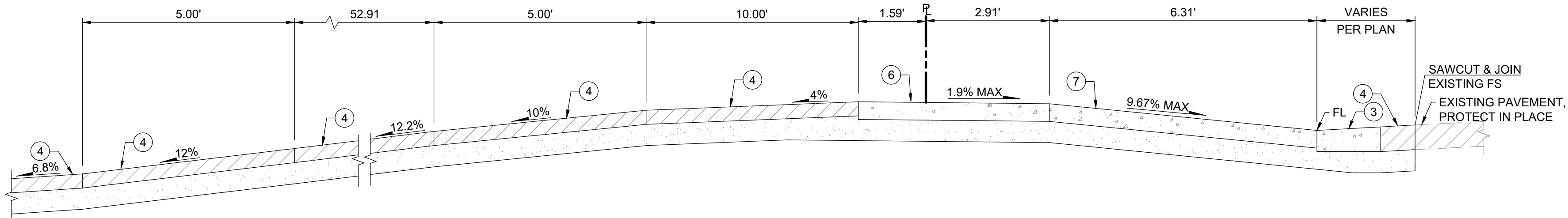
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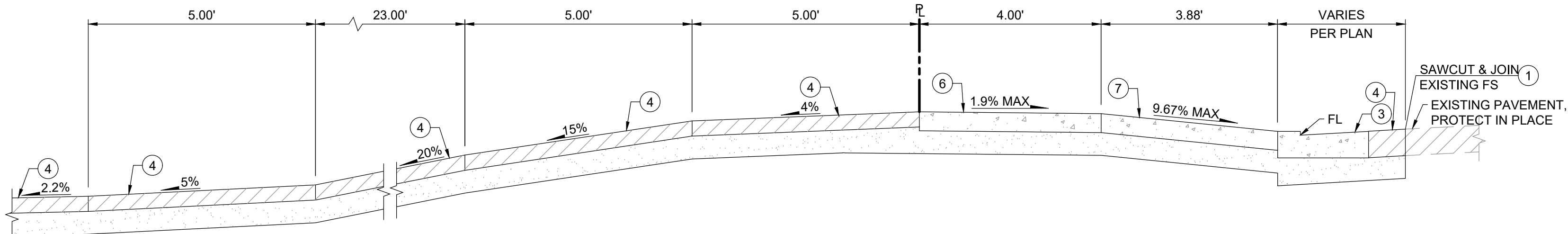
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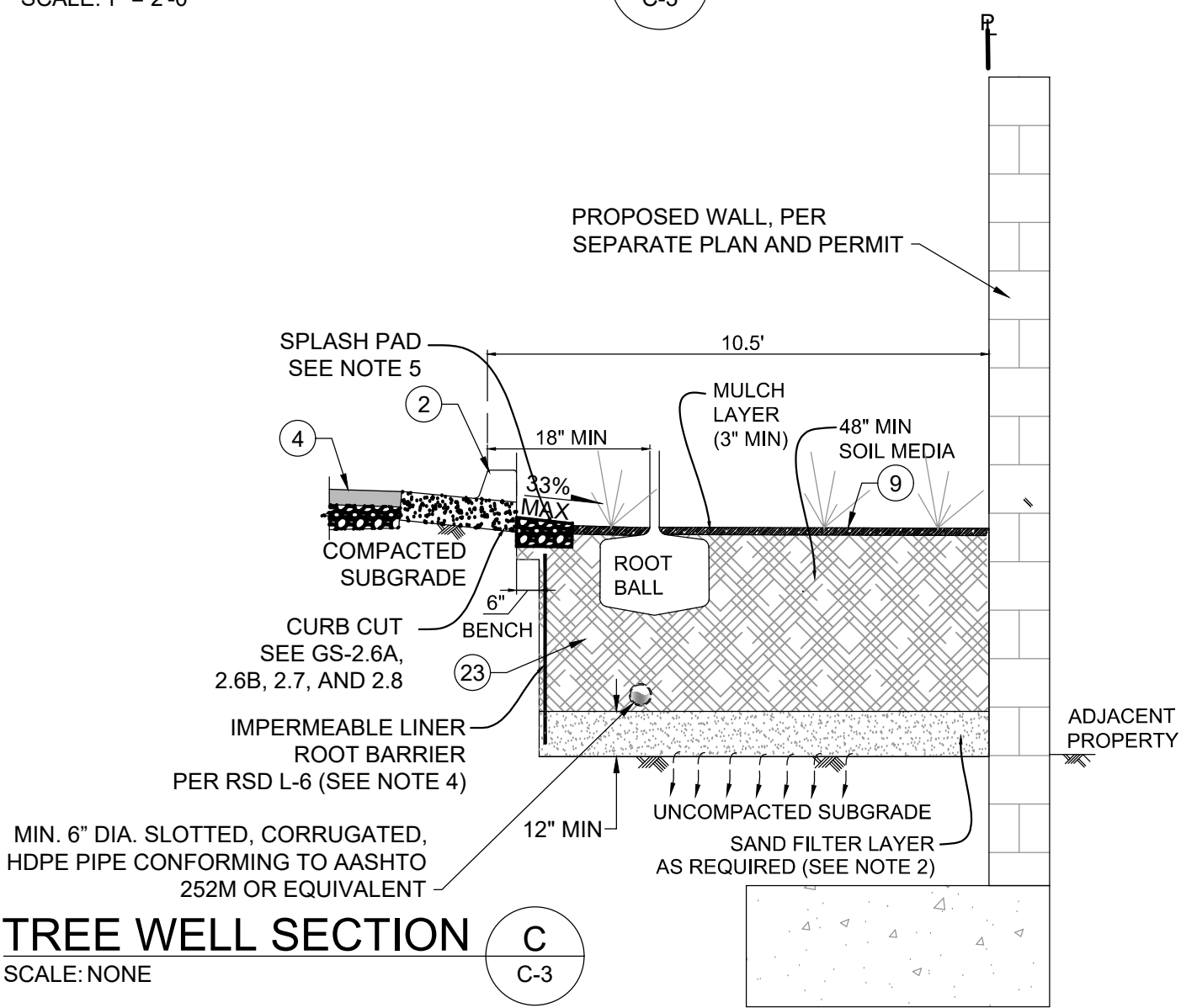
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By: Jason Nailon, Fire Marshal	Date:	By:	Date:	By: Ali Azimijarsai Name: Ali Azimijarsai R.C.E.: 48773 exp:	Date:	No. Description App'd By Date		By: Peter Kuey, Principal Civil Engineer R.C.E.: 44034 exp.: 06/30/2021		By: Matt Little, City Engineer R.C.E.: 60569 exp.: 12/31/2020		Description: 3" BC" IN PAVING Location: NORTHEAST CORNER OF MONTIEL RD. AND DEODAR RD. 20' NORTHWEST OF RETURN Record From: RECORD OF SURVEY 13928 Elev.: 685.57 Datum: NGVD29		GRADING PLANS FOR: 2355 AND 2375 MONTIEL RD. SAN MARCOS, CA 92069	IPXX-XXXX PLANNING PROJECT NO. SDPXX-XXXX	GP19-XXXX Sheet 9 of 12



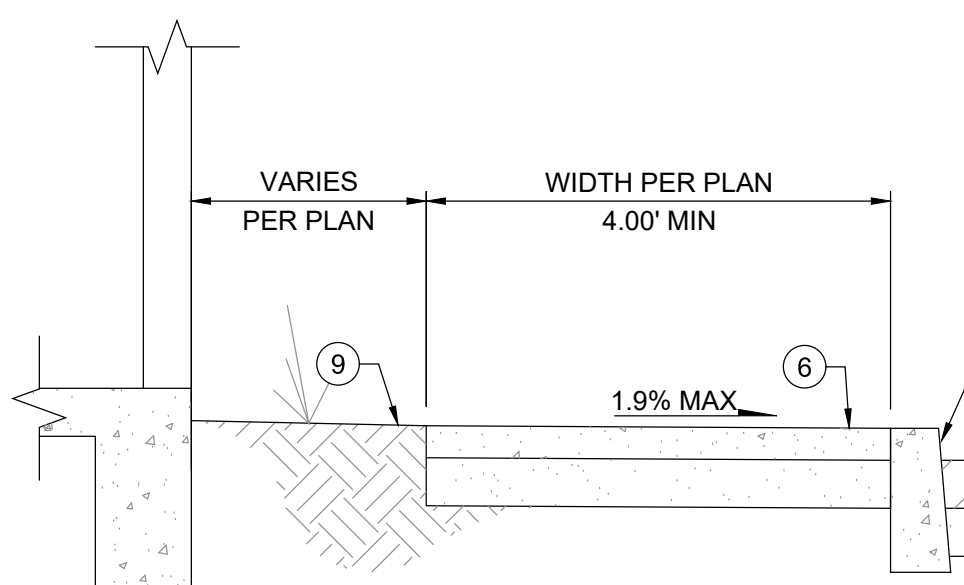
WEST DRIVEWAY SECTION A
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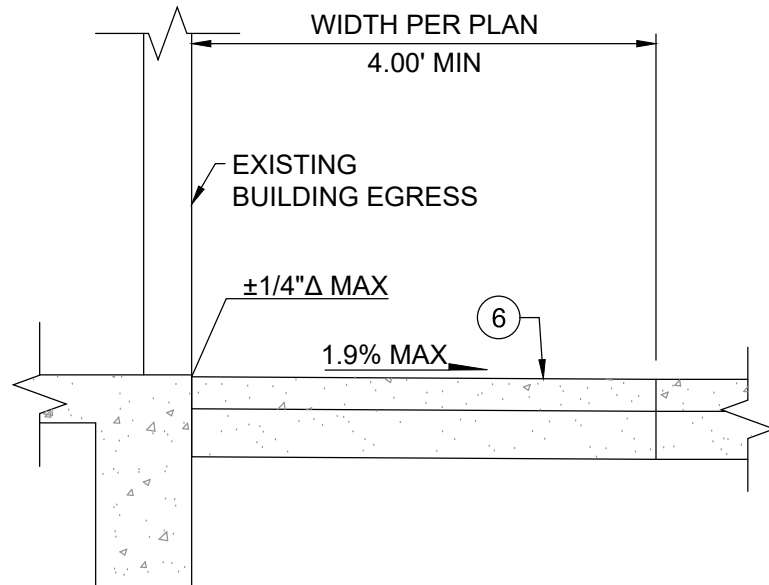
EAST DRIVEWAY SECTION B
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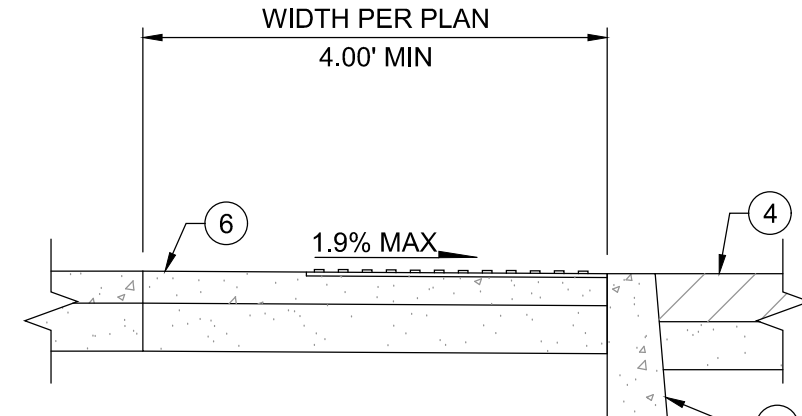
TREE WELL SECTION C
SCALE: NONE



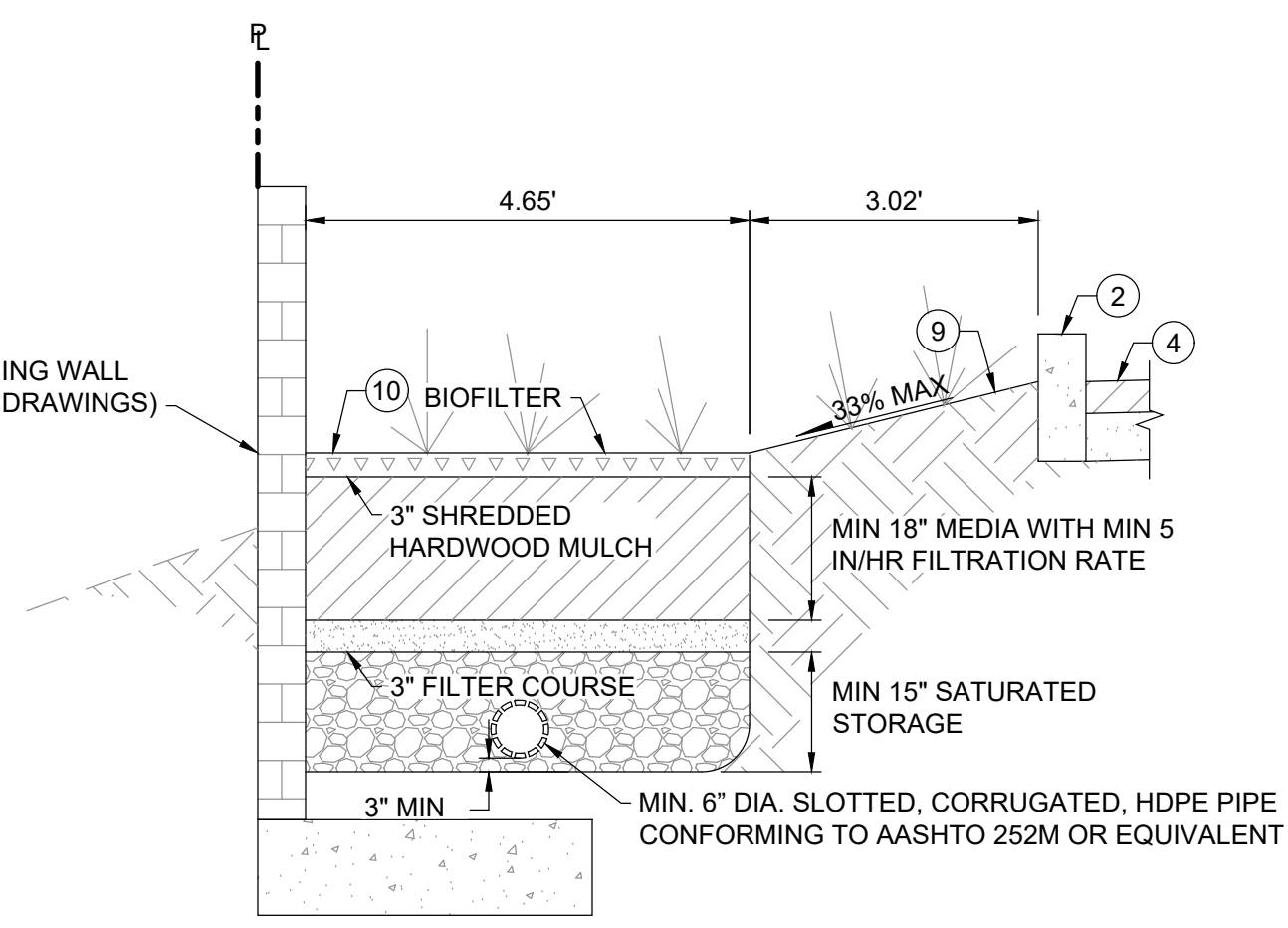
BUILDING SIDEWALK SECTION D
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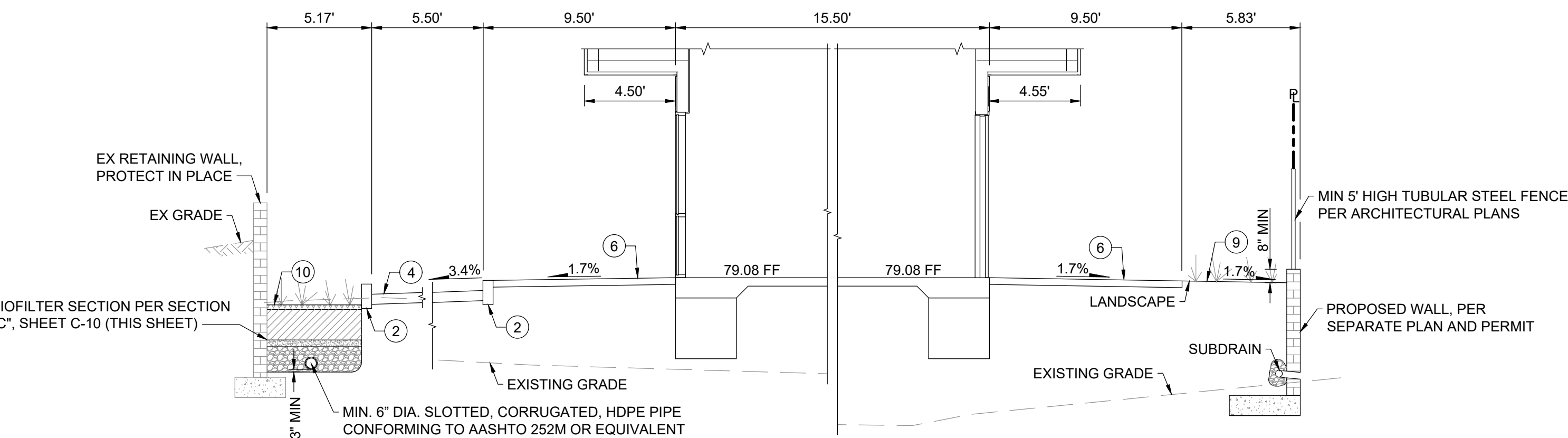
BUILDING EGRESS SECTION E
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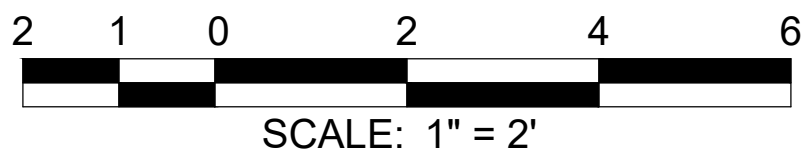
IN-LINE CURB RAMP LANDING SECTION F
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BIOFILTER SOUTH SECTION G
SCALE: 1" = 2'-0"



LOT SECTION NW TO SE H
SCALE: 1" = 2'-0"

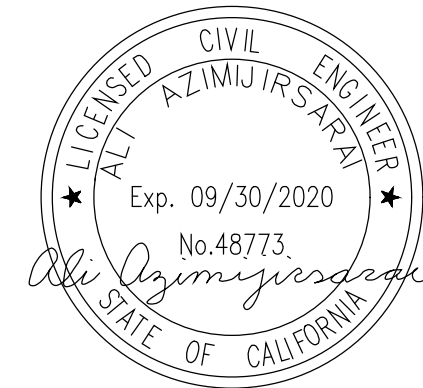


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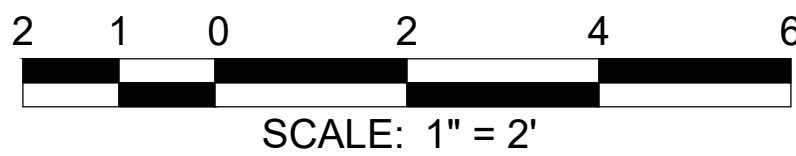
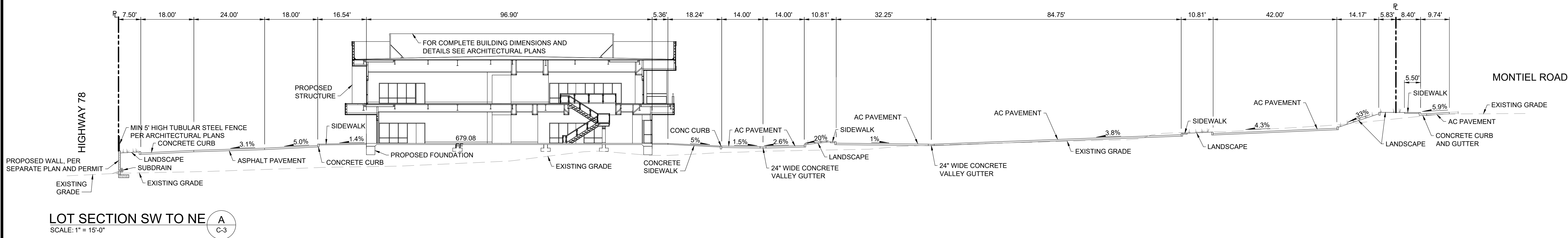
Public Works Inspector Date

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SAN MARCOS FIRE DEPARTMENT	VALLECITOS WATER DISTRICT	ENGINEER OF WORK	CITY APPROVED CHANGES	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SAN MARCOS	City Drawing No.
By: Jason Nailon, Fire Marshal	By:	By: Date:	No. Description App'd By Date	By: Peter Kuey, Principal Civil Engineer R.C.E.: 44034 exp.: 06/30/2021	By: Matt Little, City Engineer R.C.E.: 60569 exp.: 12/31/2020	Description: 3" BC" IN PAVING Location: NORTHEAST CORNER OF MONTIEL RD. AND DEODAR RD. 20' NORTHWEST OF RETURN Record From: RECORD OF SURVEY 13928 Elev.: 685.57 Datum: NGVD29	GRADING PLANS FOR: 2355 AND 2375 MONTIEL RD. SAN MARCOS, CA 92069	IPXX-XXXX PLANNING PROJECT NO. SDPXX-XXXX GP19-XXXX Sheet 10 of 12
Date:	Date:	Name: Ali Azimijarsari R.C.E.: 48773 exp:						



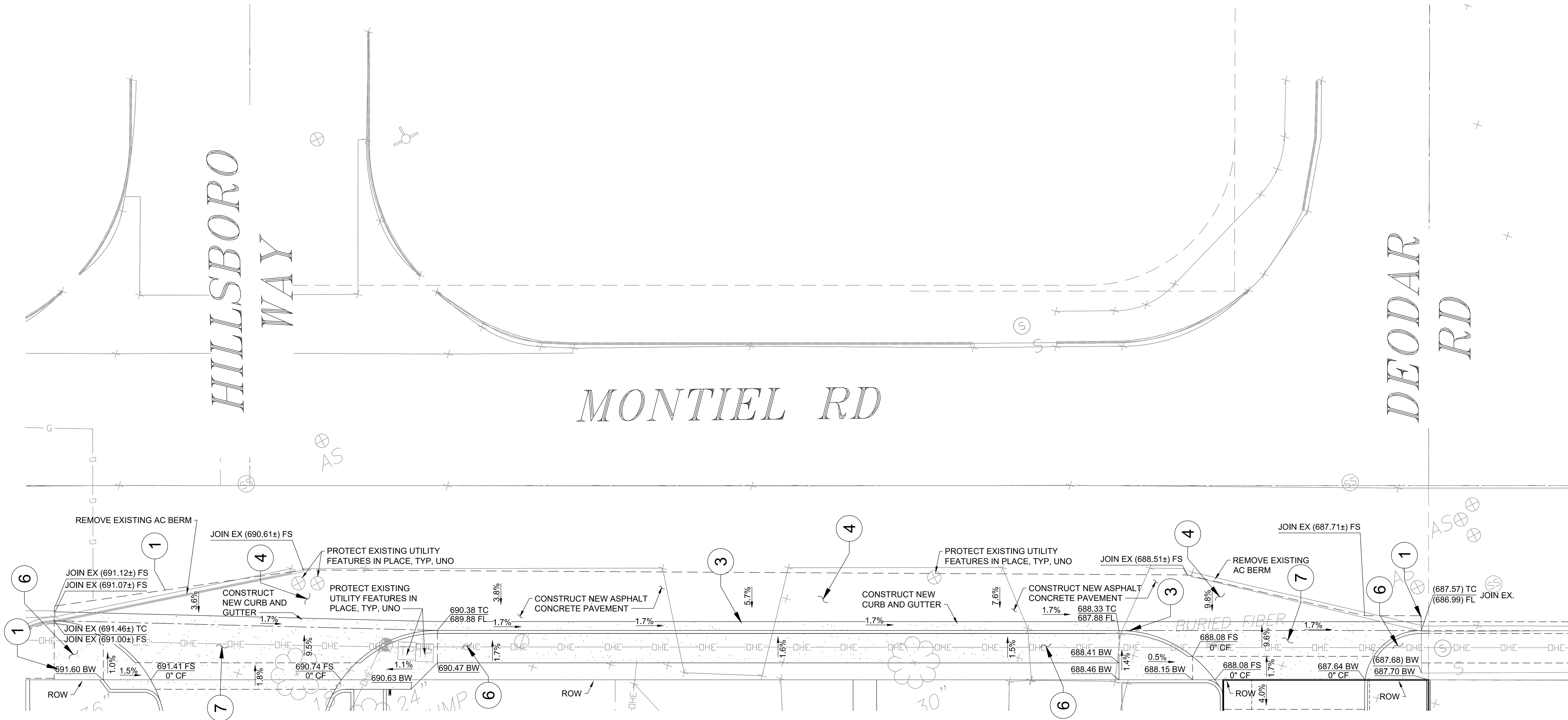
INSPECTED AND RECOMMENDED FOR ACCEPTANCE
Public Works Inspector _____ Date _____

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SAN MARCOS FIRE DEPARTMENT	VALLECITOS WATER DISTRICT	ENGINEER OF WORK	CITY APPROVED CHANGES	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SAN MARCOS	City Drawing No.
By: Jason Nailon, Fire Marshal	By: _____	By: _____ Date: _____	No. Description App'd By Date	By: Peter Kuey, Principal Civil Engineer R.C.E.: 44034 exp.: 06/30/2021	By: Matt Little, City Engineer R.C.E.: 60569 exp.: 12/31/2020	Description: 3" BC" IN PAVING Location: NORTHEAST CORNER OF MONTIEL RD. AND DEODAR RD. 20' NORTHWEST OF RETURN Record From: RECORD OF SURVEY 13928 Elev.: 685.57 Datum: NGVD29	GRADING PLANS FOR: 2355 AND 2375 MONTIEL RD. SAN MARCOS, CA 92069	IPXX-XXXX PLANNING PROJECT NO. SDPXX-XXXX GP19-XXXXX Sheet 11 of 12
Date: _____	Date: _____	R.C.E.: 48773 exp: _____						

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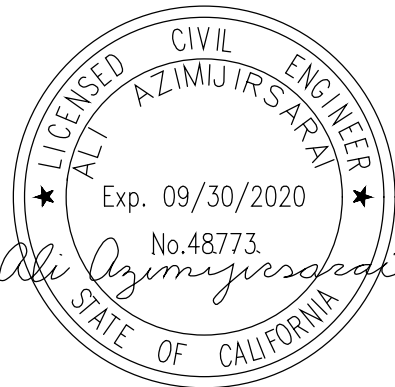
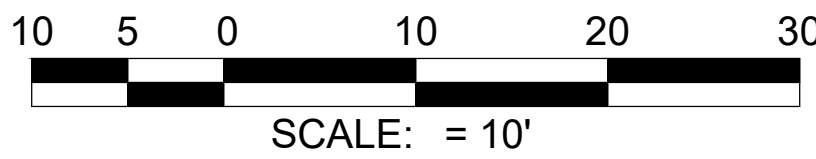
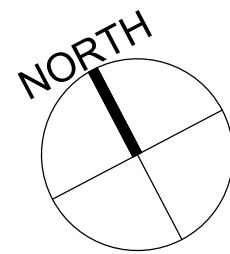


CONSTRUCTION NOTES

#	ITEM	STD PLAN
1	SAWCUT EXISTING PAVEMENT	
2	CONCRETE CURB	SDRSD G-01
3	CONCRETE CURB & GUTTER	SDRSD G-02
4	ASPHALT CONCRETE PAVEMENT	
5	PORTLAND CEMENT CONCRETE PAVEMENT	
6	CONCRETE SIDEWALK	SDRSD G-07
7	CONCRETE DRIVEWAY	SDRSD G-14F
8	CONCRETE TIRE STOP	

NOTES:

- ALL EXISTING OVERHEAD UTILITY LINES TO BE MOVED UNDERGROUND.
- PAVEMENT THICKNESS SHALL BE THE THICKER OF THE GEOTECHNICAL RECOMMENDATIONS OR 1" GREATER THAN THE EXISTING PAVEMENT THICKNESS
- SIDEWALK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED PER THE SDRSD G-07



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CITY OF SAN MARCOS

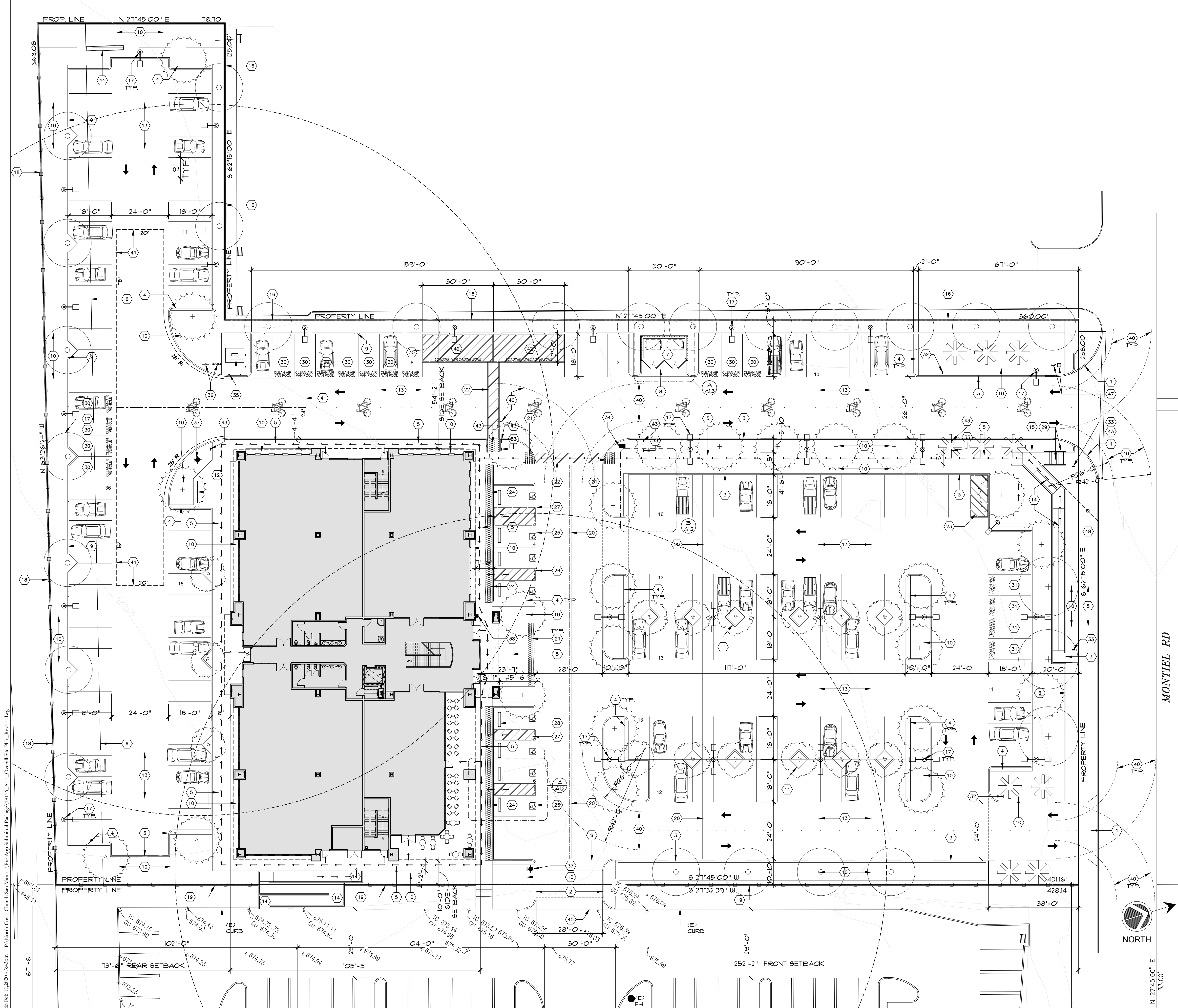
2355 AND 2375 MONTIEL RD.
SAN MARCOS, CA 92069

IPXX-XXXX
PLANNING PROJECT NO.
SDPXX-XXXX

City Drawing No.

GP19-XXXXX

Sheet 12 of 12



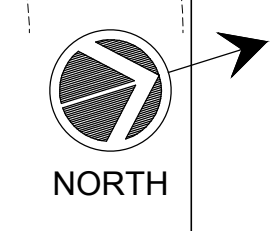
GENERAL NOTES

- SEE CIVIL ENGINEERING DRAWINGS FOR EXACT SCOPE OF WORK AND EXTENT OF SITE AND GRADING MODIFICATIONS. INFORMATION SHOWN ON CIVIL DRAWINGS WILL TAKE PRECEDENCE OVER INFORMATION SHOWN ON ARCHITECTURAL DRAWINGS
- SEE LANDSCAPE DRAWINGS FOR EXACT SCOPE OF WORK. WHILE SOME EXISTING TREES AND SHRUBBERY IS TO REMAIN, MANY NEW TREES AND OTHER PLANTING IS BEING INSTALLED. LANDSCAPE DRAWINGS WILL TAKE PRECEDENCE OVER ANY PLANTING SHOWN ON ARCHITECTURAL DRAWINGS
- PROVIDE A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AT EVERY PRIMARY PUBLIC ENTRANCE, AND AT EVERY MAJOR FUNCTION AREA ALONG, OR LEADING TO, AN ACCESSIBLE ROUTE OF TRAVEL. SIGNS ARE REQUIRED TO INDICATE THE DIRECTION TO ACCESSIBLE BUILDING ENTRANCES AND FACILITIES, PER 2015 CBC, SECTION 11B-216.6 AND 11B-103.12.1
- AT OWNERS REQUEST PROVIDE INFRASTRUCTURE (CONDUIT RUNS) FROM ELECTRICAL ROOM TO FUTURE ELECTRIC VEHICLES PARKING STALLS. THE ACTUAL CHARGING STATIONS WILL BE INSTALLED AT A LATER TIME. VERIFY DESIGNATED PARKING STALLS WITH OWNER

KEY NOTES

- CONCRETE DRIVEWAY APPROACH, SEE CIVIL DRAWINGS
- NEW DRIVEWAY CONNECTION TO EXISTING ADJACENT PROPERTY, SEE CIVIL DRAWINGS
- 6" CONCRETE CURB
- 18" CONCRETE STEP-OUT AT END STALL
- CONCRETE SIDEWALK, SEE CIVIL DRAWINGS
- BUILDING SETBACK LINE
- CONCRETE BLOCK TRASH ENCLOSURE WITH METAL TRELLIS AND GATES
- THICKENED CONCRETE APRON
- CONCRETE CURB OPENING FOR BIOSWALE, SEE CIVIL DRAWINGS AND LANDSCAPE DRAWINGS
- PLANTING AREA, SEE LANDSCAPE DRAWINGS
- 6" SQUARE TREE PLANTER
- 9 BICYCLE RACK BY MAGLIN, MODEL: MBR400-9-S SERIES
- A/C PAVEMENT, SEE CIVIL DRAWINGS
- ADA COMPLIANT CONCRETE RAMP AND LANDING
- LOW RETAINING WALL, SEE CIVIL DRAWINGS
- EXISTING RETAINING WALL ON PROPERTY LINE, SEE CIVIL DRAWINGS
- PARKING LOT LIGHT STANDARD ON 36" HIGH CONCRETE BASE
- NEW RETAINING WALL, SEE CIVIL DRAWINGS
- EXISTING RETAINING WALL WITH WROUGHT IRON FENCE, MODIFIED PER CIVIL DRAWINGS
- CONCRETE GUTTER / DRAINAGE "V" DITCH
- TRUNCATED DORIES, SEE DETAIL 3/A12
- 5' WIDE STRIPED CROSSWALK
- STRIPED NO-PARKING AREA
- ADA PARKING STALL SIGN
- 36" SQUARE PAINTED HANDICAP LOGO
- 5' WIDE STRIPED LOADING AISLE
- 8' WIDE STRIPED LOADING AISLE
- 4' LONG CONCRETE WHEEL STOP
- CONCRETE STEPS AND STEEL TUBE HANDRAILS
- CLEAN-AIR VEHICLE PARKING STALL
- CAR-POOL / VAN-POOL PARKING STALL
- SITE ENTRANCE "TOW-A-WAY" SIGN, SEE DETAIL 5/A12
- ACCESSIBLE BUILDING DIRECTIONAL SIGN, SEE DETAIL 6/A12
- CLUSTERED MAILBOX LOCATION
- ELECTRICAL TRANSFORMER, CONCRETE VAULT AND 6" ROUND CONCRETE FILLED STEEL BOLLARDS
- F.I.V. AND F.D.C. VALVES LOCATION
- FIRE HYDRANT WITH 150' RADIUS COVERAGE. INSTALL BRONZE INDUSTRIAL FIRE HYDRANT. MINIMUM GPM SHALL BE 1500 GPM. FIRE HYDRANT TYPE SHALL BE JONES OR CLOW AS APPROVED BY THE FIRE DEPARTMENT
- KNOX KEY BOX - KNOX BOX SHALL BE MOUNTED IN AN AREA APPROVED BY THE FIRE DEPARTMENT AT A HEIGHT OF 4'-6" TO 4'-8" AFF. KNOX BOX SHALL BE TYPE WITH HINGED DOOR
- FIRE TRUCK TURNING RADIUS PER CITY OF SAN MARCOS FIRE DEPARTMENT STANDARDS
- FIRE TRUCK TURN-AROUND HAMMER HEAD PER CITY OF SAN MARCOS FIRE DEPARTMENT STANDARDS
- 30'-0" X 12'-0" LOADING / UNLOADING ZONE. STRIP AND LABEL THE LOADING AREA PER CITY STANDARDS
- BICYCLE PATH SIGN, SEE DETAIL 6/A12 AND BICYCLE PAVEMENT PATH STENCIL, SEE DETAIL 5/A12
- EXISTING MONUMENT SIGN TO REMAIN. MODIFICATION TO EXISTING SIGN WILL BE MADE UNDER A SEPARATE PERMIT
- SAW-CUT AND REMOVE (E) CONCRETE CURB AS REQUIRED TO JOIN NEW DRIVE AISLE WITH EXISTING ADJACENT DRIVE AISLE, SEE CIVIL DRAWINGS
- WATER METER AND BACKFLOW DEVICE LOCATION FOR VALLECITOS WATER DISTRICT POINT OF CONNECTION
- CLEAR LINE OF SIGHT TO BE MAINTAINED AT ALL TIMES

PEDESTRIAN ACCESSIBLE PATH OF TRAVEL TO BUILDING ENTRANCE



OVERALL SITE PLAN



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FOR
MONTIEL OFFICE
BUILDING

2375 and 2355 MONTIEL ROAD
SAN MARCOS, CALIFORNIA 92069

PROJECT NAME

18116

PROJECT NUMBER

OVERALL SITE PLAN

SHEET TITLE

A1.1

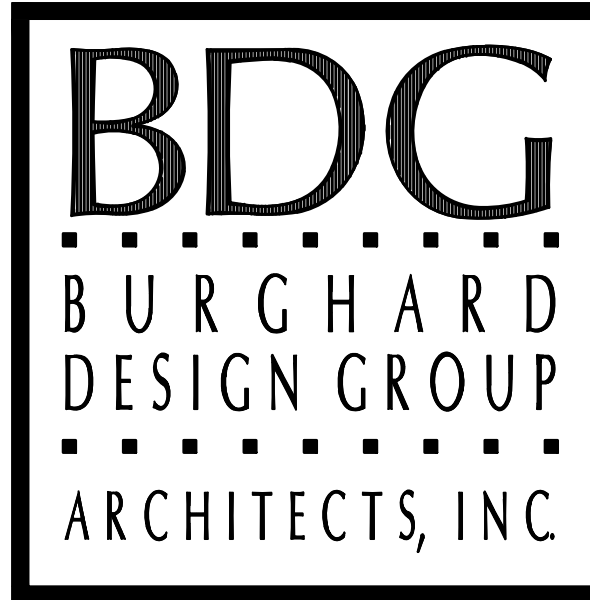
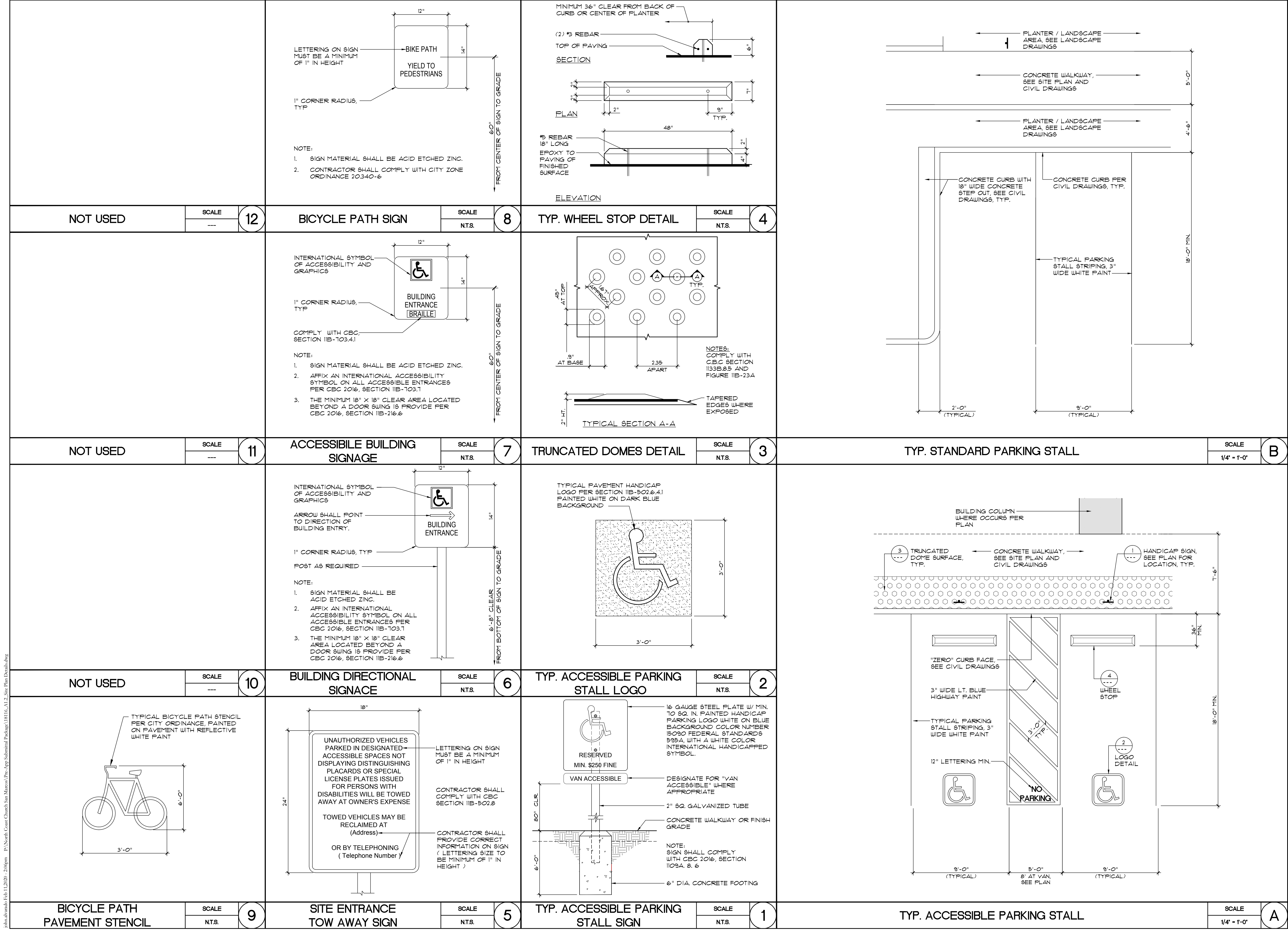
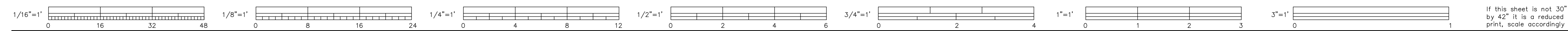
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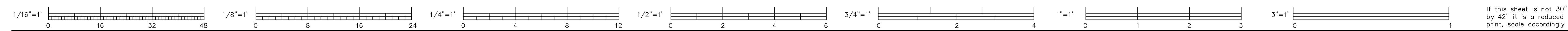
2375 and 2355 MONTIEL ROAD
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PROJECT NAME
18116
PROJECT NUMBER

SITE DETAILS

SHEET TITLE
A1.2
SHEET NUMBER

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NOT USED30

NOT USED25

NOT USED20

CONC. CURB AND GUTTER15

TRAFFIC ARROWS14

TRASH ENCLOSURE - JAMB5

TRASH ENCLOSURE GATE4

TRASH ENCLOSURE WALL DETAIL3

TRASH ENCLOSURE PLAN AND ELEVATIONS1

NOT USED29

CONC. WALK JOINTS23

CURB AT A/C PAVING18

CURB FIRE LANE DETAIL13

TRASH ENCLOSURE PLAN AND ELEVATIONS1

NOT USED28

CONC. WALK JOINTS23

CURB AT A/C PAVING18

CURB FIRE LANE DETAIL13

TRASH ENCLOSURE PLAN AND ELEVATIONS1

NOT USED27

CURB / LANDSCAPE26

CURB / LANDSCAPE16

CURB FIRE LANE DETAIL13

TRASH ENCLOSURE PLAN AND ELEVATIONS1

NOT USED26

CURB / LANDSCAPE26

CURB / LANDSCAPE16

CURB FIRE LANE DETAIL13

TRASH ENCLOSURE PLAN AND ELEVATIONS1



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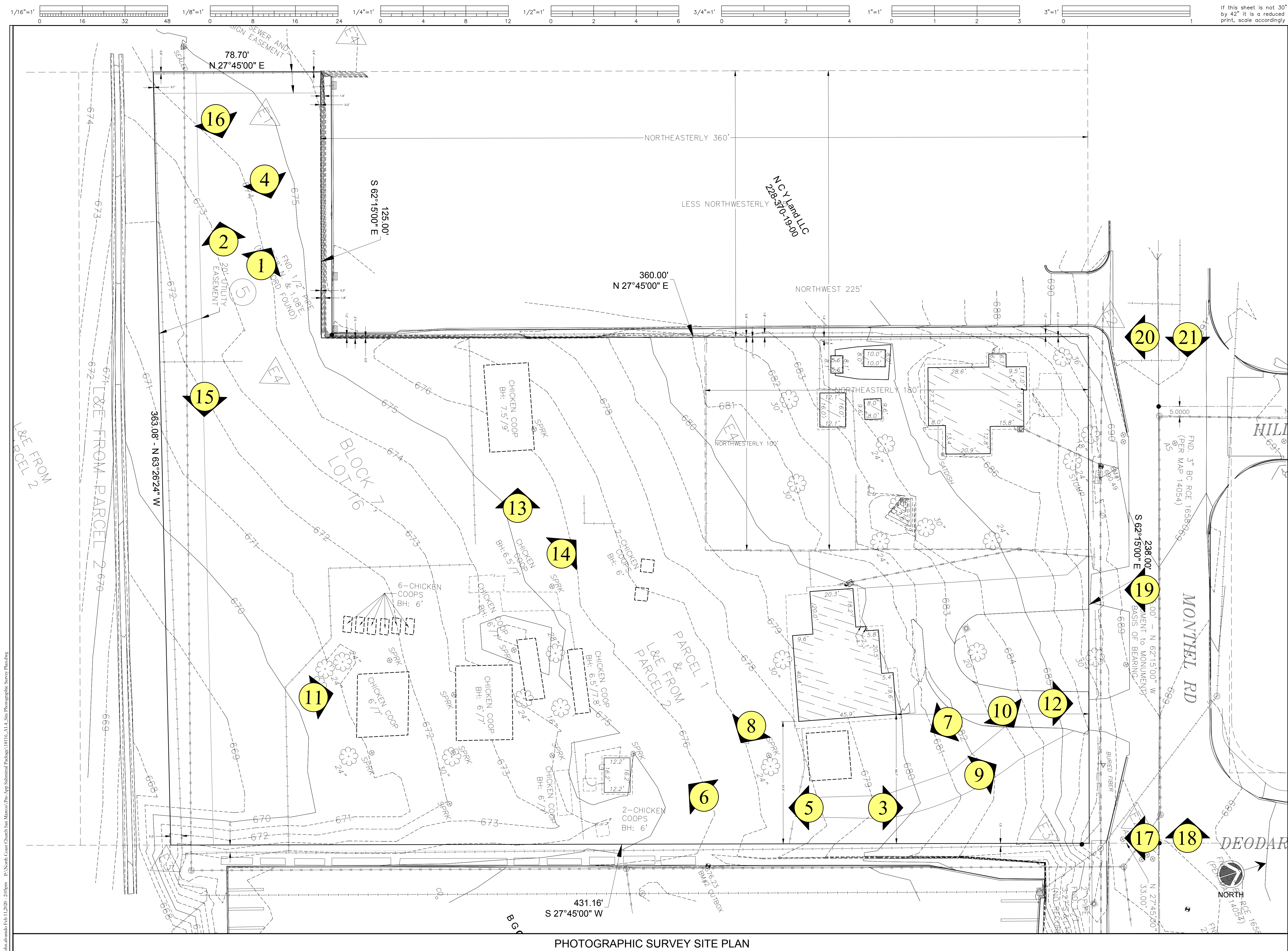
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PROJECT NUMBER

SITE DETAILS
SHEET TITLE
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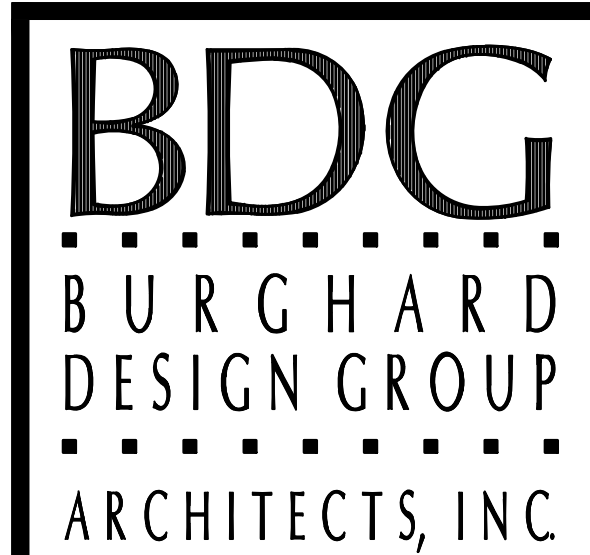
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PHOTOGRAPHIC SURVEY SITE PLAN



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SITE PHOTOGRAPHIC
SURVEY PLAN

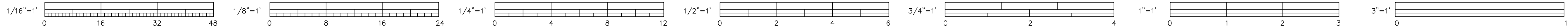
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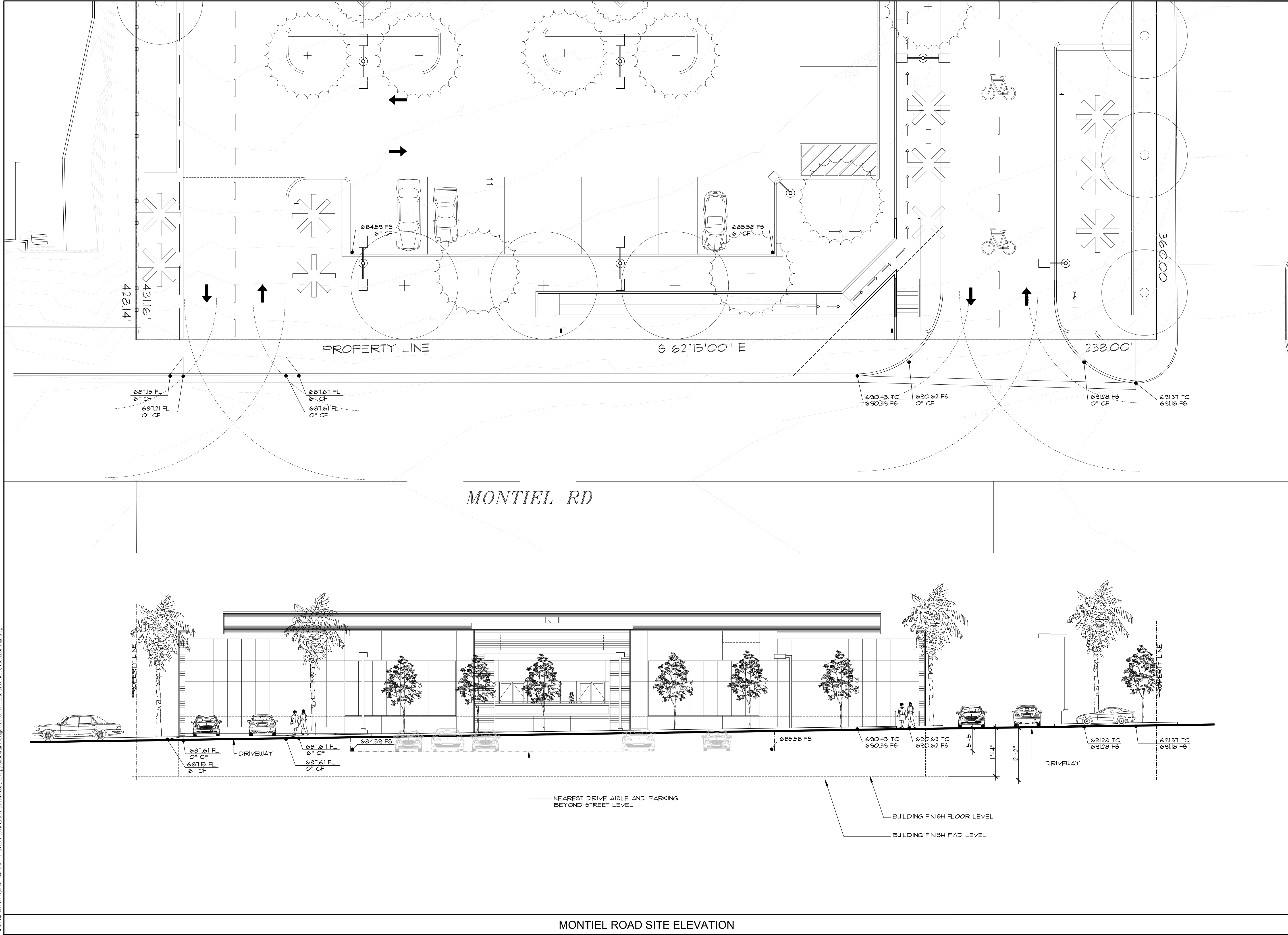
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PROJECT NAME

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PROJECT NUMBER

MONTIEL ROAD
SITE ELEVATION

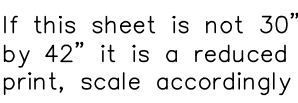
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PROJECT NUMBER

SITE LIGHTING PLAN

SHEET TITLE

A1.6

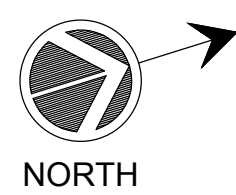
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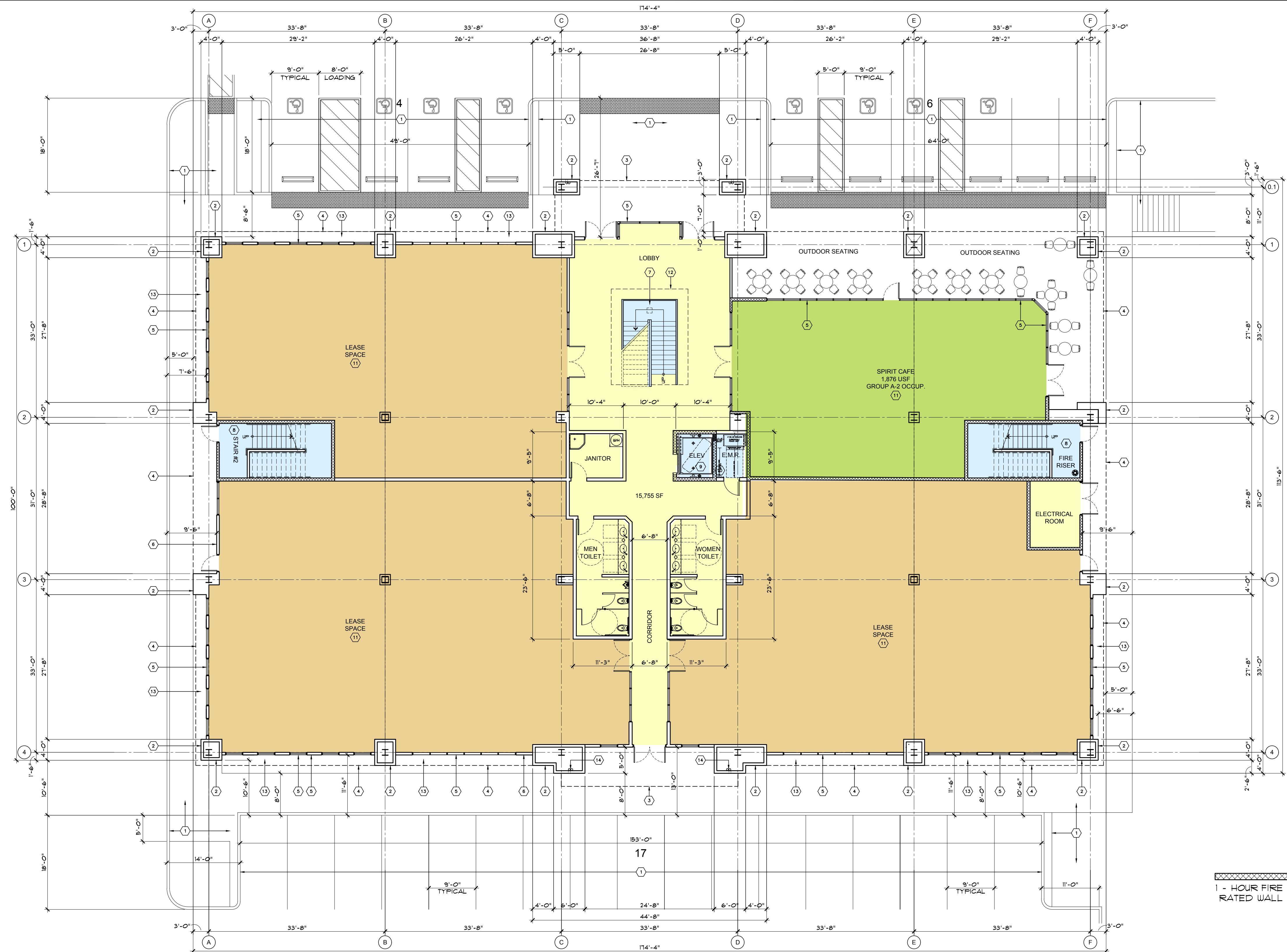
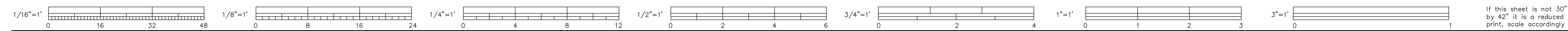
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SITE LIGHTING PLAN



GENERAL NOTES

SEE CIVIL DRAWINGS AND ARCHITECTURAL SITE PLAN FOR INFORMATION NOT SHOWN ON THIS PLAN

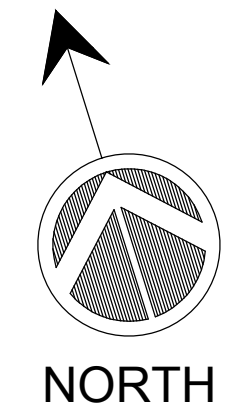
SEE LANDSCAPE DRAWINGS FOR INFORMATION NOT SHOWN ON THIS PLAN

SEE EXTERIOR ELEVATIONS FOR BUILDING HEIGHT, DESCRIPTION AND COLOR OF ALL FINISH MATERIALS

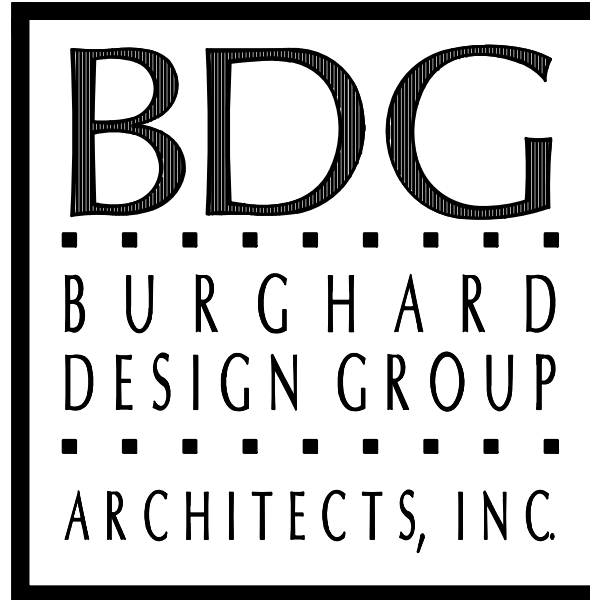
- PRECISION STACK STONE VENEER FINISH, STYLE AND COLOR TBD (ALTERNATE)
- STUCCO SYSTEM FINISH, TEXTURE AND COLOR TBD
- STOREFRONT WINDOW AND DOOR SYSTEM, FRAME AND GLAZING COLOR TBD

FLOOR AREA TABULATIONS		
OFFICE LEASE SPACE FLOOR AREA ("B" OCC.)	10,846 SQ. FT.	68.9%
CAFE FLOOR AREA ("A-2" OCC.)	1,876 SQ. FT.	11.9%
BUILDING CORE FLOOR AREA ("B" OCC.)	3,033 SQ. FT.	19.2%
TOTAL:	15,755 SQ. FT.	100%

- KEY NOTES**
- SITE IMPROVEMENTS, SEE CIVIL DRAWINGS AND ARCHITECTURAL SITE PLAN
 - METAL PANEL CLAD COLUMN / PILASTER / BUILDING FINISH, SEE EXTERIOR ELEVATIONS
 - LINE OF FLOOR / BALCONY ABOVE, SEE EXTERIOR ELEVATIONS
 - LINE OF SOFFIT, SEE EXTERIOR ELEVATIONS
 - ANODIZED ALUMINUM STOREFRONT DOOR / WINDOW, SEE EXTERIOR ELEVATIONS
 - STUCCO FINISH, SEE EXTERIOR ELEVATIONS
 - DECORATIVE PRIMARY STAIR WITH STEEL AND GLASS GUARDRAIL
 - SECONDARY EXIT STAIR IN FIRE RATED ENCLOSURE
 - 2-STOP HANDICAP COMPLIANT ELEVATOR / ENCLOSURE
 - ELEVATOR MACHINE ROOM
 - FUTURE TENANT LEASE SPACE
 - LINE OF OPENING IN SECOND FLOOR
 - LANDSCAPE / PLANTER BED, SEE LANDSCAPE DRAWINGS
 - ROOF DRAIN LEADER AND OVERFLOW DRAIN



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18116

PROJECT NUMBER

1ST LEVEL FLOOR PLAN

SHEET TITLE

A2.1

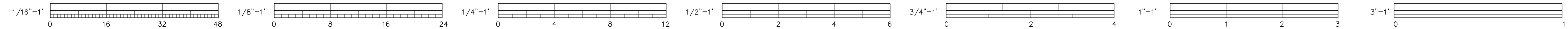
SHEET NUMBER

3/32" = 1'-0"

12 FEBRUARY 2019

SCALE DATE

FIRST FLOOR PLAN



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PROJECT PHASE

CONCEPTUAL
PLANNING
SUBMITTAL
FOR

MONTIEL OFFICE BUILDING

2375 and 2355 MONTIEL ROAD
SAN MARCOS, CALIFORNIA 92069

PROJECT NAME
18116

PROJECT NUMBER

2nd LEVEL FLOOR PLAN

SHEET TITLE

A2.2

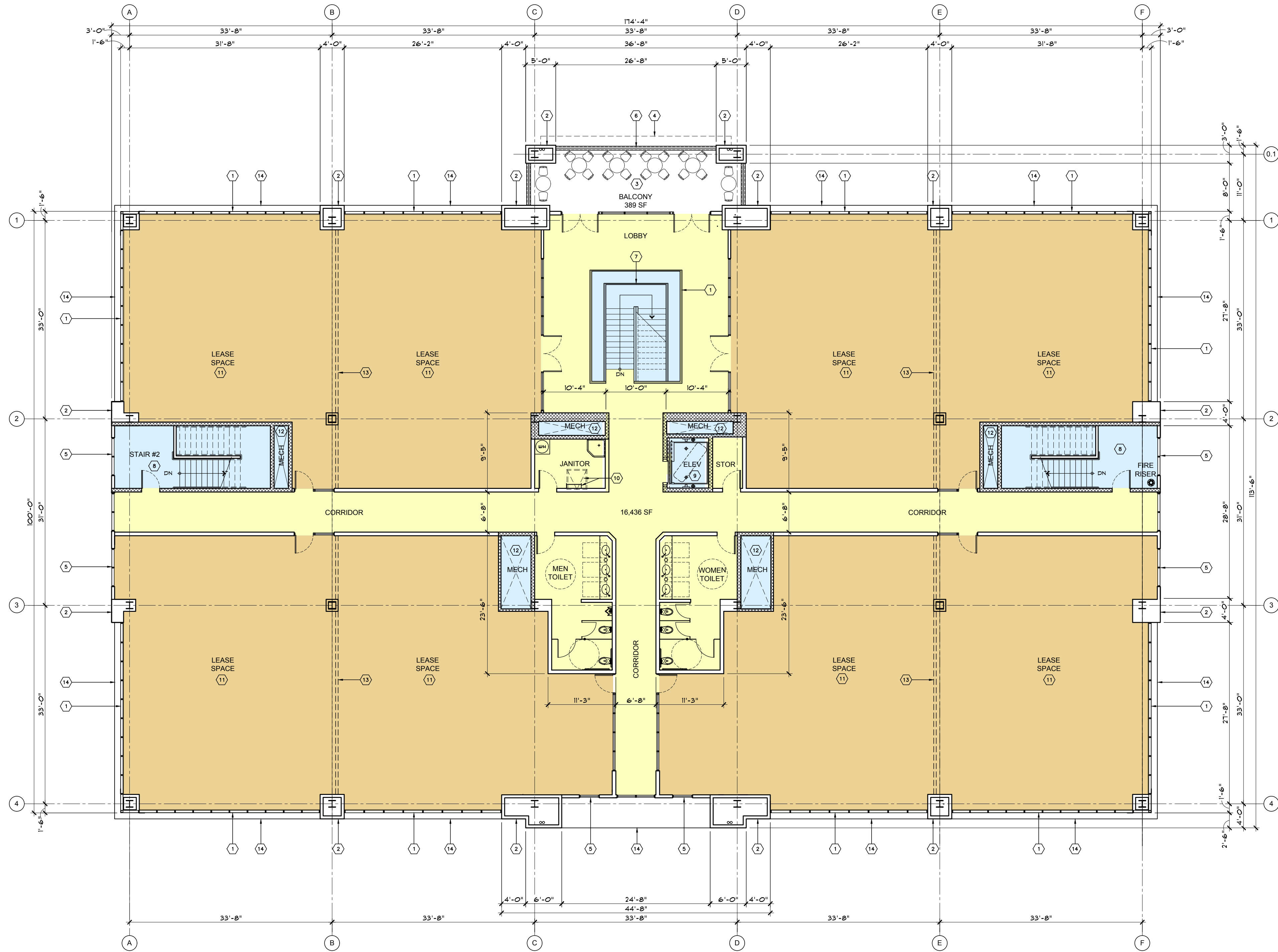
SHEET NUMBER

3/32" = 1'-0"

12 FEBRUARY 2019

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1 - HOUR FIRE
RATED WALL

GENERAL NOTES

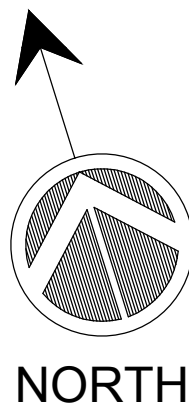
- SEE CIVIL DRAWINGS AND ARCHITECTURAL SITE PLAN FOR INFORMATION NOT SHOWN ON THIS PLAN
- SEE LANDSCAPE DRAWINGS FOR INFORMATION NOT SHOWN ON THIS PLAN
- SEE EXTERIOR ELEVATIONS FOR BUILDING HEIGHT, DESCRIPTION AND COLOR OF ALL FINISH MATERIALS
- PRECISION STACK STONE VENEER FINISH, STYLE AND COLOR TBD (ALTERNATE)
 - STUCCO SYSTEM FINISH, TEXTURE AND COLOR TBD
 - STOREFRONT WINDOW AND DOOR SYSTEM, FRAME AND GLAZING COLOR TBD

FLOOR AREA TABULATIONS

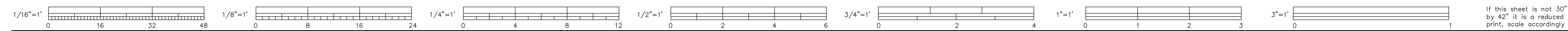
OFFICE LEASE SPACE FLOOR AREA ("B" OCC.)	13,536 SQ. FT.	79.0%
EXTERIOR DECK / BALCONY:	389 SQ. FT.	2.2%
BUILDING CORE FLOOR AREA ("B" OCC.)	3,229 SQ. FT.	18.8%
TOTAL:	17,154 SQ. FT.	100%

KEY NOTES

- INSULATED GLASS CURTAIN WALL SYSTEM
- METAL PANEL CLAD COLUMN / PILASTER / BUILDING FINISH, SEE EXTERIOR ELEVATIONS
- DECK / BALCONY, SEE EXTERIOR ELEVATIONS
- LINE OF SOFFIT / CANOPY ABOVE, SEE EXTERIOR ELEVATIONS
- CLEAR ANODIZED ALUMINUM STOREFRONT / WINDOW SYSTEM, SEE EXTERIOR ELEVATIONS
- GLASS / METAL BALCONY GUARDRAIL, SEE EXTERIOR ELEVATIONS
- DECORATIVE PRIMARY STAIR WITH STEEL AND GLASS GUARDRAIL
- SECONDARY EXIT STAIR IN FIRE RATED ENCLOSURE
- 2-STOP HANDICAP COMPLIANT ELEVATOR / ENCLOSURE
- ROOF ACCESS LADDER AND ROOF HATCH
- FUTURE TENANT LEASE SPACE
- MECHANICAL DUCT CHASE
- POSSIBLE LOCATION OF TENANT SPACE DEMISING WALL
- SMOOTH HORIZONTAL METAL PANEL BAND, SEE EXTERIOR ELEVATIONS



SECOND FLOOR PLAN



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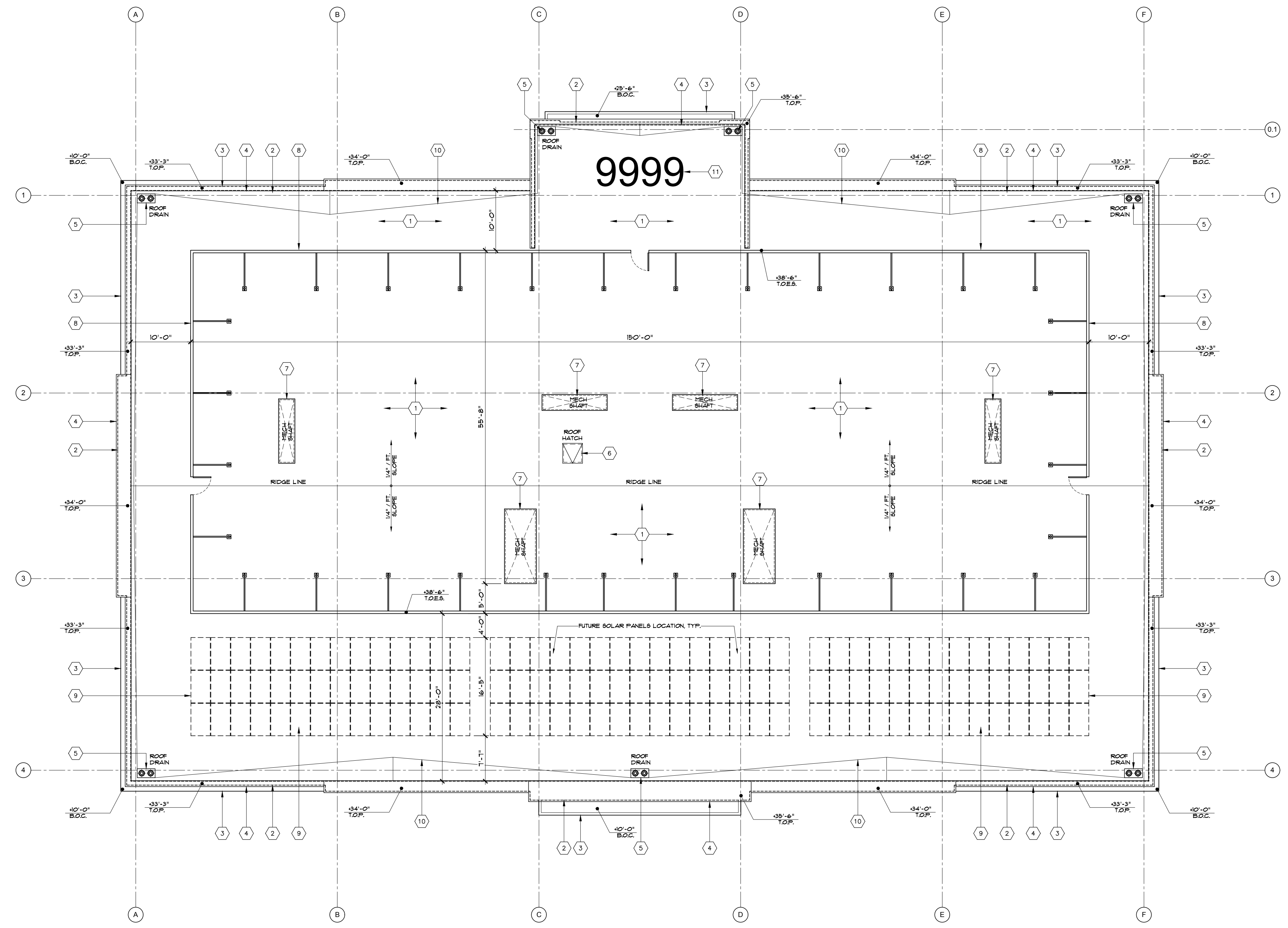
PROJECT NAME
18116
PROJECT NUMBER

ROOF PLAN

SHEET TITLE
A2.3
SHEET NUMBER

3/32" = 1'-0" 12 FEBRUARY 2019
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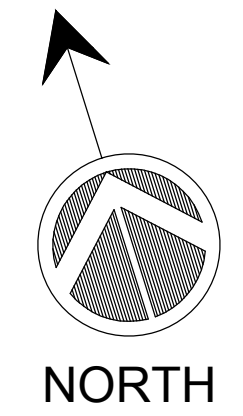


GENERAL NOTES

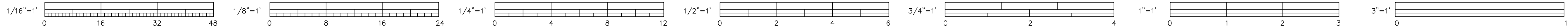
- THE LAYOUT, NUMBER AND LOCATION OF ROOF PENETRATIONS IS SCHEMATIC IS AT POINT. FINAL ENGINEERING WILL LIKELY CHANGE
- IT IS ANTICIPATED THAT THE EQUIPMENT SCREEN IS TALL ENOUGH TO HIDE ANY MECHANICAL EQUIPMENT, HOWEVER, IT IS CONCEIVABLE THAT THE SIZE OF THE ENCLOSURE COULD CHANGE
- THE INFRASTRUCTURE FOR SOLAR PANELS WILL BE PROVIDED DURING THE INITIAL SCOPE OF ENGINEERING/CONSTRUCTION. PANELS HOWEVER MAY NOT BE INSTALLED UNTIL A LATER DATE
- PARAPET WALLS WILL HAVE A MINIMUM HEIGHT OF 42" FOR SAFETY REASON
- SELECTION OF THE ACTUAL ROOFING MEMBRANE WILL BE BASED ON COMPLIANCE WITH TITLE-24 REQUIREMENTS

KEY NOTES

- ROOF TYPE: CLASS "A" 4-PLY BUILT-UP ROOF, LIGHT IN COLOR
- LINE OF WALL BELOW ROOF, SEE FLOOR PLAN AND EXTERIOR ELEVATIONS
- METAL PANEL CANOPY, SEE EXTERIOR ELEVATIONS
- PARAPET WALL WITH METAL FLASHING CAP. SEE EXTERIOR ELEVATIONS FOR SPECIFICATIONS
- COMBINATION ROOF DRAIN/OVERFLOW DRAIN WITH DOME STRAINER
- 36"x36" PRE-FINISHED ROOF HATCH
- MECHANICAL EQUIPMENT SHAFT WITH SHEET METAL CAP
- MECHANICAL EQUIPMENT SCREEN, SEE EXTERIOR ELEVATIONS
- FUTURE ROOF MOUNTED SOLAR PANEL LOCATION SHOWN DASHED
- WATER DIVERSION CRICKET
- 60" TALL PAINTED BUILDING ADDRESS NUMBERS



ROOF PLAN



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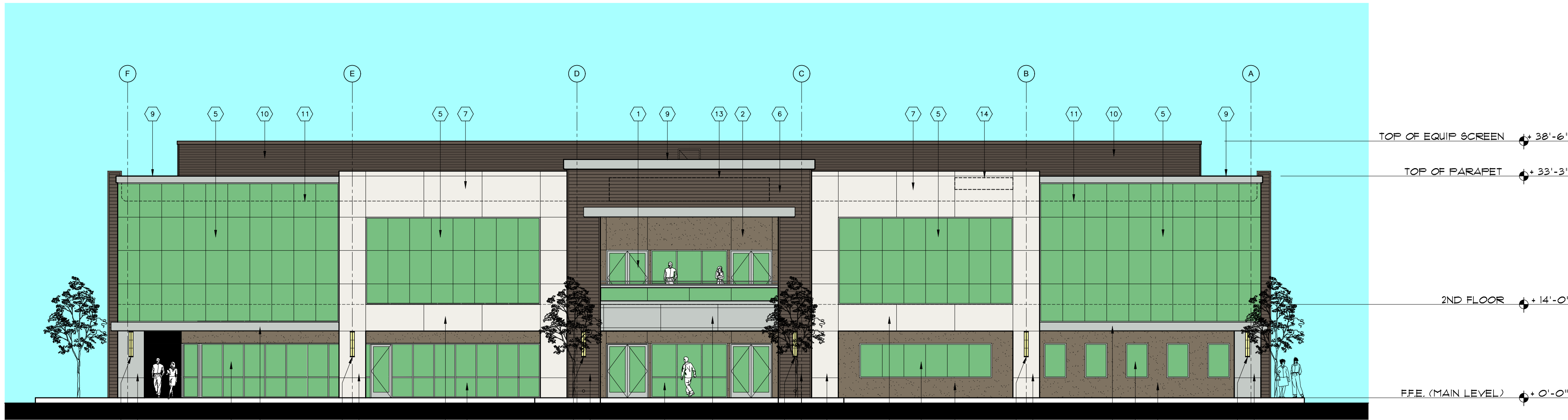
2375 and 2355 MONTIEL ROAD
SAN MARCOS, CALIFORNIA 92069

PROJECT NAME
18116
PROJECT NUMBER

EXTERIOR ELEVATIONS

SHEET TITLE
A4.1
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3/32" = 1'-0" 12 FEBRUARY 2019
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NORTH ELEVATION



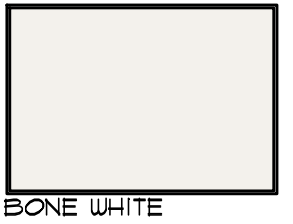
SOUTH ELEVATION



CHOCOLATE PUDDING



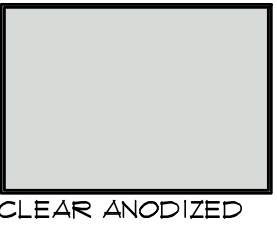
FALLEN ROCK



BONE WHITE

KEY NOTES

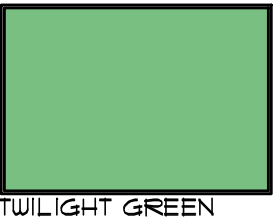
- (1) CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM AND WINDOW FRAMES
- (2) CEMENT PLASTER "SAND/FLOAT" FINISH, COLOR MATCH DUNN EDWARDS "DE6388-FALLEN ROCK"
- (3) WALL SCONCE LIGHT FIXTURE - STYLE TO BE SELECTED
- (4) SPARE
- (5) INSULATED GLASS CURTAIN WALL SYSTEM, GLAZING TO MATCH "OLDCASTLE SN-68 TWILIGHT GREEN"
- (6) RIBBED METAL PANEL SYSTEM, COLOR TO MATCH DUNN EDWARDS "DE6390-CHOCOLATE PUDDING"
- (7) SMOOTH METAL PANEL WALL SYSTEM, REYNOBOND (ALCOA PRODUCT), COLOR: "BONE WHITE"
- (8) SMOOTH METAL PANEL WALL SYSTEM, REYNOBOND (ALCOA PRODUCT), COLOR: "PLATINUM"
- (9) SMOOTH METAL PANEL PARAPET CAP, REYNOBOND (ALCOA PRODUCT), COLOR: "PLATINUM"
- (10) RIBBED METAL PANEL EQUIPMENT SCREEN, MATCH DUNN EDWARDS "DE6390-CHOCOLATE PUDDING"
- (11) ROOF LINE SHOWN DASHED
- (12) FUTURE ROOF MOUNTED SOLAR PANEL LOCATION
- (13) BUILDING IDENTIFICATION SIGNAGE LOCATION
- (14) BUILDING ADDRESS LOCATION



CLEAR ANODIZED

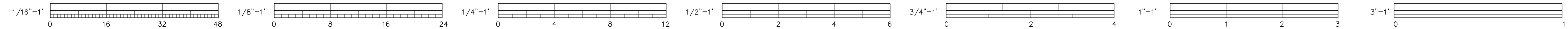


PLATINUM

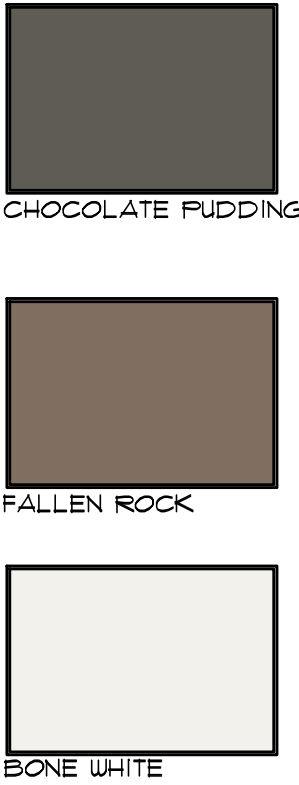
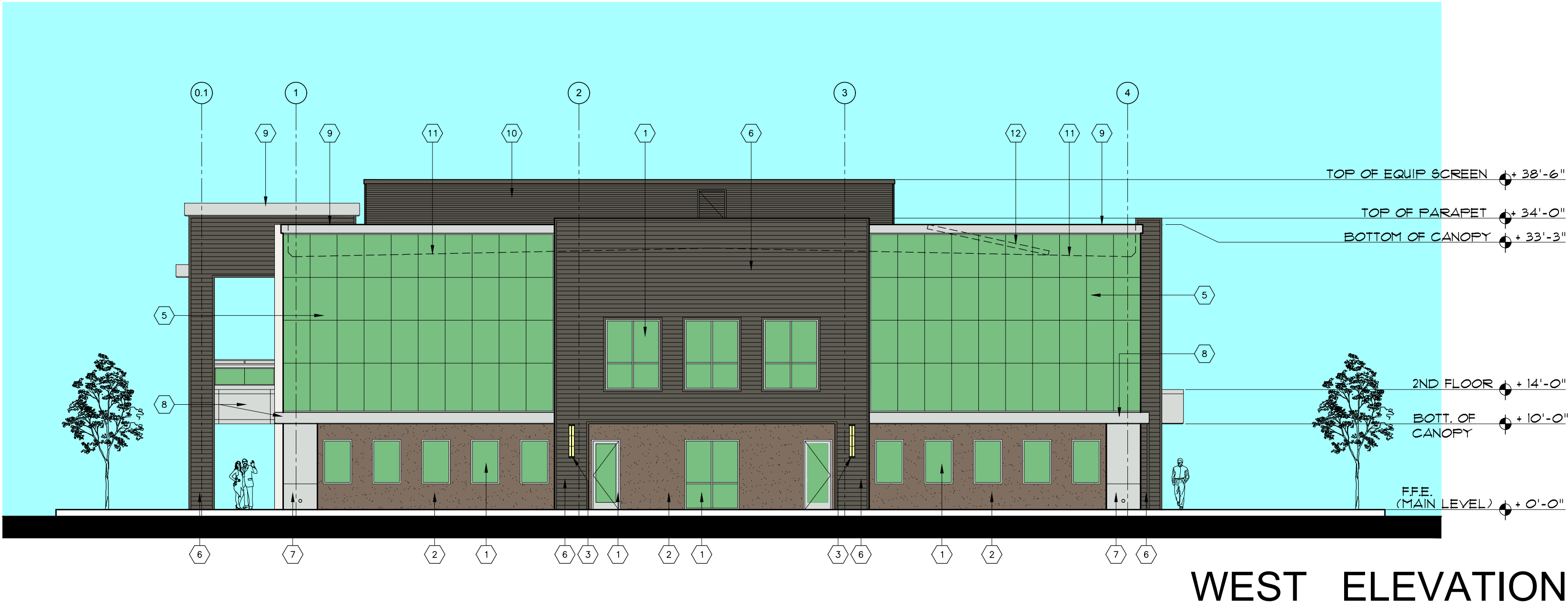
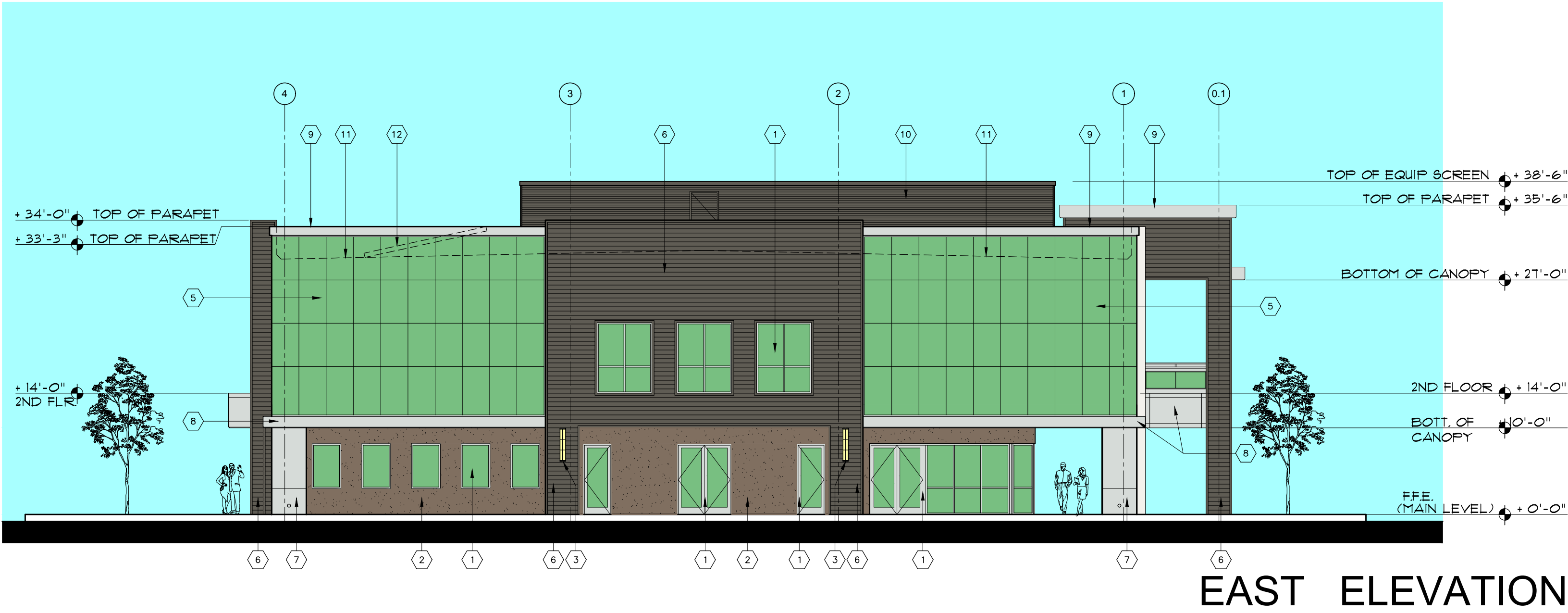


TWILIGHT GREEN

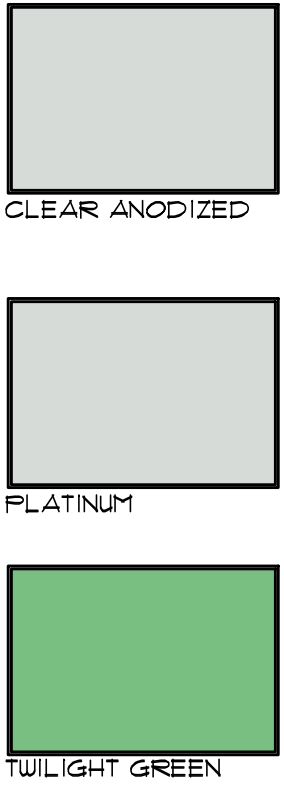
EXTERIOR ELEVATIONS



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KEY NOTES	
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(2)	CEMENT PLASTER "SAND/FLOAT" FINISH, COLOR MATCH DUNN EDWARDS "DE6388-FALLEN ROCK"
(3)	WALL SCONCE LIGHT FIXTURE - STYLE TO BE SELECTED
(4)	SPARE
(5)	INSULATED GLASS CURTAIN WALL SYSTEM, GLAZING TO MATCH "OLDCASTLE SN-68 TWILIGHT GREEN"
(6)	RIBBED METAL PANEL SYSTEM, COLOR TO MATCH DUNN EDWARDS "DE6388-CHOCOLATE PUDDING"
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(14)	BUILDING ADDRESS LOCATION



EXTERIOR ELEVATIONS



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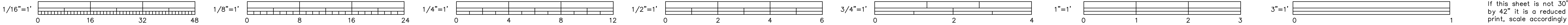
2375 and 2355 MONTIEL ROAD
SAN MARCOS, CALIFORNIA 92069

PROJECT NAME
18116
PROJECT NUMBER

EXTERIOR ELEVATIONS

SHEET TITLE
A4.2
SHEET NUMBER

3/32" = 1'-0" 12 FEBRUARY 2019
SCALE DATE



PLANTING LEGEND

PLANT DESCRIPTION - SIZE
BOTANICAL NAME - COMMON NAME (NUGOLS)

TREES

STREET TREES - TO COORDINATE WITH ADJACENT SITE TO THE EAST -
MONTIEL RD. - 24" BOX (APPROX. QTY = 3)
FICUS RUBIGINOSA - RUSTY FIG (M) (MIN. PLANTER WIDTH 15')

PARKING AREA SHADE TREES - 24" BOX (APPROX. QTY = 28) - MIN.
PLANTER WIDTH 5'

ARBUS 'MARINA' - MARINA STRAWBERRY TREE (M)
CHITALPA T. 'PINK DAWN' - CHITALPA PINK DAWN (L)
KOELREUTERIA PANICULATA - CHINESE FLAME TREE (L)
LAGERSTROEMIA 'TUSCARORA' - TUSCARORA CRAPE MYRTLE (M)
RHUS LANCEA - AFRICAN SUMAC (L)

SMALL FLOWERING ACCENT PARKING ISLAND TREES - 24" BOX
(APPROX. QTY = 14) - MIN. PLANTER WIDTH 5'
ARBUS 'MARINA' - MARINA STRAWBERRY TREE (M)
CERCIS 'FOREST PANSY' - FOREST PANSY REDBUD (M)
LAGERSTROEMIA 'TUSCARORA' - TUSCARORA CRAPE MYRTLE (M)

PERIMETER THEME SCREENING TREES - 15 GAL. - 24" BOX
(APPROX. QTY = 16) - MIN. PLANTER WIDTH 5'
CHILOPSIS LINEARIS - DESERT WILLOW (L)
GEIJERA PARVIFLORA - AUSTRALIAN WILLOW (L)
TRISTANIA CONFERTA - BRISBANE BOX (M)

ENTRY THEME TREES - 8" BTH (APPROX. QTY = 10)
WASHINGTONIA ROBUSTA - MEXICAN FAN PALM (L)

SHRUBS AND GROUNDCOVERS

TALL SCREENING SHRUBS - 5 GAL (APPROX. QTY = 150)
CALLISTEMON CITRINUS - CRIMSON BOTTLEBRUSH (L)
WESTRINGIA FRUTICOSA - COASTAL ROSEMARY (L)
SALVIA 'WINNIFRED GILMAN' - WINNIFRED GILMAN BLUE SAGE (L)
LAURUS NOBILIS - BAY LAUREL (L)
DODONEA VISCOSA - HOP BUSH (L)

MASSING SHRUBS - 1 GAL. - 5 GAL (APPROX. QTY = 275)
CALLISTEMON 'LITTLE JOHN' - DWARF CALLISTEMON (L)
HESPERALOE PARVIFLORA - RED YUCCA (L)
PENNISETUM RUBRUM - PURPLE FOUNTAIN GRASS (L)
ROSMARINUS 'ROMAN BEAUTY' - ROMAN BEAUTY ROSEMARY (L)
SALVIA 'HOT LIPS' - HOT LIPS SAGE (L)
TAGETES LEMONII - MEXICAN MARIGOLD (L)

SMALL ACCENT SHRUBS - 1 GAL. - 5 GAL (APPROX. QTY = 200)
BUXUS UPTIGHT' - UPTIGHT BOXWOOD (M)
DIANELLA 'LITTLE REV' - LITTLE REV FLAX LILY (L)
NANDINA 'LEMON LIME' - LEMON LIME HEAVENLY BAMBOO (M)
ROSA 'FLOWER CARPET' - FLOWER CARPET ROSE (M)
TRACHELOSPERMUM JASMINOIDES - STAR JASMINE (M)

SPREADING GROUNDCOVERS - FLATS @ 12" O.C.
BACCHARIS 'PIGEON POINT' - DWARF COYOTE BUSH (L)
LANTANA 'NEW GOLD' - NEW GOLD LANTANA (L)
ROSMARINUS 'PROSTRATUS' - PROSTRATE ROSEMARY (L)

BIOFILTRATION BASIN GRASSES - PLUGS - 1 GAL. @ 12" O.C.
CAREX SPISSA - SAN DIEGO SEDGE (L)
MUHLENBERGIA CAPILLARIS - PINK MUHLY (L)

Landscape Notes:

IRRIGATION METHODS

The following irrigation equipment and methods will be utilized on the site.

- (1) Automatic controllers utilizing evapotranspiration or moisture sensing data, with manual and auto shut off.
- (2) Reduced pressure backflow preventer with stainless steel cover.
- (3) Subsurface drip irrigation system designed to prevent runoff, low head drainage and overspray.
- (4) Plants will be grouped into hydrozones. Different hydrozones will be irrigated separately.
- (5) No spray irrigation will be used within 24" of a non-permeable surface.

INVASIVE SPECIES

- (1) No non-native invasive plant species shall be used, per Appendix N of the MSCP Subarea Plan, California Exotic Pest Plant Council List A-1 and California Invasive Plant Council (Cal-IPC).

LANDSCAPE MAINTENANCE

- (1) All landscaped areas shall be maintained by the owner.

PLANT MATERIALS

- (1) The project has been designed with water conserving plant and turf species, disease and pest-resistant plants. Trees have been utilized wherever possible to provide shading.
- (2) All street trees shall have root barriers.
- (3) All 24" box trees shall have a minimum trunk caliper of 1-1/2" and a minimum height of 6'. All 15 gal. trees shall have a minimum trunk caliper of 1" and a minimum height of 5'.
- (4) Landscape construction drawings shall be prepared to meet the requirements of CSM Water Ordinance.
- (5) There is no existing onsite plant material to remain. See sheet L-3 for inventory of trees to be removed.
- (6) All trees shall have a minimum of 25' sq. ft. pervious planting area.

EROSION CONTROL

- (1) Best Management Practice devices and procedures shall be utilized as specified by the Project Civil Engineer.

MISCELLANEOUS

- (1) On-site pedestrian and bicycle paths shall be clearly distinguished to ensure these routes are visible to drivers and require vehicles to yield to pedestrians and bicyclists.

TOTAL PROJECT SITE:	113,537 S.F.
TOTAL LANDSCAPE AREA:	21,272 S.F.
% OF SITE LANDSCAPED:	18.5%
TOTAL PARKING SPACES	171
TOTAL TREES	66



Scale 1" = 20'

North

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TEMECULA, CALIFORNIA 92590

(TEL) 951 - 296 - 2828

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HOWARD
ASSOCIATES
landscape architecture
2442 second avenue
san diego ca 92101 619 718 9660

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BUILDING

2375 and 2355 MONTIEL ROAD
SAN MARCOS, CALIFORNIA 92069

PROJECT NAME

18116

PROJECT NUMBER

Administration Building
Landscape Concept Plan

SHEET TITLE

L-1

SHEET NUMBER

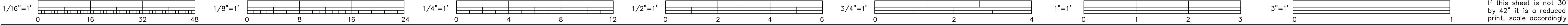
1" = 20'-0"

SCALE

20 April 2020

REV 27 July 2021

DATE



California Water Efficient Landscape Worksheet - City of San Marcos						
Reference Evapotranspiration (ET _o)	54.2	Project Type	Non-Residential	ETAF x Area	Estimated Total Water Use	0.45
Hydrozone # / Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^d
Regular Landscape Areas						
1. Low Water Shrubs	0.3	Drip	0.81	0.37	12,997	4814
2. Mod Water Shrubs	0.5	Drip	0.81	0.62	902	557
3. Low Water -Basin/Tree Wells	0.3	Overhead	0.75	0.40	4,773	1909
4. Mod Water Trees	0.5	Drip	0.81	0.62	2,600	1605
				Totals	21,272	8885
Special Landscape Areas						
				1		0
				1		0
				1		0
				1		0
				Totals	0	0
				ETWU Total		298,559
				Maximum Allowed Water Allowance (MAWA) ^e		321,671

ETAF Calculations	
Regular Landscape Areas	
Total ETAF x Area	8,885
Total Area	21,272
Average ETAF	0.42

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas	
Total ETAF x Area	8,885
Total Area	21,272
Average ETAF	0.42

WATER CONSERVATION NOTES

- ALL IRRIGATION SHALL INCLUDE EFFECTIVE AND EFFICIENT WATERING METHODS UTILIZING HUNTER MP ROTATOR LOW-FLOW IRRIGATION HEADS AND DRIP IRRIGATION.
- ALL IRRIGATION CONTROLLERS SHALL HAVE AUTOMATIC RAIN SHUT-OFF SENSORS.
- ALL PLANT MATERIAL UTILIZED IS CLASSIFIED AS 'LOW OR MODERATE WATER USE' BY NUGOLS (WATER USE CLASSIFICATION OF LANDSCAPE SPECIES).
- ALL PLANTING AREAS SHALL RECEIVE REGULAR MAINTENANCE AND MANAGEMENT DESIGNED TO MAXIMIZE HEALTHY GROWTH. THE PROJECT OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPED AREAS.
- ALL PLANTING AREAS SHALL RECEIVE COMPLETE AND APPROPRIATE SOIL PREPARATION.
- ONLY LOW VOLUME OR SUBSURFACE IRRIGATION SHALL BE USED TO IRRIGATE ANY VEGETATION WITHIN 24" OF AN IMPERMEABLE SURFACE.
- PLANTING AREAS SHADED BY BUILDINGS SHALL BE AMENDED TO IMPROVE DRAINAGE AND AVOID REMAINING WET BETWEEN IRRIGATION CYCLES.
- ALL LANDSCAPED AREAS EXCEPT BIOFILTRATION BASIN SHALL HAVE A 4" LAYER OF BARK MULCH.

Water Conservation Plan Legend

ZONE	AREA	% OF TOTAL LANDSCAPE AREA
1. LOW WATER USE SHRUB AREAS (12,997 SQ. FT) IN-LINE DRIP IRRIGATION		61%
2. MODERATE WATER USE SHRUB AREAS (902 SQ.FT) IN-LINE DRIP IRRIGATION		4%
3. LOW WATER USE TREE WELL / BASIN (4,773 SQ. FT) IN-LINE DRIP IRRIGATION		23%
4. MODERATE WATER USE TREE AREAS - (2,600 SQ. FT) NOT SHOWN (40 SQ FT/EA. TREE) ROOT WATERING DRIP IRRIGATION.		12%

SCHEMATIC IRRIGATION LEGEND

- APPROXIMATE PROPOSED LOCATION FOR IRRIGATION MAINLINE
- APPROXIMATE PROPOSED LOCATION FOR IRRIGATION VALVES
- P.O.C. APPROXIMATE PROPOSED LOCATION FOR POINT OF CONNECTION:
 - POTABLE WATER METER
 - BACKFLOW PREVENTER WITH LOCKING ENCLOSURE
 - MASTER VALVE
 - FLOW SENSOR
 - GATE VALVE ASSEMBLY
- APPROXIMATE PROPOSED LOCATION FOR IRRIGATION AND CONTROL WIRE SLEEVING
- APPROXIMATE PROPOSED LOCATION FOR AUTOMATIC CONTROLLER IN SS LOCKING PEDESTAL

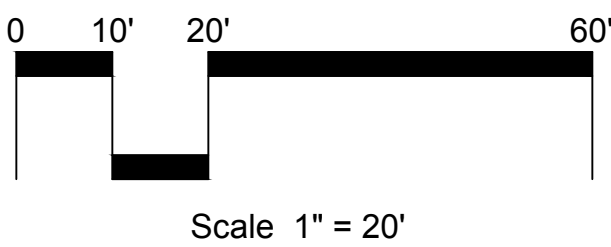
IRRIGATION NOTE

ALL PLANTING AREAS SHALL HAVE SUBSURFACE DRIP IRRIGATION OR MP ROTATORS

MONTIEL ROAD

I agree to comply with the requirements of the Water Efficient Landscape Regulations and submit a complete Landscape Documentation Package.

Applicant / Owner Signature 03/31/2021



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SAN MARCOS, CALIFORNIA 92069

PROJECT NAME

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PROJECT NUMBER

Administration Building
Water Conservation
Plan and Schematic
Irrigation Plan

SHEET TITLE

L-2

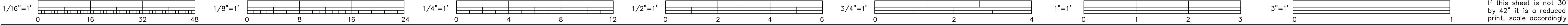
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REV 27 July 2021

DATE

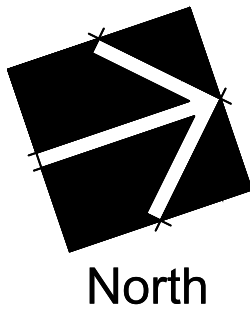
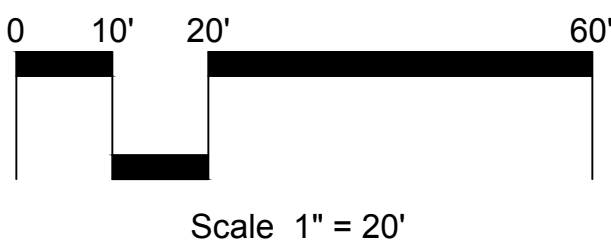
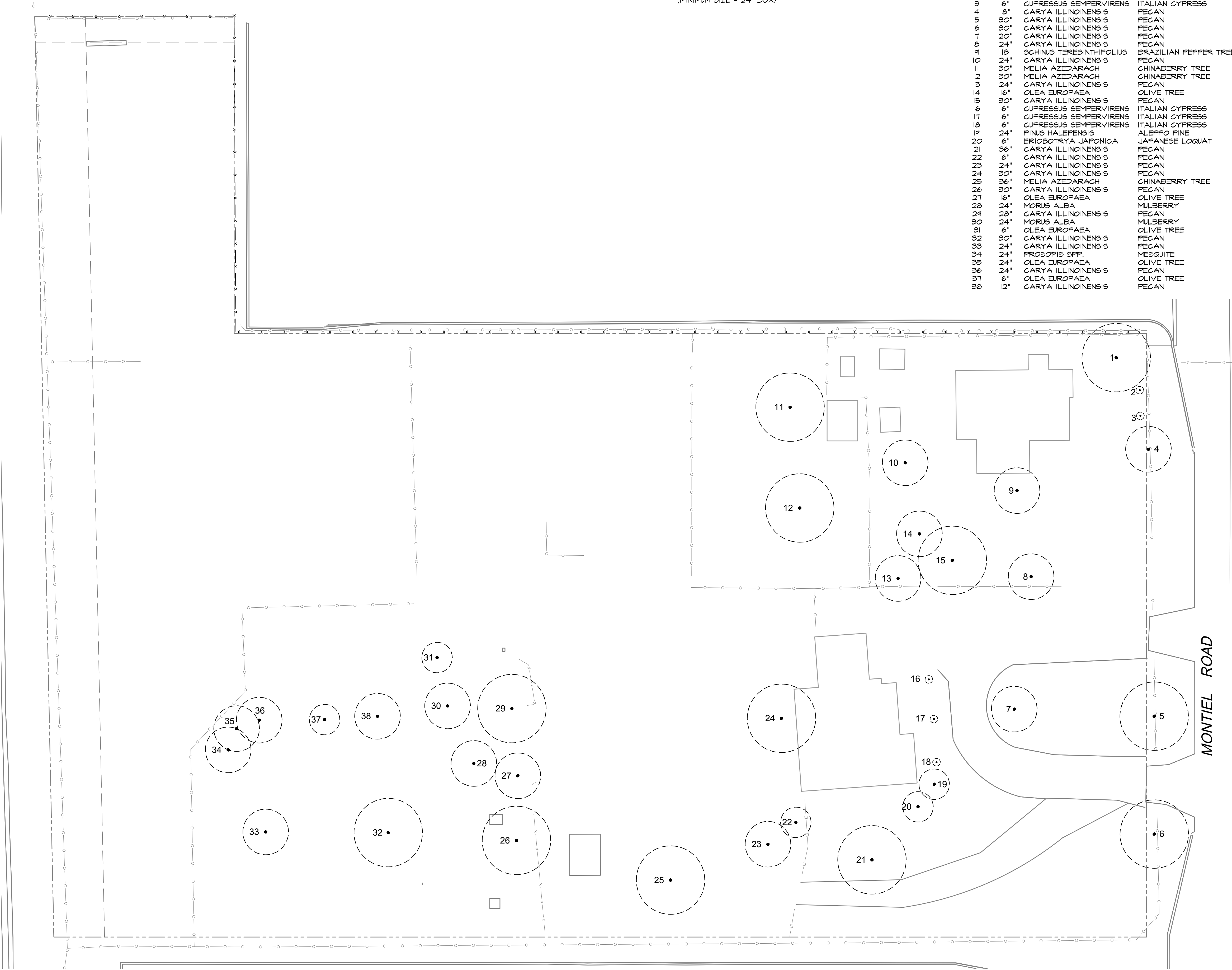


TREE MITIGATION TABLE

NUMBER OF TREES TO BE REMOVED	38
NUMBER OF PROPOSED NEW TREES (MINIMUM SIZE - 24" BOX)	66

EXISTING TREE SURVEY LEGEND

SYM.	CAL.	BOTANICAL NAME	COMMON NAME	CONDITION	STATUS
1	36"	SCHINUS MOLLE	CALIFORNIA PEPPER TREE	FAIR	REMOVE
2	6"	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	GOOD	REMOVE
3	6"	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	GOOD	REMOVE
4	18"	CARYA ILLINOINENSIS	PECAN	FAIR	REMOVE
5	30"	CARYA ILLINOINENSIS	PECAN	FAIR	REMOVE
6	30"	CARYA ILLINOINENSIS	PECAN	FAIR	REMOVE
7	20"	CARYA ILLINOINENSIS	PECAN	FAIR	REMOVE
8	24"	CARYA ILLINOINENSIS	PECAN	FAIR	REMOVE
9	18"	SCHINUS TEREBINTHIFOLIUS	BRAZILIAN PEPPER TREE	POOR	REMOVE
10	24"	CARYA ILLINOINENSIS	PECAN	POOR	REMOVE
11	30"	MELIA AZEDARACH	CHINABERRY TREE	FAIR	REMOVE
12	30"	MELIA AZEDARACH	CHINABERRY TREE	FAIR	REMOVE
13	24"	CARYA ILLINOINENSIS	PECAN	FAIR	REMOVE
14	16"	OLEA EUROPAEA	OLIVE TREE	FAIR	REMOVE
15	30"	CARYA ILLINOINENSIS	PECAN	POOR	REMOVE
16	6"	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	GOOD	REMOVE
17	6"	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	GOOD	REMOVE
18	6"	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	GOOD	REMOVE
19	24"	PINUS HALEPENSIS	ALEPPO PINE	FAIR	REMOVE
20	6"	ERIOBOTRYA JAPONICA	JAPANESE LOGUAT	GOOD	REMOVE
21	36"	CARYA ILLINOINENSIS	PECAN	FAIR	REMOVE
22	6"	CARYA ILLINOINENSIS	PECAN	FAIR	REMOVE
23	24"	CARYA ILLINOINENSIS	PECAN	FAIR	REMOVE
24	30"	CARYA ILLINOINENSIS	PECAN	GOOD	REMOVE
25	36"	MELIA AZEDARACH	CHINABERRY TREE	GOOD	REMOVE
26	30"	CARYA ILLINOINENSIS	PECAN	FAIR	REMOVE
27	16"	OLEA EUROPAEA	OLIVE TREE	FAIR	REMOVE
28	24"	MORUS ALBA	MULBERRY	GOOD	REMOVE
29	28"	CARYA ILLINOINENSIS	PECAN	GOOD	REMOVE
30	24"	MORUS ALBA	MULBERRY	GOOD	REMOVE
31	6"	OLEA EUROPAEA	OLIVE TREE	FAIR	REMOVE
32	30"	CARYA ILLINOINENSIS	PECAN	FAIR	REMOVE
33	24"	CARYA ILLINOINENSIS	PECAN	DEAD	REMOVE
34	24"	PROSOPIA SPP	MESQUITE	POOR	REMOVE
35	24"	OLEA EUROPAEA	OLIVE TREE	FAIR	REMOVE
36	24"	CARYA ILLINOINENSIS	PECAN	POOR	REMOVE
37	6"	OLEA EUROPAEA	OLIVE TREE	POOR	REMOVE
38	12"	CARYA ILLINOINENSIS	PECAN	POOR	REMOVE



41951 REMINGTON AVE, SUITE 250
TEMECULA, CALIFORNIA 92590
(TEL) 951 - 296 - 2828

www.bdg-architects.com

ARCHITECT OF RECORD

CONSULTANTS

rla 2681
HOWARD ASSOCIATES
landscape architecture
2442 second avenue
san diego ca 92101 619 718 9660

REVISIONS

APPROVAL

PROJECT PHASE

CONCEPTUAL
PLANNING SUBMITTAL

FOR

**MONTIEL OFFICE
BUILDING**

2375 and 2355 MONTIEL ROAD
SAN MARCOS, CALIFORNIA 92069

PROJECT NAME

18116

PROJECT NUMBER

Administration Building
Tree Survey

SHEET TITLE

L-3

SHEET NUMBER

1" = 20'-0"

SCALE

20 April 2020
REV 27 July 2021

DATE