

1/16"=1' 1/8"=1' 1/4"=1' 1/2"=1' 3/4"=1' 1"=1' 3"=1'  
 0 16 32 48 0 8 16 24 0 4 8 12 0 2 4 6 0 1 2 3 0

If this sheet is not 30" by 42" it is a reduced print, scale accordingly

# CONCEPTUAL PLANNING SUBMITTAL PACKAGE

# MONTIEL OFFICE BUILDING

2355 & 2375 Montiel Road, San Marcos, California 92069

**BDG**  
 BURGHARD  
 DESIGN GROUP  
 ARCHITECTS, INC.

41951 REMINGTON AVE, SUITE 250  
 TEMECULA, CALIFORNIA 92590

(TEL) 951-296-2828

[www.bdg-architects.com](http://www.bdg-architects.com)

● ARCHITECT OF RECORD

► PROFESSIONAL SEAL

● CONSULTANTS

► REVISIONS

● APPROVAL

► PROJECT PHASE

CONCEPTUAL  
 PLANNING  
 SUBMITTAL  
 FOR

MONTIEL OFFICE  
 BUILDING

2375 and 2355 MONTIEL ROAD  
 SAN MARCOS, CALIFORNIA 92069

● PROJECT NAME

18116

► PROJECT NUMBER

COVER SHEET

● SHEET TITLE

T1.0

► SHEET NUMBER

NTS

12 FEBRUARY 2019

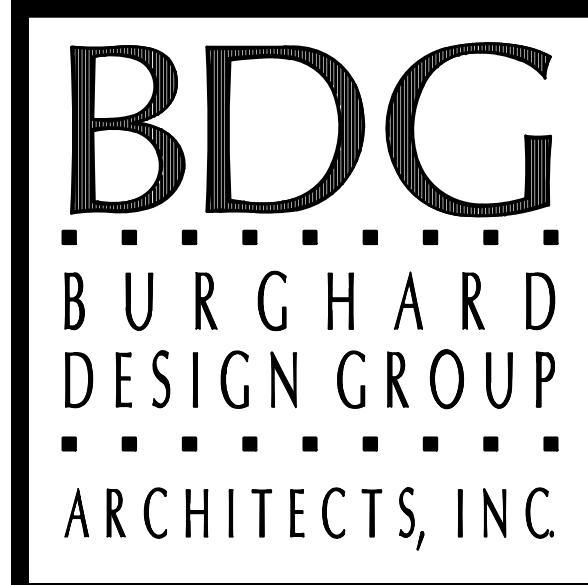
● SCALE

► DATE



1/16"=1' 1/8"=1' 1/4"=1' 1/2"=1' 3/4"=1' 1"=1' 3"=1'  
 0 16 32 48 0 8 16 24 0 4 8 12 0 2 4 6 0 2 4 0 1 2 3 0

If this sheet is not 30"  
 by 42" it is a reduced  
 print, scale accordingly



41951 REMINGTON AVE, SUITE 250  
 TEMECULA, CALIFORNIA 92590

(TEL) 951-296-2828

[www.bdg-architects.com](http://www.bdg-architects.com)

● ARCHITECT OF RECORD

► PROFESSIONAL SEAL

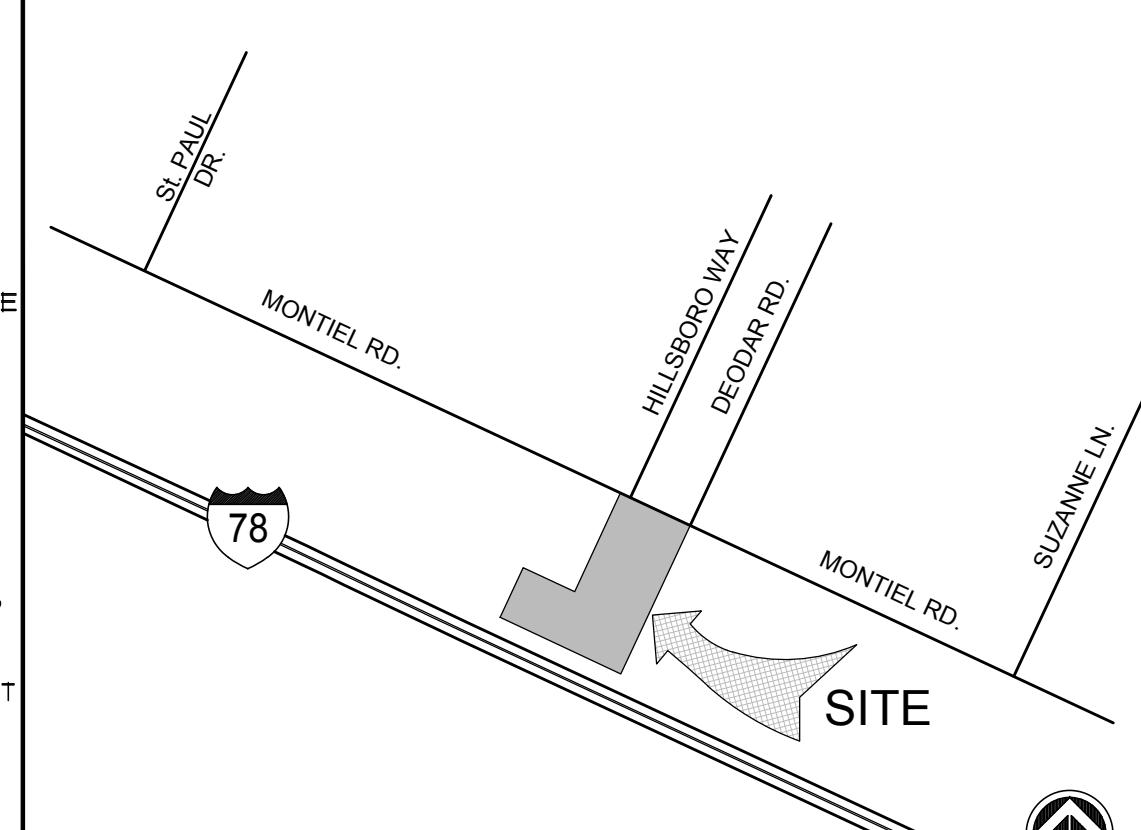
# CONCEPTUAL PLANNING SUBMITTAL PACKAGE

# MONTIEL OFFICE

# BUILDING

2355 & 2375 Montiel Road  
 San Marcos, California 92069

DEFERRED APPROVAL	LEGAL DESCRIPTION	BUILDING & SITE DATA	PROJECT DIRECTORY	SHEET INDEX	
FIRE SPRINKLER: AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH 2016 CBC UNDER SEPARATE PERMIT	PROJECT NAME: MONTIEL OFFICE BUILDING	TOTAL LOT AREA: 112,881.40 SF. = 2.5914 ACRES	OWNER	T1.0 COVER SHEET T1.1 TITLE SHEET / PROJECT DATA SHEET	
FIRE ALARM: FIRE ALARM SYSTEM OR MONITORING SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH 2016 CBC UNDER SEPARATE PERMIT	PROJECT ADDRESS: 2355 & 2375 MONTIEL ROAD SAN MARCOS, CALIFORNIA 92069	(E) ZONING: "COMMERCIAL" ZONE WITH NEW SPECIFIC PLAN PER CHAPTER 20220 OF TITLE 20 OF SMCC/ZONING ORDINANCE	GENERAL PLAN: SPA - COMMERCIAL	CIVIL DRAWINGS	
BUILDING SIGNAGE: BUILDING SIGNAGE TO BE SUBMITTED UNDER A SEPARATE PERMIT BY THE BUILDING OWNER	ACCESSOR'S PARCEL #1 228-370-20  LEGAL DESCRIPTION THE SOUTHEASTERLY 100 FEET OF THE NORTHEASTERLY 225 FEET OF THE NORTHEASTERLY 180 FEET OF LOT 16 IN BLOCK 1 OF THE RANCHO LOS VALLECITOS DE SAN MARCOS, IN THE CITY OF SAN MARCOS, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THEREOF NO. 206, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 21, 1895	GENERAL PLAN: SPA - COMMERCIAL	ARCHITECT	C-1 TITLE SHEET C-2 DEMO & EROSION CONTROL PLAN C-3 LAYOUT PLAN C-4 GRADING PLAN (1 OF 5) C-5 GRADING PLAN (2 OF 5) C-6 GRADING PLAN (3 OF 5) C-7 GRADING PLAN (4 OF 5) C-8 GRADING PLAN (5 OF 5) C-9 TRIBUTARY AREA PLAN C-10 SECTIONS C-11 SECTIONS C-12 STREET PLAN	
	ACCESSOR'S PARCEL #2 228-370-39  LEGAL DESCRIPTION ALL OF LOT 16 IN BLOCK 1 OF THE RANCHO LOS VALLECITOS DE SAN MARCOS, IN THE CITY OF SAN MARCOS, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THEREOF NO. 206, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 21, 1895 EXCEPTING THEREFROM THE NORTHEASTERLY 125.00 FEET OF THE NORTHEASTERLY 36.00 FEET  ALSO EXCEPTING THEREFROM THE SOUTHEASTERLY 100.00 FEET OF THE NORTHEASTERLY 225.00 FEET OF THE NORTHEASTERLY 180 FEET  ALSO EXCEPTING THEREFROM THAT PORTION LYING SOUTHWESTERLY OF THE NORTHEASTERLY LINE OF THAT PORTION OF CALIFORNIA STATE HIGHWAY XI-SAN DIEGO 196-B AS DESCRIBED IN DEED TO THE STATE OF CALIFORNIA, RECORDED JUNE 20, 1962 AS INSTRUMENT NO. 105013 OF OFFICIAL RECORDS  ALSO EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE STATE OF CALIFORNIA, RECORDED NOVEMBER 25, 1970 AS INSTRUMENT NO. 215558 OF OFFICIAL RECORDS, LYING SOUTHWESTERLY OF THE FOLLOWING DESCRIBED LINE:  BEGINNING AT A POINT OF THE NORTHEASTERLY LINE OF SAID LOT 16, DISTANT THEREON SOUTH 21°31'52" WEST 438.10 FEET FROM THE NORTHERLY CORNER OF SAID LOT 16; THENCE (1) SOUTH 63°28'47" EAST, 363.09 FEET TO THE SOUTHEASTERLY LINE OF SAID LOT 16, DISTANT THEREON SOUTH 21°34'03" WEST, 431.16 FEET FROM THE EASTERLY CORNER OF SAID LOT 16, EXCEPTING THEREFROM THAT PORTION DESCRIBED IN DEED TO THE STATE OF CALIFORNIA RECORDED JUNE 20, 1962 AS INSTRUMENT NO. 105013 OF OFFICIAL RECORDS  THE ABOVE DESCRIBED PARCEL IS THE SAME LAND DESCRIBED IN CHICAGO TITLE COMPANY, TITLE COMMITMENT NO. 00086585-004-EMI-CFU, BEARING AN EFFECTIVE DATE OF FEBRUARY 23, 2018 AT 1:30 AM	(E) ZONING: "COMMERCIAL" ZONE WITH NEW SPECIFIC PLAN PER CHAPTER 20220 OF TITLE 20 OF SMCC/ZONING ORDINANCE  GENERAL PLAN: SPA - COMMERCIAL  OCCUPANCY GROUP: OFFICE (CBC-SECTION 304) GROUP "B" OCCUPANCY GROUP: CAFE (CBC-SECTION 303.3) GROUP "A-2" NOTE: A 1-HR FIRE SEPARATION BETWEEN GROUP "B" AND "A-2"  CONSTRUCTION TYPE: CAFE (CBC-TABLE 601) "V-B" FIRE PROTECTION: FULLY SPRINKLERED  NUMBER OF STORIES: (CBC 2016, TABLE 504.4) ALLOWED: 3 ACTUAL: 2  BUILDING HEIGHT: (CBC 2016, TABLE 504.3) ALLOWED: 60 FEET ACTUAL TOP OF BUILDING: 35'-6" FEET  FLOOR AREA INCREASE: (CBC 2016, TABLE 506.2) TYPE V-B ALLOWABLE FLOOR AREA W/SPRINKLERS 27,000 SF FLOOR AREA INCREASES BASED ON FRONTRAGE 13,500 SF TOTAL ALLOWABLE FLOOR AREA 40,500 SF FLOOR AREA INCREASE IS BASED ON 2016 CBC SECTION 506.3 AND EQUATION 5-4 AND 5-5  BUILDING SETBACKS: FRONT SETBACK 252'-2" REAR SETBACK 73'-6" EAST SIDEYARD SETBACK 10'-0" WEST SIDEYARD SETBACK 54'-2"  BUILDING FLOOR AREA: FIRST FLOOR OFFICE, CIRCULATION AND CORE AREA 13,879 SQ. FT. FIRST FLOOR CAFE AREA 1,816 SQ. FT. SECOND FLOOR AREA 17,214 SQ. FT. TOTAL: 32,903 SQ. FT.  LOT COVERAGE TABULATION PARCEL 1 AND 2 = 112,881 SQ. FT. = 100.00% GROUND FLOOR BUILDING AREA = 15,755 SQ. FT. = 13.96% DRIVE AISLES / PARKING / WALKWAYS = 15,854 SQ. FT. = 67.19% LANDSCAPE AREA = 2,121 SQ. FT. = 18.85% TOTAL 112,881 SQ. FT. = 100.00%  MASTER PLAN PARKING TABULATION PARKING REQUIRED FOR OFFICE USE AT 4/1000 BASED ON 31,093 / 350 SF 124 STALLS PARKING REQUIRED FOR CAFE USE AT 1/100 BASED ON 1816 / 100 SF PLUS 3 EMPLOYEE SPACES 22 STALLS TOTAL PARKING REQUIRED 146 STALLS  STANDARD PARKING STALLS 139 STALLS HANDICAP PARKING REQUIRED (2 VAN ACCESSIBLE) 8 STALLS "ELECTRIC VEHICLE PARKING SPACES PROVIDED" AND NOT "REQUIRED" 6 STALLS CAR / VAN POOL VEHICLE PARKING REQUIRED, NOT ADDITIONAL SPACES (10% OF TOTAL PARKING) 6 STALLS TOTAL PARKING PROVIDED 171 STALLS 2 - 30' x 12' LOADING / UNLOADING AREA PROVIDED 1 - 9 BIKE RACK PROVIDED	OWNER NORTH COAST CHURCH 1451 MONTIEL ROAD ESCONDIDO, CALIFORNIA 92026 (760) 701-6524 MR. JAMIE LOONEY  ARCHITECT BURGHARD DESIGN GROUP ARCHITECTS, INC. 41951 REMINGTON AVENUE, SUITE 250 TEMECULA, CALIFORNIA 92590 (951) 296-2828 MR. AL BURGHARD  CIVIL ENGINEER PARTNER ENGINEERING AND SCIENCE, INC. 1761 E. GARRY AVENUE SANTA ANA, CALIFORNIA 92705 (800) 419-4923 MR. ALI AZIMI  LANDSCAPE ARCHITECT HOWARD ASSOCIATES LANDSCAPE ARCHITECTURE 2442 SECOND AVENUE SAN DIEGO, CALIFORNIA 92101 (619) 718-3660 MS. JULIE HOWARD  PROJECT DESCRIPTION  THIS 2.5914 ACRE PROPERTY IS COMPRISED OF TWO PARCELS, ONE MEASURING 16,214 SF LOCATED AT THE NORTHWEST CORNER, THE OTHER MEASURING 91,323 SF. BOTH PARCELS CURRENTLY HAVE ONE SINGLE FAMILY NON-NON CONFORMING STRUCTURE DATING BACK SEVERAL DECADES. THERE IS ROUGHLY A 21 FOOT GRADE CHANGE FROM THE NW CORNER SLOPING DOWN TOWARD THE SOUTH-EAST CORNER. BOTH EXISTING RESIDENTIAL STRUCTURES WILL BE DEMOLISHED AND REPLACED WITH A NEW 32,903 SF 2-STORY OFFICE BUILDING ON THE SOUTHERN PORTION OF THE SITE. A ZONE CHANGE AND SPECIFIC PLAN WILL BE REQUIRED TO BE CONSISTENT WITH "COMMERCIAL" ZONE OF CHAPTER 20220 OF TITLE 20 OF THE SMCC/ZONING ORDINANCE.  THE NEW BUILDING WILL BE DEVELOPED AS A CLASS "B" OFFICE BUILDING DESIGNED TO ATTRACT A VARIETY OF PROFESSIONAL TENANTS. IN ADDITION TO A FLEXIBLE LEASE SPACE CONFIGURATION, A PORTION OF THE GROUND FLOOR HAS BEEN CARVED OUT OF THE RECTANGULAR FOOTPRINT TO ACCOMMODATE A COMPLIMENTARY TENANT SUCH AS A COFFEE SHOP WHO WOULD WELCOME OUTDOOR SPACE AS AN EXTENSION OF THE INTERIOR. THE ENTIRE UPPER FLOOR IS DEDICATED TO LEASE SPACE PROVIDING A CHOICE OF TENANT SPACE SIZES FOR PROFESSIONAL TENANTS. THE COMMON AREA IS ALSO PROVIDED WITH A SHARED BALCONY/DECK OVER THE ENTRY ON THE NORTH SIDE OF THE BUILDING.  THE EXTERIOR OF THE BUILDING IS DESIGNED IN A MORE PROGRESSIVE STYLE OF ARCHITECTURE REFLECTIVE OF CURRENT TRENDS. THE EXTENSIVE USE OF GLAZING AND TWO DIFFERENT TYPES OF PRE-FINISHED METAL PANELS OR EXPOSED CONCRETE FINISH WILL PROVIDE A DURABLE BUILDING SKIN, LONGEVITY AND MINIMAL MAINTENANCE.  THE DEVELOPMENT OBJECTIVES ARE AS LISTED BELOW: IT IS OUR INTENTION TO DEVELOP THIS SITE IN A SINGLE PHASE. THE FIRST PART OF THE PROJECT WILL BE THE CIVIL PACKAGE WHICH WILL BE SUBMITTED SEPARATELY FROM THE BUILDING PACKAGE. THE CIVIL PACKAGE WILL INCLUDE NOT ONLY FINAL ENGINEERING FOR THE ENTIRE SITE BUT ALSO OFF-SITE STREET IMPROVEMENTS AND MODIFICATIONS. THIS WOULD ALLOW US TO START GRADING SEVERAL MONTHS EARLIER, INSTALL INFRASTRUCTURE, CURBING, GUTTERS, PAVING AND LIGHTS AT THE NORTHERN HALF OF THE SITE INCLUDING CONNECTIVITY WITH THE ADJACENT PARCEL WHICH COULD BE USED FOR OVERFLOW PARKING FOR SUNDAY SERVICES BY CHURCH ATTENDEES.  THE EXISTING WOOD FENCE ON THE SOUTHERN PORTION PROPERTY LINE AND ALONG THE EAST AND WEST PARCELS WILL BE REMOVED AND PROVIDED WITH STAIRS AND RAMPS TO FACILITATE PEDESTRIAN FLOW BETWEEN THE OFFICE BUILDING AND THE EXISTING CHURCH. THE LOWER FLOOR OF THE OFFICE BUILDING WILL BE UTILIZED FOR CHURCH ADMINISTRATIVE FUNCTIONS WHILE THE ENTIRE UPPER FLOOR WILL BE LEASED TO OTHER PROFESSIONAL TENANTS. A COFFEE SHOP (SIMILAR TO STARBUCKS) WILL ALSO BE PROVIDED FOR OFFICE TENANTS AND SUNDAY WORSHIP SERVICE. THERE WILL BE NO COOKING OR FOOD PREP IN THE COFFEE SHOP AS ALL GOODS WILL BE PRE-PACKAGED ITEMS.	PROJECT DIRECTORY	SHEET INDEX
	GOVERNING CODES			● CONSULTANTS	
	THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR COMPLYING WITH ALL GOVERNING BUILDING CODES, INCLUDING, BUT NOT LIMITED TO:  2016 CALIFORNIA BUILDING CODE (CBC) 2016 CALIFORNIA MECHANICAL CODE (CMC) 2016 CALIFORNIA PLUMBING CODE (CPC) 2016 CALIFORNIA ELECTRICAL CODE (CEC) 2016 CALIFORNIA FIRE CODE (CFC) 2016 CALIFORNIA GREEN STANDARDS BUILDING CODE (GSCB) 2016 CALIFORNIA ENERGY EFFICIENCY STANDARDS CURRENT CITY OF SAN MARCOS MUNICIPAL CODE		● REVISIONS		
				● APPROVAL	
				● PROJECT PHASE	
				CONCEPTUAL PLANNING SUBMITTAL FOR MONTIEL OFFICE BUILDING	
				● PROJECT NAME 18116	
				● PROJECT NUMBER	
				TITLE SHEET	
				● SHEET TITLE T1.1	
				● SHEET NUMBER	
				NTS 12 FEBRUARY 2019	
				● SCALE DATE	

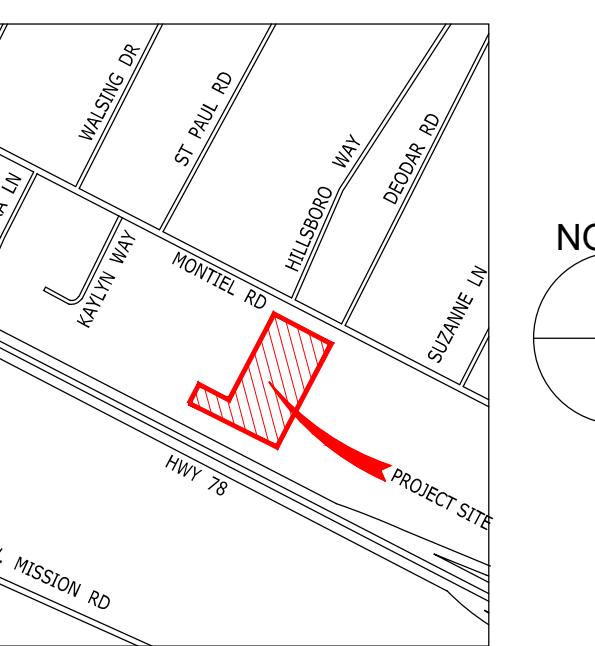


## CONSTRUCTION NOTES

#	ITEM	STD PLAN
1	SAWCUT EXISTING PAVEMENT	SDRSD G-01
2	CONCRETE CURB	SDRSD G-02
3	CONCRETE CURB & GUTTER	
4	ASPHALT CONCRETE PAVEMENT	
5	PORTLAND CEMENT CONCRETE PAVEMENT	
6	CONCRETE SIDEWALK	SDRSD G-07
7	CONCRETE DRIVEWAY	SDRSD G-14E
8	CONCRETE TIRE STOP	
9	LANDSCAPE	
10	INFILTRATION BASIN	
11	DETECTABLE WARNING SURFACE	
12	THERMOPLASTIC WHITE PARKING STALL	
13	THERMOPLASTIC ADA PARKING SYMBOL	
14	THERMOPLASTIC BLUE CROSS HATCH	
15	THERMOPLASTIC WHITE CROSS HATCH	
16	6" ROUND CONCRETE FILLED STEEL BOLLARD	SDRSD W-16
17	CONCRETE GUTTER	
18	ACCESS RAMP	
19	RIP RAP ENERGY DISSIPATOR	SDRSD D-40
20	MANHOLE	SDRSD S-17
21	18" X 18" CATCH BASIN	
22	36"X36" CATCH BASIN	
23	TREE WELL	
24	BIOFILTRATION WITH UNDERDRAIN	
25	MIN. 6" DIA. PERFORATED PIPE	
26	ELECTRICAL TRANSFORMER PAD	
27	FIRE HYDRANT	SDRSD WF-01

## CITY OF SAN MARCOS

### PRELIMINARY GRADING PLANS FOR 2355 AND 2375 MONTIEL ROAD



VICINITY MAP

N.T.S.

#### SITE ADDRESS AND ASSESSOR PARCEL NUMBERS

2355 & 2375 MONTIEL ROAD  
SAN MARCOS, CA 92069  
ASSESSOR PARCEL NO(S): 228-370-20-00 & 228-370-39-00

#### OWNER

TOMMY VARGAS AND PETER VARGAS  
10173 VIA MARMOL  
ESCONDIDO, CA 92026  
TELEPHONE NO.

DATE: \_\_\_\_\_

#### STORM WATER SUMMARY

WDID: N/A  
PROJECT AREA:  
DISTURBED AREA:  
IMPERVIOUS AREA:  
STORM WATER DEVELOPMENT PROJECT TYPE: PRIORITY  
CITY BMP ID NO: XX THRU XX  
FACILITY TYPE: COMMERCIAL  
MAINTENANCE AGREEMENT DOC #:

#### DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THIS PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS. I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN MARCOS IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME AS ENGINEER OF WORK OF MY RESPONSIBILITIES FOR THE PROJECT DESIGN.

DATE: \_\_\_\_\_

#### GEOTECHNICAL ENGINEER CERTIFICATE

THESE PLANS HAVE BEEN REVIEWED BY THE UNDERSIGNED RELATIVE TO GEOTECHNICAL ASPECTS OF THE PLANS AND HAVE BEEN FOUND TO BE IN CONFORMANCE WITH INTENTIONS OF THE FINDINGS AND RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT BY MATTHEW MARCUS (C-81591) DATED OCTOBER 08, 2018.

DATE: \_\_\_\_\_

#### SOURCE OF TOPO

FIELD SURVEY CONDUCTED BY PARTNER ENGINEERING AND SCIENCE  
ON MAY 20, 2018.

#### HYDROLOGY/HYDRAULIC REPORT

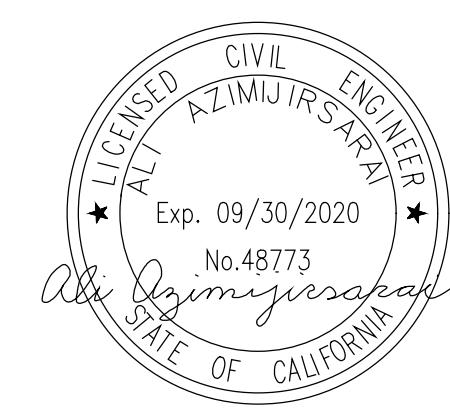
THE HYDROLOGY/ HYDRAULIC REPORT WAS PREPARED BY  
PARTNER ENGINEERING AND SCIENCE (JANUARY 2019)

#### BASIS OF BEARING

THE BEARINGS SHOWN HEREON ARE BASED ON THE NORTHEASTERLY  
RIGHT-OF-WAY LINE OF MONTIEL ROAD SHOWN AS HAVING A BEARING  
OF N62° 15' 00"E ON THE MAP OF RANCHO LOS VALLECITOS DE SAN  
MARCOS, ACCORDING TO MAP THEREOF NO. 806, FILED IN THE OFFICE  
OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

#### LEGEND

ITEM	QTY	STD DWG	SYMBOL
PROPERTY LINE			— — R — —
RIGHT OF WAY LINE			R/W
AC PAVING (3" AC/8" CL 2 BASE)			██████████
REMOVE EXISTING PAVEMENT (REPLACE WITH 3" AC/CL 2 BASE)			██████████
PROPOSED CURB AND GUTTER	XXX LF	SDRSD G-2	— — — — —
PROPOSED CONCRETE SIDEWALK	XXX SF	G-7 & G-9	— — — — —
PROPOSED DRIVEWAY APPROACH	XXX SF	G-14	— — — — —
PROPOSED PED. RAMP	XX EA	SDRSD G-27	△△
6" DIP WATERLINE			— — W — —
FIRE HYDRANT	XX EA	VWD W-4 & W-5	●●
STORM DRAIN PIPE			— — — — —
STORM DRAIN TRENCH	XXXX SF	SDRSD D-60	██████████
TYPE 'A-4' CLEANOUT	XX EA	SDRSD D-9	○
TYPE 'A' INLET	XX EA	SDRSD D-1	○
TYPE 'B' INLET	XX EA	SDRSD D-2	○
TYPE 'B-1' INLET	XX EA	SDRSD D-2	○
WALL			— — — — —
EXISTING CURB AND GUTTER			— — — — —
EXISTING BERM			— — — — —
EXISTING WALL			— — — — —
EXISTING FENCE			— — — — —
EXISTING PED. RAMP			△△
EXISTING STREET LIGHT			○
EXISTING WATER			— — — — —
EXISTING FIRE HYDRANT			●●
EXISTING SEWER			— — — — —
EXISTING GAS			— — — — —
EXISTING TELECOMMUNICATIONS			— — — — —
EXISTING ELECTRICAL			— — — — —
EXISTING CABLE TV			— — — — —



#### SHEET INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	DEMOLITION PLAN & EROSION CONTROL
3	LAYOUT PLAN
4	GRADING PLAN (1 OF 5)
5	GRADING PLAN (2 OF 5)
6	GRADING PLAN (3 OF 5)
7	GRADING PLAN (4 OF 5)
8	GRADING PLAN (5 OF 5)
9	TRIBUTARY AREA PLAN
10	SECTIONS
11	SECTIONS
12	STREET PLAN

**PRELIMINARY PLAN  
BUILDING AND PLANNING COMMISSION  
APPROVAL ONLY  
NOT FOR CONSTRUCTION**

**PARTNER**  
Engineering and Science, Inc.<sup>®</sup>

INSPECTED AND RECOMMENDED  
FOR ACCEPTANCE

Public Works Inspector \_\_\_\_\_ Date \_\_\_\_\_

GRADING PLANS FOR: \_\_\_\_\_

IPXX-XXXX  
PLANNING PROJECT NO.  
GP19-XXXX  
SDPXX-XXXX  
CITY OF SAN MARCOS  
2355 AND 2375 MONTIEL RD.  
SAN MARCOS, CA 92069

City Drawing No.

GP19-XXXX

Sheet 1 of 12

#### GRADING NOTES

- Call the assigned City of San Marcos Public Works Inspector 24-hours before commencement of work.
- Imported material shall be obtained from a legal site.
- All cut and fill slopes shall be planted with a mixture of trees, shrubs, and ground cover to control erosion. Slope landscaping shall be installed as soon as practical. Irrigation systems are required and shall be installed for perpetual maintenance of the plant life used for slope stabilization in accordance with Section 17.32.170 of the City's Grading Ordinance.
- Precise locations/elevations of the existing underground utilities are not known. The Contractor shall be solely responsible for making sufficient explorations to locate all utilities and structures whether shown on the plans or not and to protect them from any possible damage prior to and during construction. The expense of repair or replacement of said utilities and structures shall be borne by the Contractor. Contractor shall notify the Engineer-of-Work of any potential conflicts sufficiently in time for construction changes to be made and approved.
- The Contractor shall contact the Underground Service Alert at 1-800-422-4133 at least 48 hours prior to excavating to verify the locations of underground facilities of the following utilities:

Pacific Bell/SBC  
San Diego Gas & Electric/Sempra  
Vallecitos Water District  
Cox Communications or Adelphia Communications

A Dig Alert Identification Number must be issued before a "Permit to Excavate" is valid per Government Code section 4216/4217.

Approval of these plans by the City does not authorize any work or grading to be performed until the property owner's permission is obtained and a valid grading permit has been issued.

All operations conducted on the premises, including the warming up, repair, arrival, departure or running of any equipment shall be limited to the hours of 7:00 a.m. to 4:30 p.m., Monday through Friday. No work shall be performed on the premises on Saturday, Sunday, or holidays.

All major slopes shall be shaped and trimmed as shown on the plans and rounded into existing slopes to produce a contoured transition from cut or fill faces to natural ground and abutting cut or fill slopes. All stones, roots or other waste matter exposed on excavation or embankment slopes shall be removed and disposed of off-site in a legal manner by the Contractor.

Notwithstanding the minimum standards set forth in the City's Grading Ordinance and the approval of these grading plans, the permittee is responsible for the prevention of damage to adjacent property. No person shall excavate on land so close to the property line as to endanger any system, or any other public or private property without supporting and protecting such property from settling, cracking, erosion, silting, scour or other damage which might result from the grading described on this plan. The City will hold the permittee responsible for correction of non-dedicated improvements, which cause damage to adjacent property.

The Engineer-of-Work shall be notified when construction commences.

Contractor shall be responsible for all construction/grading of slopes, pads, street grades and infrastructure improvements according to these plans. The Engineer-of-Work shall be contacted when changes or additions made during the progress of construction or if there is a misunderstanding of these plans or field stakes and an interpretation is needed. Certification from the registered civil engineer stating that the grading has been completed per the approved plan, and the compaction report from the geotechnical engineer on any required fill areas shall be provided prior to building permits being issued.

Minimum 90% compaction is required in all on-site fill areas with a minimum of 95% compaction six inches (6") below finished subgrade in a public street.

All trench excavation and backfill in the public right-of-way shall conform to the requirements of the City's Street Excavation Ordinance No. 2003-1196 subject to approval from the Public Works Inspector.

Contractor shall be responsible for protecting any monumentation and/or benchmarks. Any monumentation and/or benchmarks, which are disturbed or destroyed by construction, shall be replaced at the Contractor's expense. Such points shall be referenced and replaced with appropriate monumentation by a licensed land surveyor or a registered civil engineer authorized to practice land surveying. A Corner Record or Record Survey, as appropriate, shall be filed by the licensed land surveyor or registered civil engineer as required by the Land Surveyor's Act.

Dust control measures, such as the periodic wetting down of the bare and exposed areas, shall be utilized at all times during construction to the satisfaction of the Public Works and/or Building Inspectors.

All work shown on these plans to be completed in accordance with City Grading Ordinance Chapter 17.32.

All grading shall be supervised by an individual appropriately licensed under the Business and Professions Code.

The Contractor is advised that he is responsible for maintaining the adjoining public streets and rights-of-way in a clean and dust free condition within the limitation of the City Municipal Code Section 14.15.030 "Illicit Discharges Prohibited." This section of the Code prohibits the "washing down" of a street into a public storm drain. The continuous use of street sweeping machines may be advisable.

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including the safety of all persons and property. This requirement shall apply continually and not be limited to normal working hours. The Contractor shall defend, indemnify and hold the owner, the engineer and the City harmless from any and all liability, real or alleged, in connection with the performance of work on this project excepting for liability arising from the sole negligence of the owner, engineer or City.

A permit must be obtained from the San Marcos Fire Department prior to any blasting. Separate City permits are required prior to any construction, excavation, storage of materials or any other encroachments.

A construction, excavation or encroachment permit will be required for any work within the City right-of-way.

Handicapped parking space(s) shall have a maximum slope not exceeding 2% in any direction.

Fire Hydrants shall be as follows:

- Residential "single family detached dwellings" Jones 3700 or Clow 2050, one 4" and one 2 1/2" outlets.
- Multi-Residential, commercial & Industrial Jones 3775 or Clow 2065, two 4" and one 2 1/2" outlets.

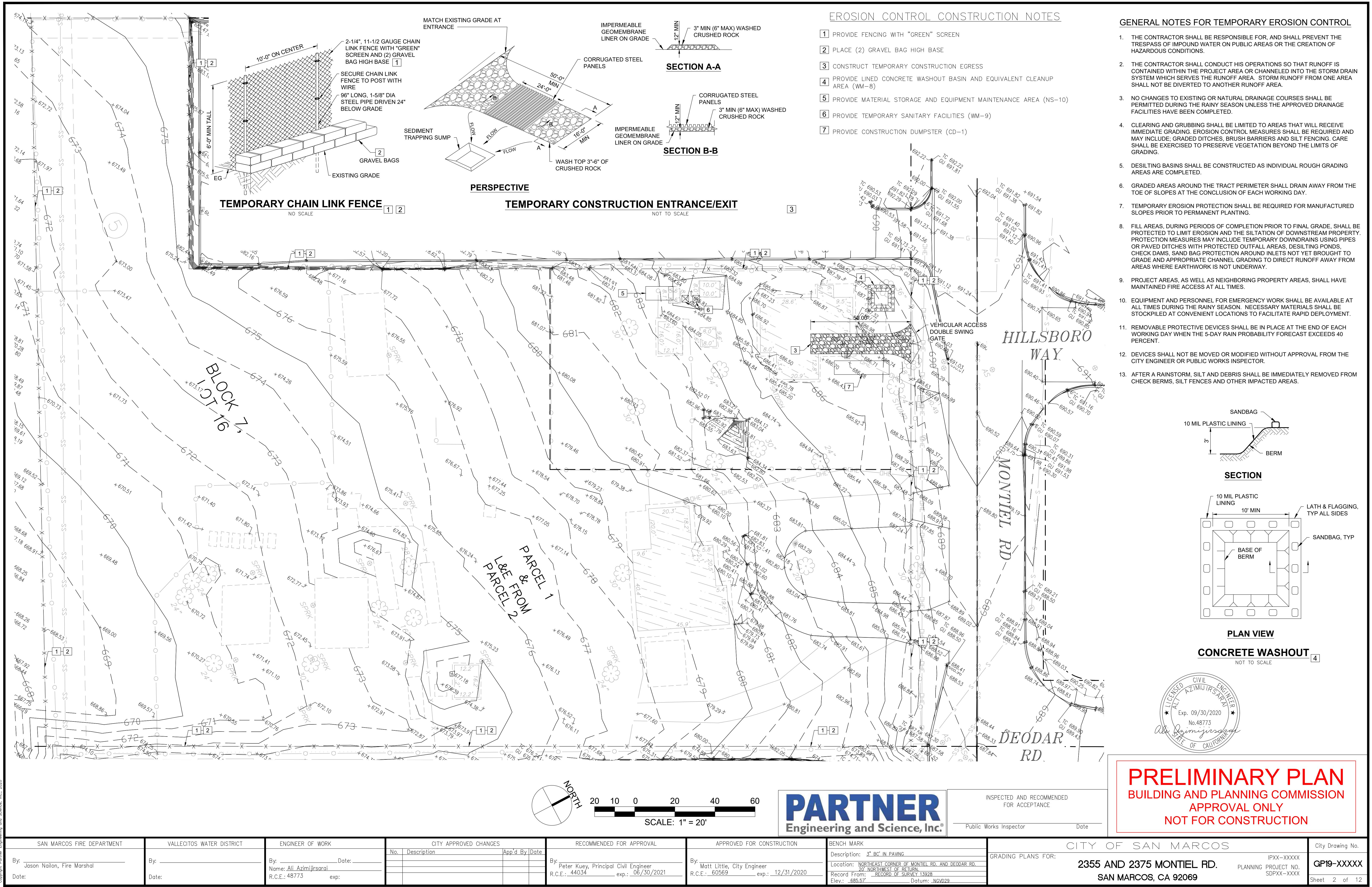
#### PRIVATE WATER/SEWER NOTES

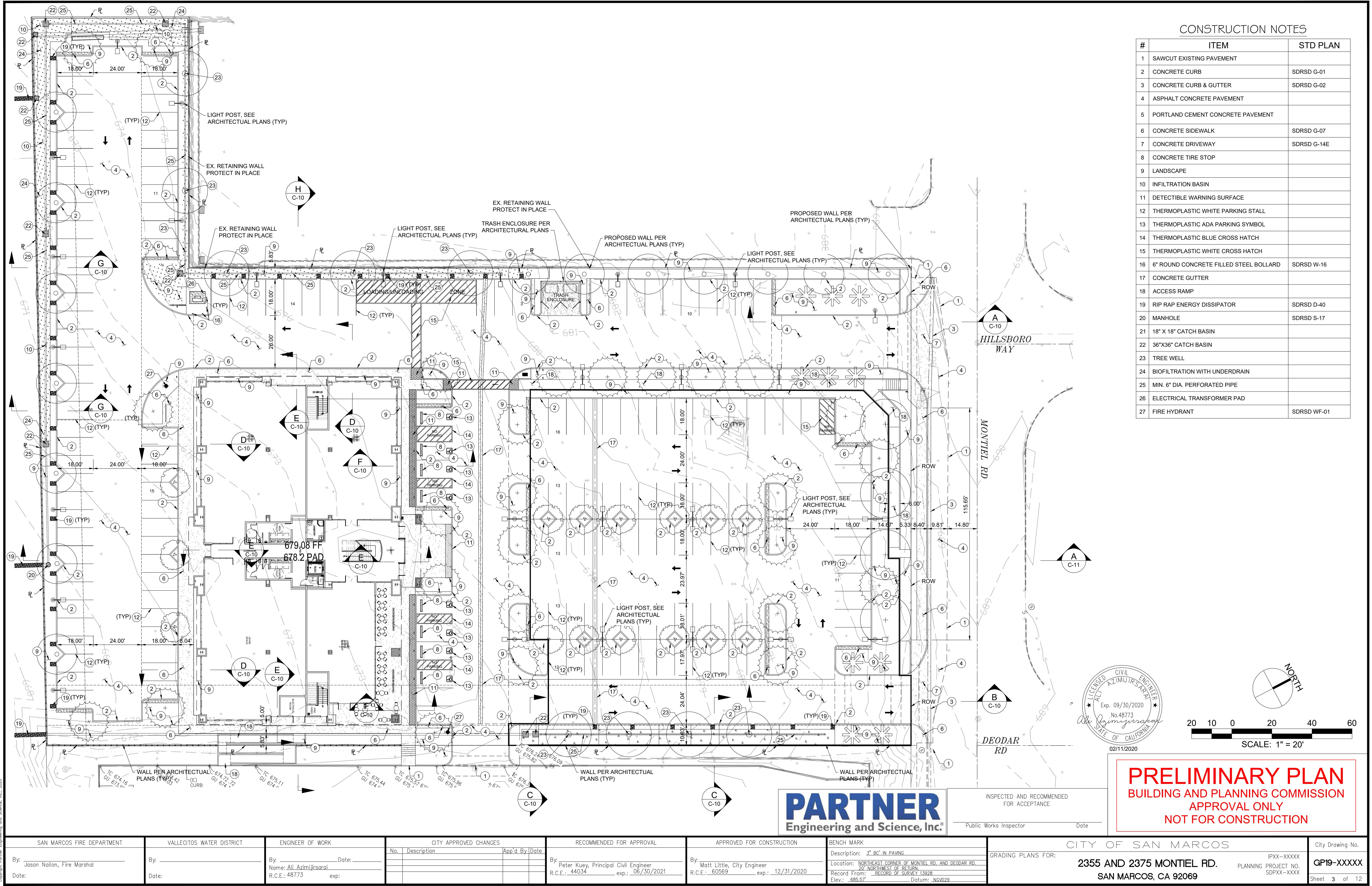
- Private on-site water lines are permitted and inspected under separate permit and are shown on these plans for informational purposes only.
- Private on-site fire lines are permitted and inspected under separate permit and are shown on these plans for informational purposes only.
- Trenching and backfill operation for private fire, water, and sewer lines shall be observed by the Public Works Inspection for general conformance with the geotechnical specifications. Trenches shall also be subject to inspection by the permitting department for additional requirements.

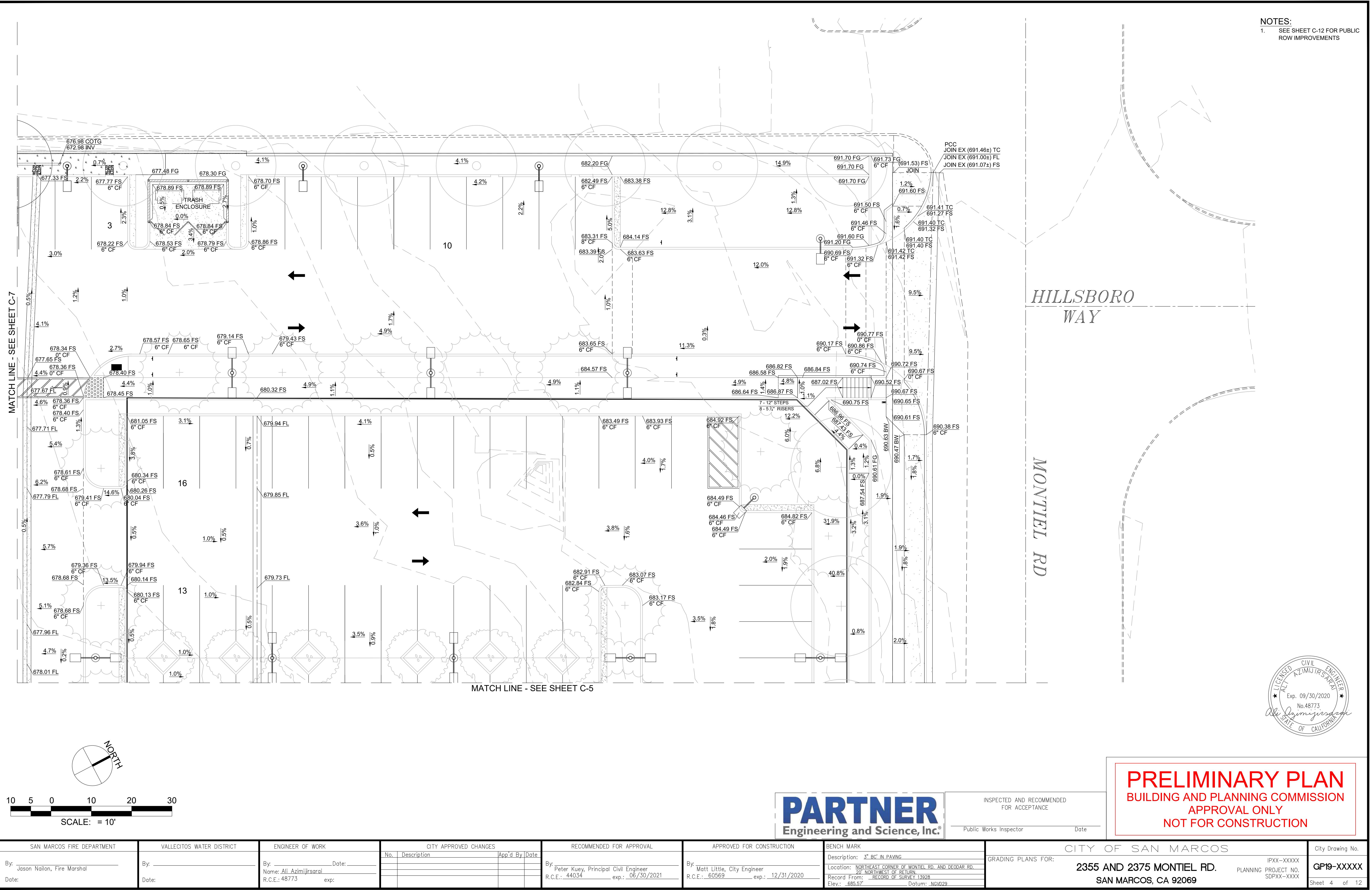
#### General Notes:

- Contractor will be responsible for the repair of all damages incurred as a direct result of construction activities. Prior to the final acceptance and approval of improvements shown on these plans all repair and rehabilitation will be done to facilities disrupted by construction activities. All repair will be in conformance to the City of San Marcos Standards.

\_\_\_\_\_







**NOTES:**

- SEE SHEET C-12 FOR PUBLIC ROW IMPROVEMENTS

# HILLSBORO WAY

# MONTIEL RD

A circular stamp with the following text:  
CIVIL ENGINEER  
AZIMIJIR SARAI  
LICENCED ALTIMI  
CALIFORNIA STATE OF  
No. 48773  
Exp. 09/30/2020  
Azimijir Sarai

# **PRELIMINARY PLAN**

## **BUILDING AND PLANNING COMMISSION**

### **APPROVAL ONLY**

### **NOT FOR CONSTRUCTION**

# PARTNER

Engineering and Science, Inc.®

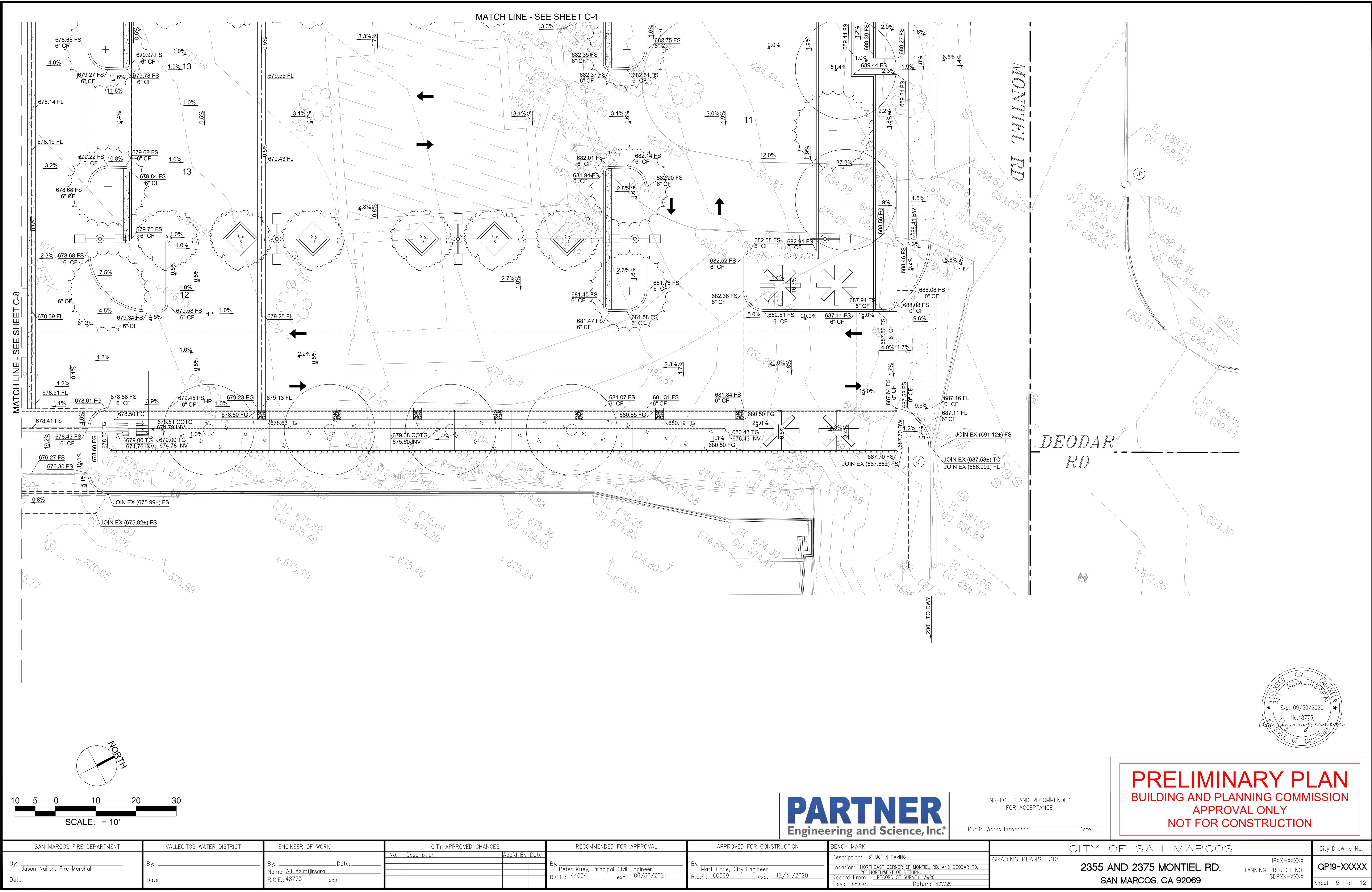
INSPECTED AND RECOMMENDED  
FOR ACCEPTANCE

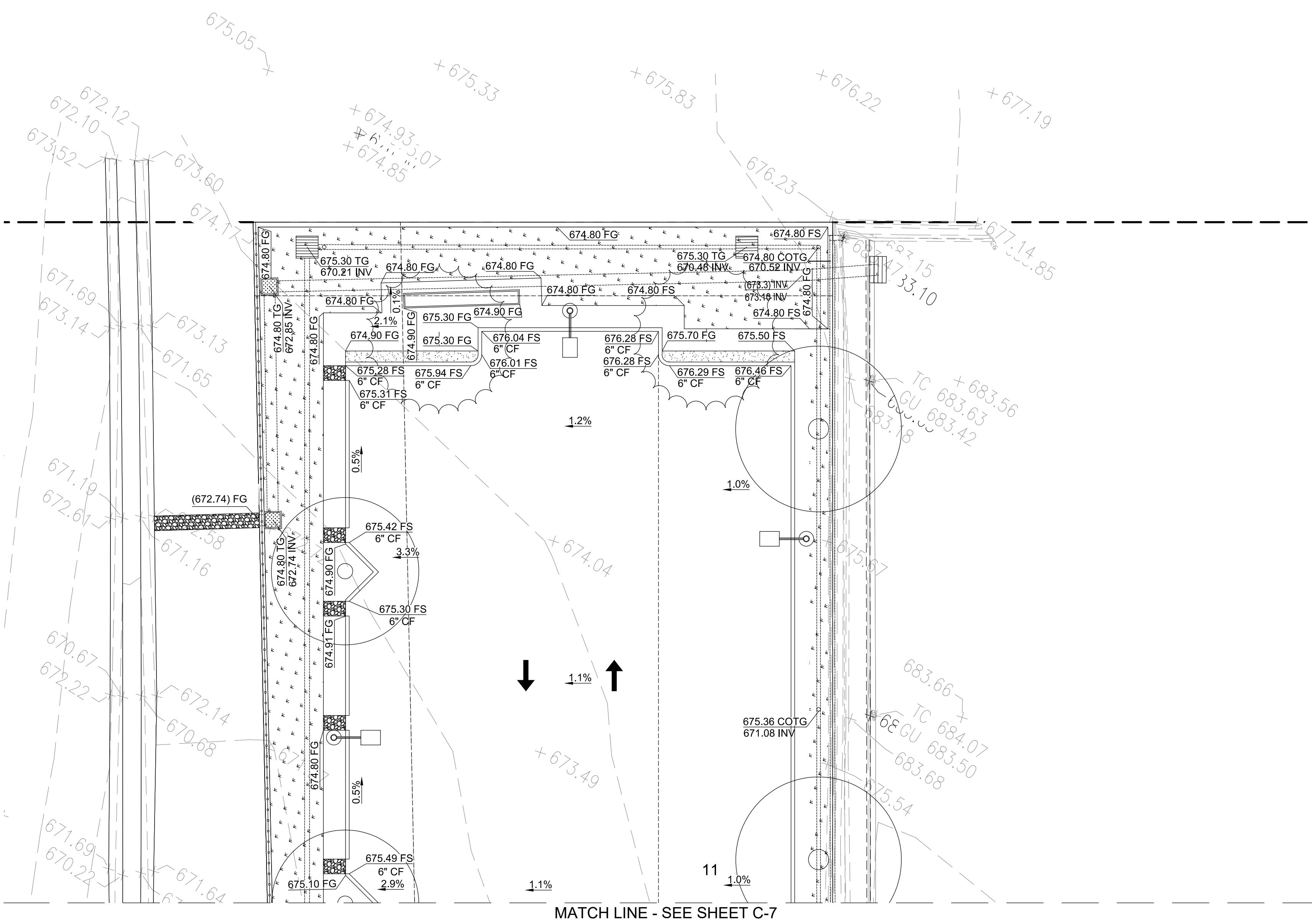
lic Works Inspector Date

---

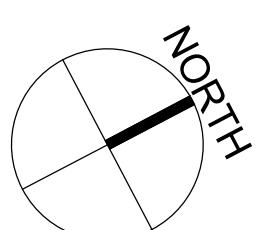
**CITY OF SAN MARCOS**  
**2355 AND 2375 MONTIEL RD.**  
**SAN MARCOS, CA 92069**

ity Drawing No.  
**GP19-XXXXX**  
Sheet 4 of 12





— — — — —  
**MATCH LINE - SEE SHEET C-7**



SCALE: = 10'

Plotted:02/11/20 - 12:39 PM, By: aazimi  
File: R:\Solutions-West\Projects\18280592 Montiel Road Office Buildings\Improvement Plans\Sheets\18280592 C-06 Grading Plan.dwg, ---> C-06



INSPECTED AND RECOMMENDED  
FOR ACCEPTANCE

®  
Public Works Inspector Date

# **PRELIMINARY PLAN**

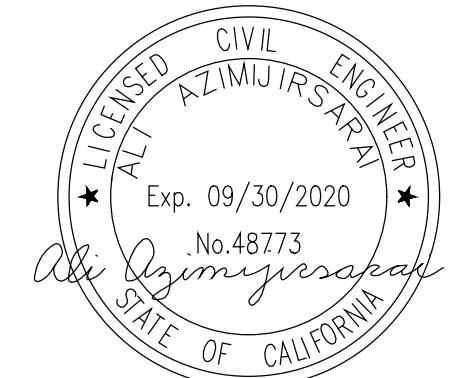
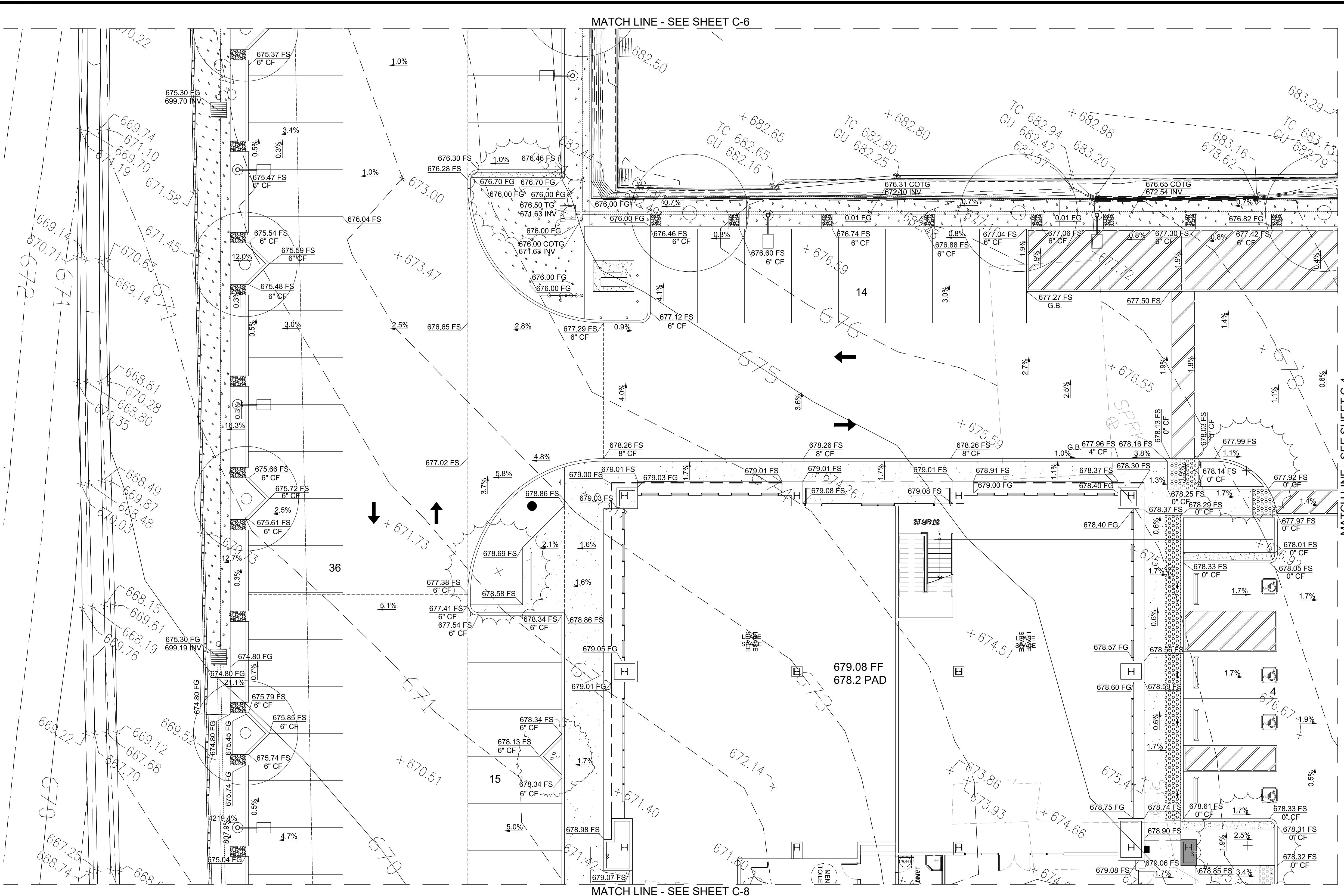
## **BUILDING AND PLANNING COMMISSION**

### **APPROVAL ONLY**

### **NOT FOR CONSTRUCTION**

**CITY OF SAN MARCOS**  
**2355 AND 2375 MONTIEL RD.**  
**SAN MARCOS, CA 92069**

SAN MARCOS FIRE DEPARTMENT		VALLECITOS WATER DISTRICT		ENGINEER OF WORK		CITY APPROVED CHANGES		RECOMMENDED FOR APPROVAL		APPROVED FOR CONSTRUCTION		CITY OF SAN MARCOS		City Drawing No.	
By: Jason Nailon, Fire Marshal	Date:	By: <u>Ali Azimijirsarai</u>	Date: <u>4/20/2021</u>	By: <u>Peter Kuey</u> , Principal Civil Engineer	Date: <u>4/20/2021</u>	By: <u>Matt Little</u> , City Engineer	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>
By: Jason Nailon, Fire Marshal	Date:	Name: <u>Ali Azimijirsarai</u>	Date: <u>4/20/2021</u>	By: <u>Peter Kuey</u> , Principal Civil Engineer	Date: <u>4/20/2021</u>	By: <u>Matt Little</u> , City Engineer	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>
By: Jason Nailon, Fire Marshal	Date:	Location: <u>NORTHEAST CORNER OF MONTEL RD. AND DEODAR RD.</u>	Date: <u>20' NORTHWEST OF RTURN</u>	By: <u>Peter Kuey</u> , Principal Civil Engineer	Date: <u>4/20/2021</u>	By: <u>Matt Little</u> , City Engineer	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>
By: Jason Nailon, Fire Marshal	Date:	R.C.E.: <u>48773</u>	Date: <u>4/20/2021</u>	By: <u>Peter Kuey</u> , Principal Civil Engineer	Date: <u>4/20/2021</u>	By: <u>Matt Little</u> , City Engineer	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>
By: Jason Nailon, Fire Marshal	Date:	Record Form: <u>RECORD OF SURVEY 1388</u>	Date: <u>4/20/2021</u>	By: <u>Peter Kuey</u> , Principal Civil Engineer	Date: <u>4/20/2021</u>	By: <u>Matt Little</u> , City Engineer	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>
By: Jason Nailon, Fire Marshal	Date:	Elev.: <u>6557'</u>	Date: <u>4/20/2021</u>	By: <u>Peter Kuey</u> , Principal Civil Engineer	Date: <u>4/20/2021</u>	By: <u>Matt Little</u> , City Engineer	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>
By: Jason Nailon, Fire Marshal	Date:	Datum: <u>NGVD 29</u>	Date: <u>4/20/2021</u>	By: <u>Peter Kuey</u> , Principal Civil Engineer	Date: <u>4/20/2021</u>	By: <u>Matt Little</u> , City Engineer	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>	By: <u>2355 AND 2375 MONTEL RD.</u>	Date: <u>4/20/2021</u>



# **PRELIMINARY PLAN**

## **BUILDING AND PLANNING COMMISSION**

### **APPROVAL ONLY**

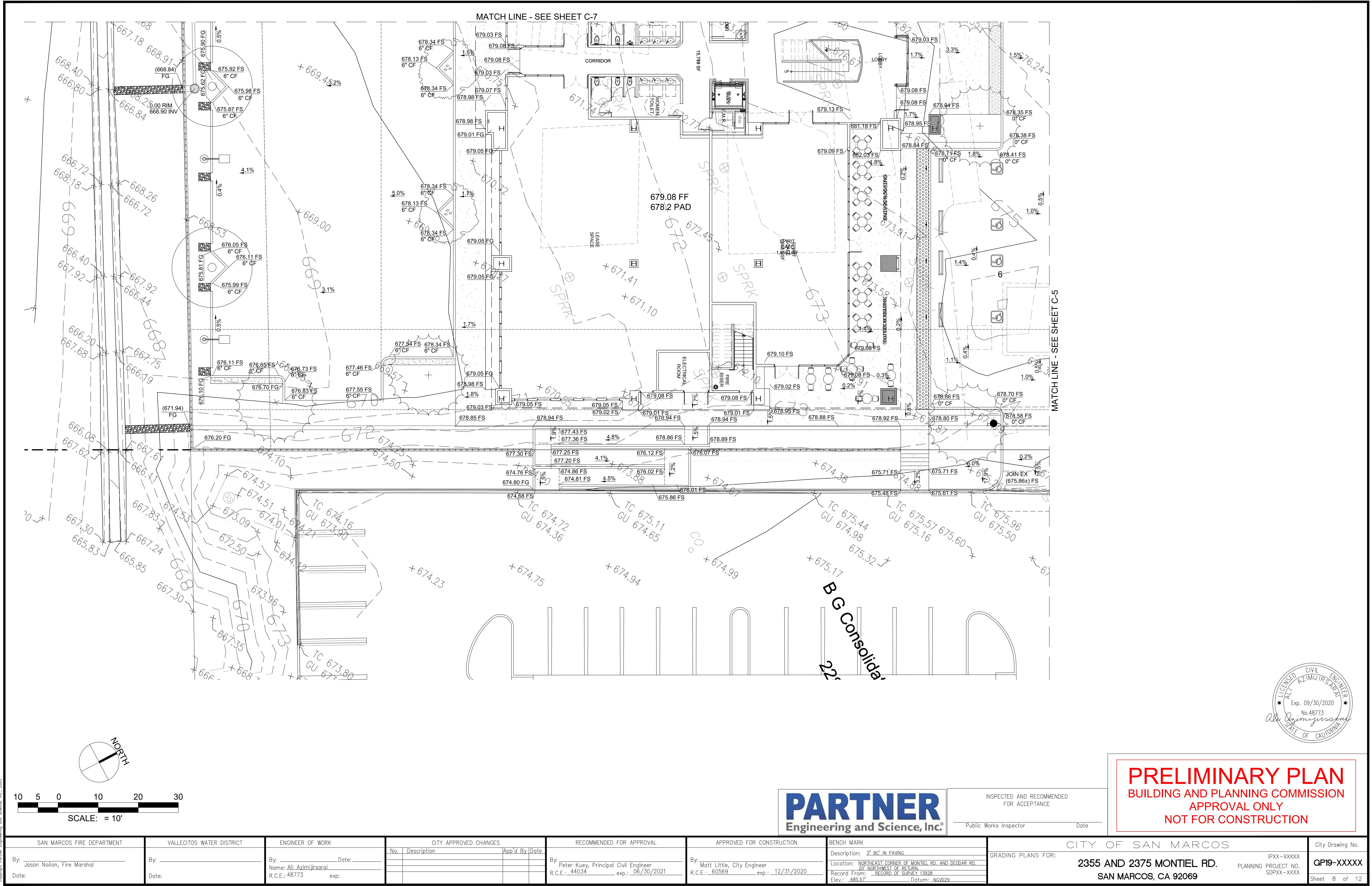
### **NOT FOR CONSTRUCTION**

# PARTNER

Engineering and Science, Inc.<sup>®</sup>

INSPECTED AND RECOMMENDED  
FOR ACCEPTANCE

Public Works Inspector Date





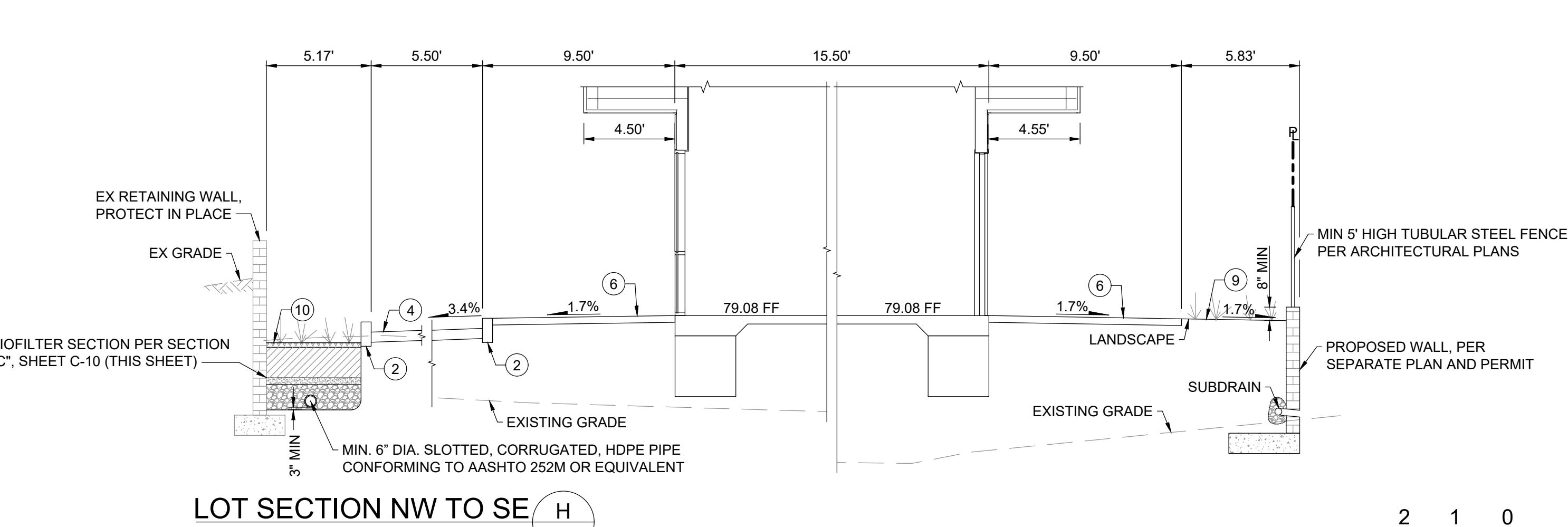
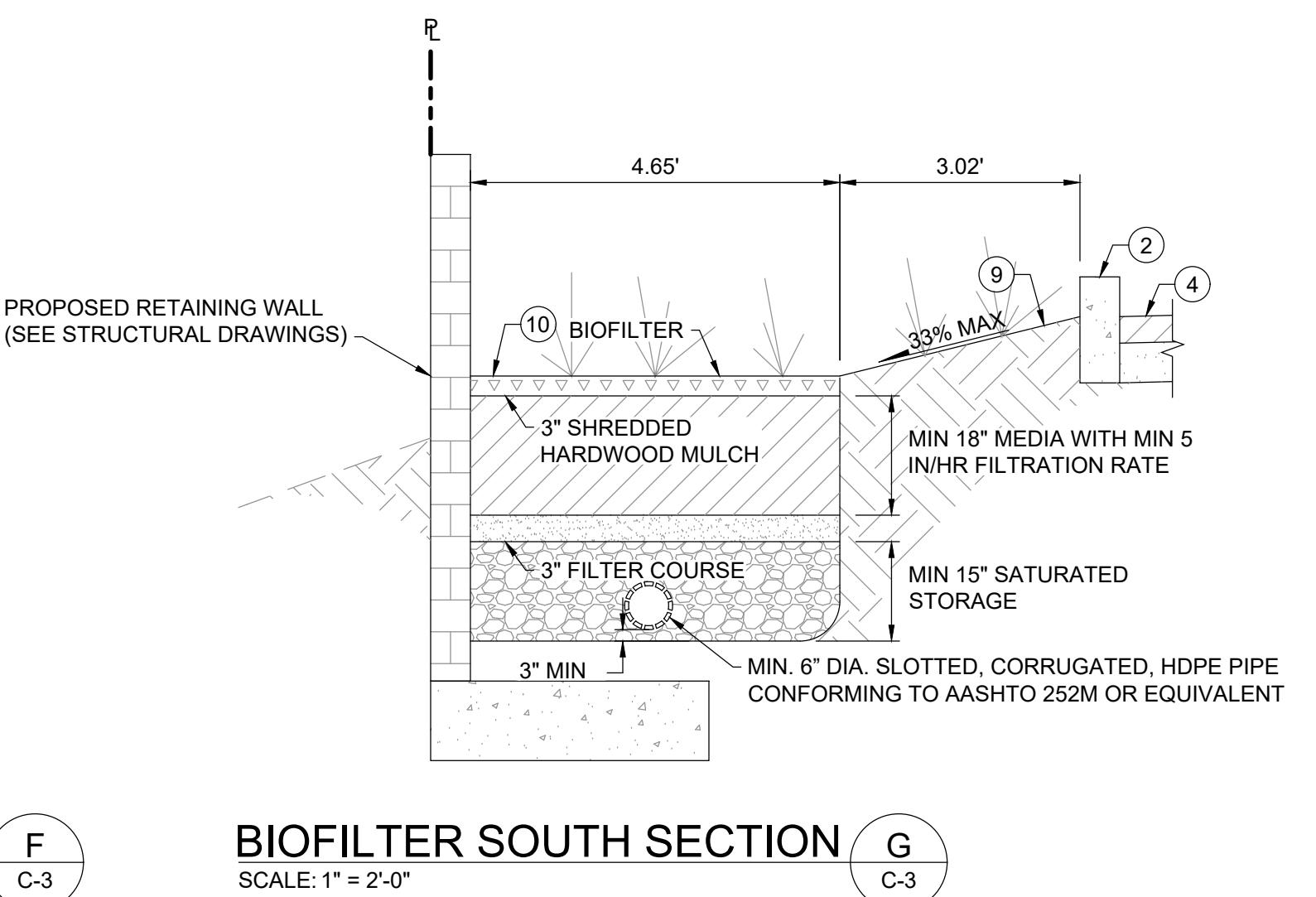
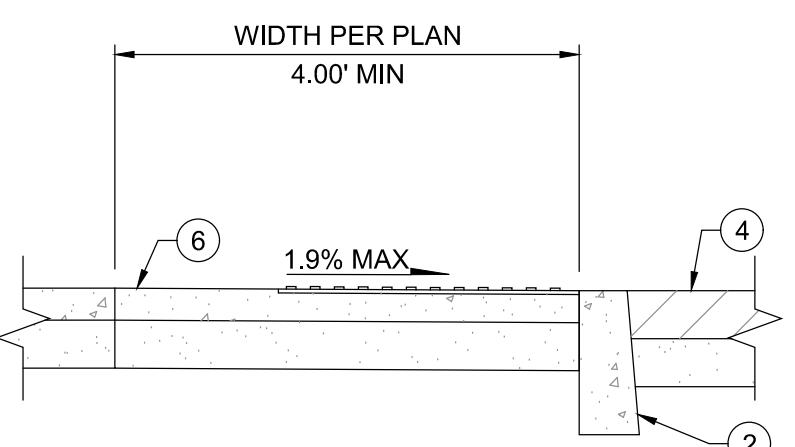
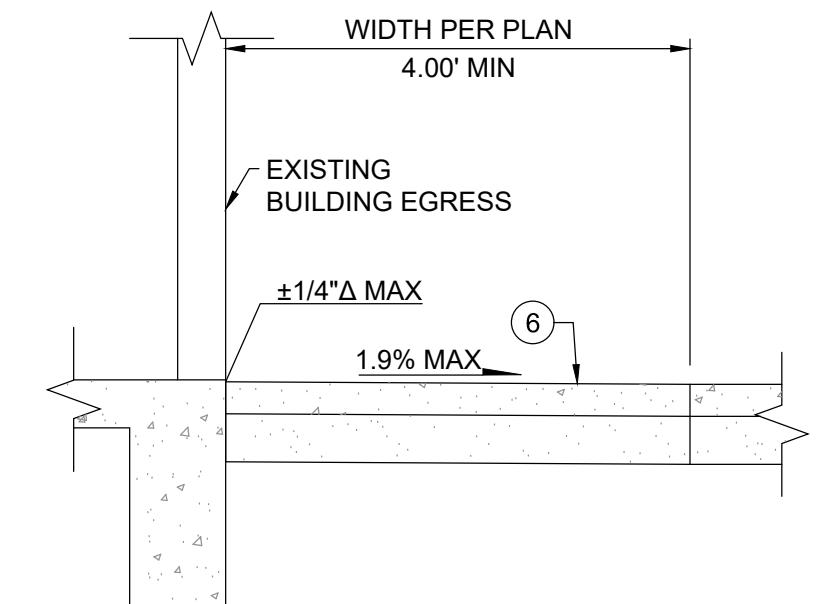
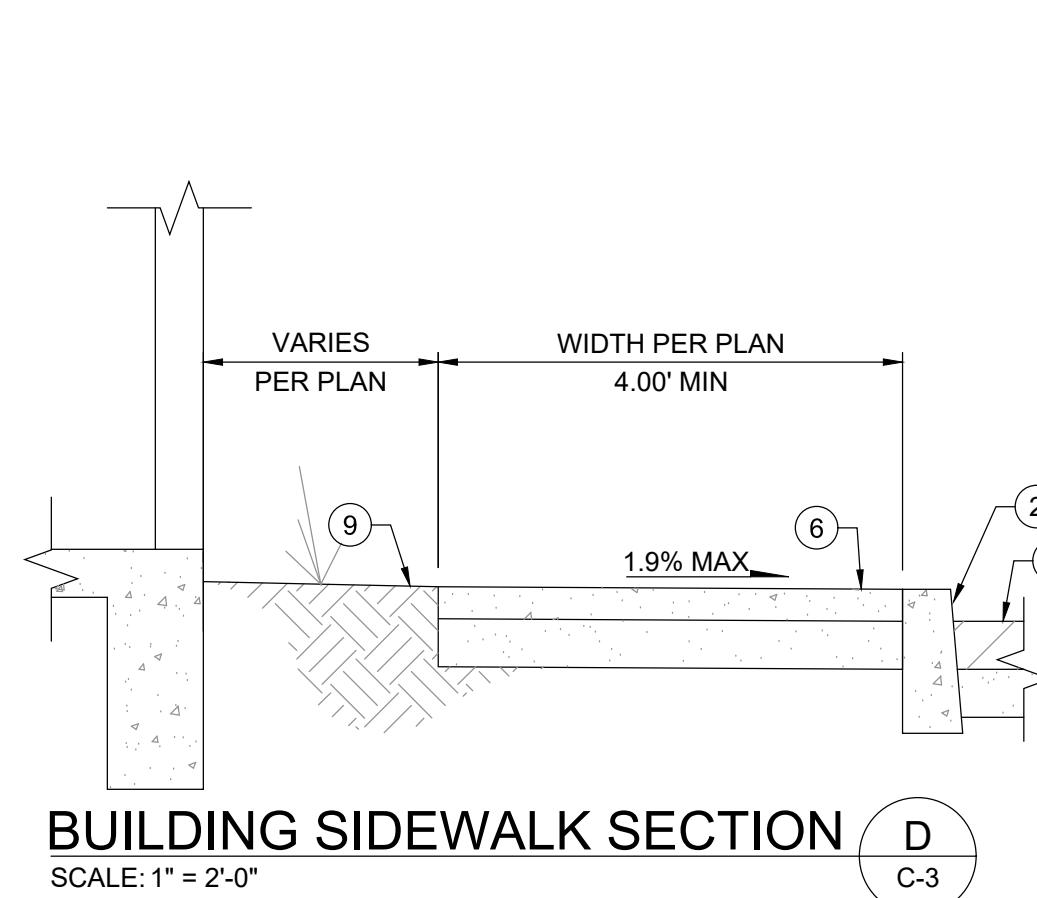
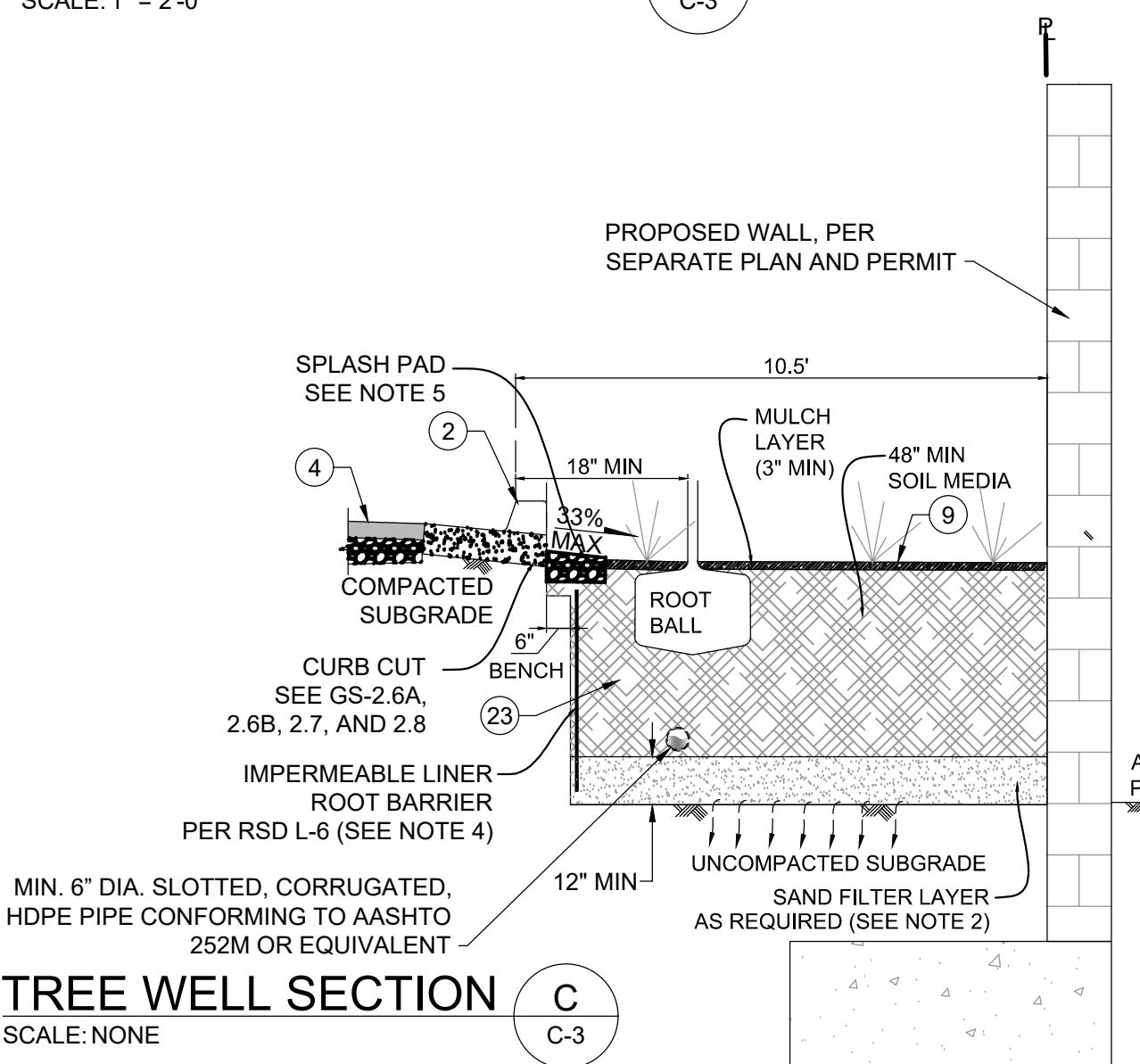
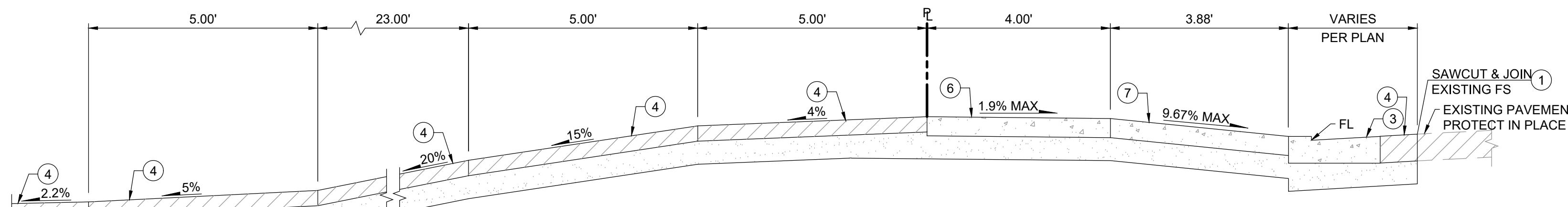
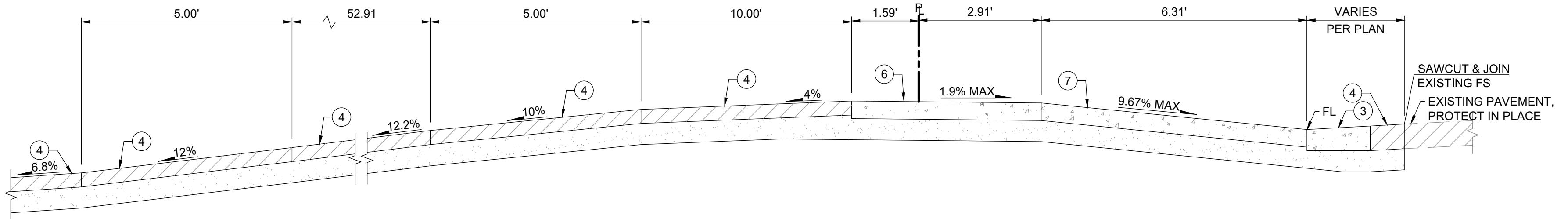
## CONSTRUCTION NOTES

#	ITEM
1	SAWCUT EXISTING PAVEMENT
2	CONCRETE CURB
3	CONCRETE CURB & GUTTER
4	ASPHALT CONCRETE PAVEMENT
6	CONCRETE SIDEWALK
7	CONCRETE DRIVEWAY
9	LANDSCAPE
10	BIORETENTION FILTER

## NOTES:

1. UTILITIES (ESPECIALLY WITHIN BIOFILTRATION BMPs) NOT SHOWN AND WILL BE PROVIDED AT A FUTURE DESIGN STAGE.

AS REQU



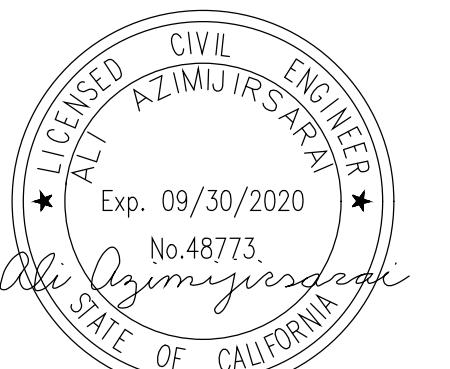
2 1 0 2 4 6

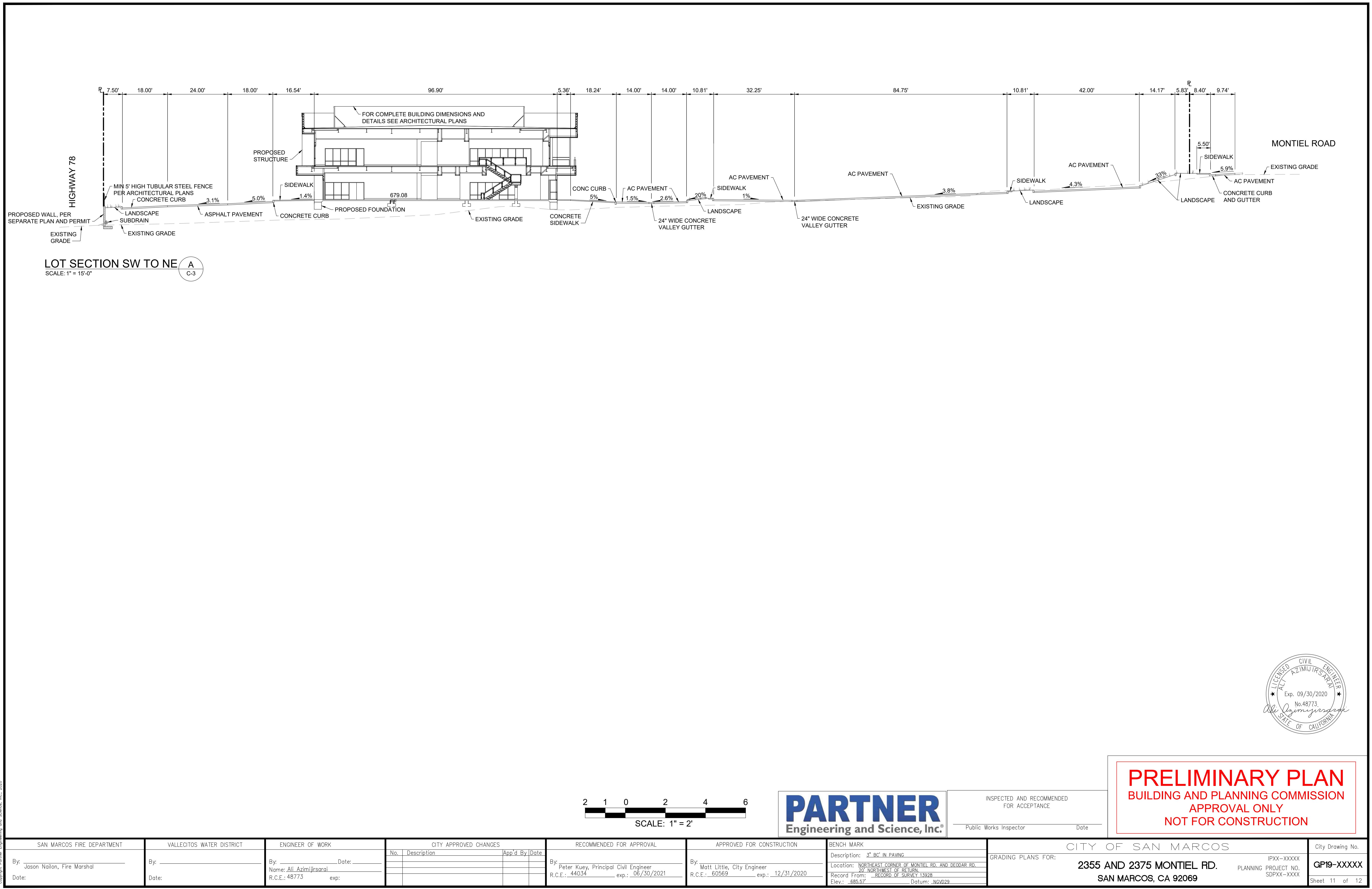
SCALE: 1" = 2'

**PARTNER**  
Engineering and Science, Inc.<sup>®</sup>

INSPECTED AND RECOMMENDED  
FOR ACCEPTANCE  
Public Works Inspector \_\_\_\_\_ Date \_\_\_\_\_

**PRELIMINARY PLAN**  
BUILDING AND PLANNING COMMISSION  
APPROVAL ONLY  
NOT FOR CONSTRUCTION





Plotted: 02/11/20 - 1:35 PM, By: aazimi  
File: R:\Solutions\West Projects\18\18280592 Montiel Road Office Buildings\Improvement Plans\Sheets\18280592 C-11 Sections.dwg, ---> C - 11  
Copyright Partner Engineering and Science, Inc., 2020

A scale bar for architectural drawings. It features a horizontal line with tick marks and numerical labels at 0, 2, 4, and 6. The segment between 0 and 2 is divided into two equal parts by a vertical line, with '1' above the first part and '0' above the second. The segment between 4 and 6 is also divided into two equal parts by a vertical line, with '4' above the first part and '6' above the second. Below the scale bar, the text 'SCALE: 1" = 2\' is centered.

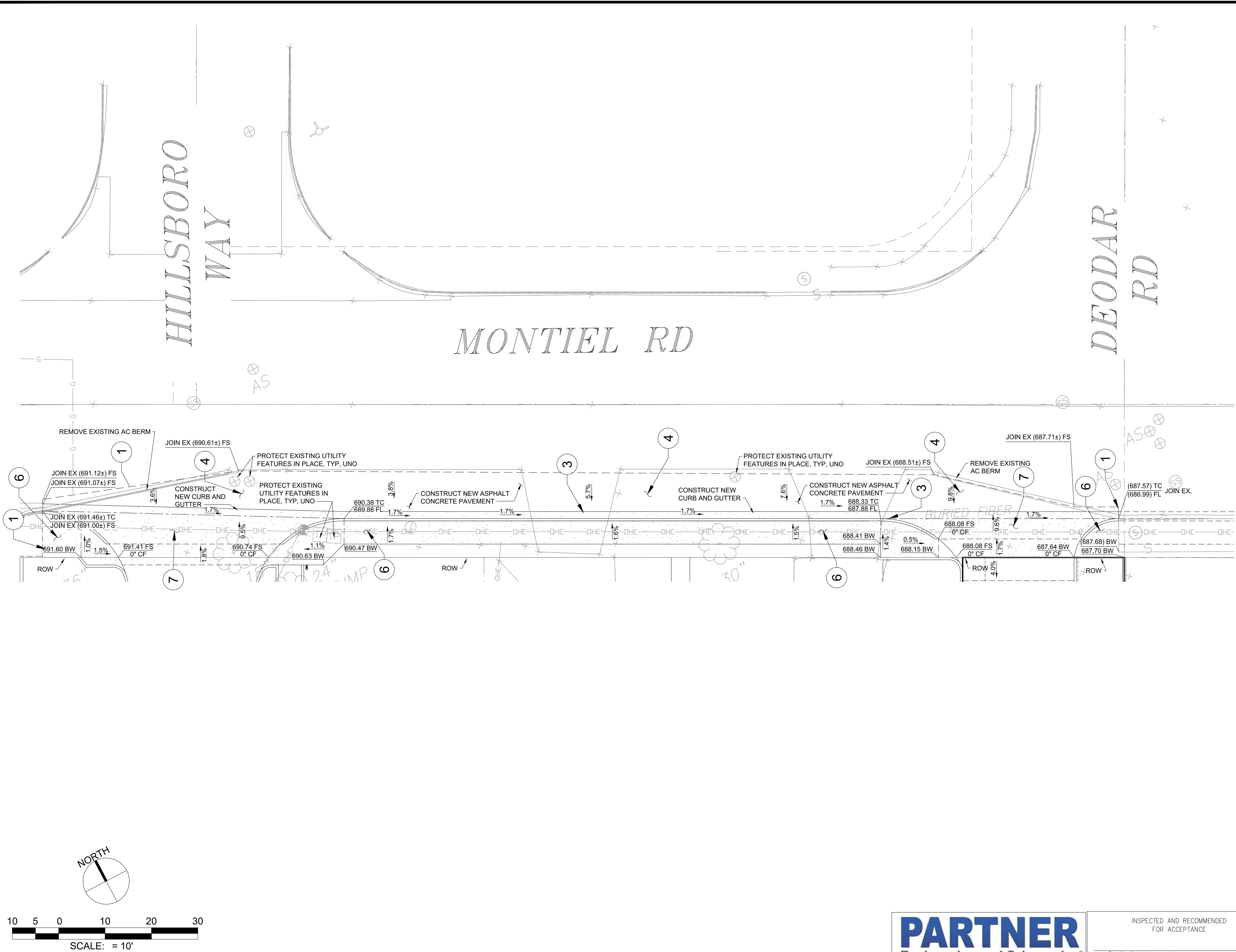
# PARTNER

Engineering and Science, Inc.<sup>®</sup>

INSPECTED AND RECOMMENDED  
FOR ACCEPTANCE

# THE CITY OF SAN MARCOS

IPXX-XXXXX PROJECT NO. SDPXX-XXXX	City Drawing No. <b>GP19-XXXXX</b>
Sheet 11 of 12	



# SAN MARCOS FIRE DEPARTMENT

VALLECITOS WATER DISTRICT	ENGINEER OF WORK
By: _____	By: _____ Date: _____
Date: _____	Name: <u>Ali Azimi jirsarai</u> R.C.E. # 48773 exp: _____

CITY APPROVED CHANGES		
No.	Description	App

By	Date	RECOMMENDED FOR APPROVAL
By:		Peter Kuey, Principal Civil Engineer
R.C.E.: 44034		exp.: 06/30/20

APPROVED FOR CONSTRUCTION

BENCH MARK
Description: <u>3" BC' IN PAVING</u>
Location: <u>NORTHEAST CORNER OF MONTIEL RD. AND D</u> <u>20' NORTHWEST OF RETURN.</u>
Record From: <u>RECORD OF SURVEY 13928</u>

INSPECTED AND RECOMMENDED  
FOR ACCEPTANCE

City of San Marcos  
2355 and 2375 Montiel Rd.  
San Marcos, CA 92069

	City Drawing No.
IPXX-XXXXX	
PROJECT NO.	<b>GP19-XXXXX</b>
SDPXX-XXXX	

# **PRELIMINARY PLAN**

## **BUILDING AND PLANNING COMMISSION**

### **APPROVAL ONLY**

### **NOT FOR CONSTRUCTION**



# CONSTRUCTION NOTES

#	ITEM	STD PLAN
1	SAWCUT EXISTING PAVEMENT	
2	CONCRETE CURB	SDRSD G-01
3	CONCRETE CURB & GUTTER	SDRSD G-02
4	ASPHALT CONCRETE PAVEMENT	
5	PORLTAND CEMENT CONCRETE PAVEMENT	
6	CONCRETE SIDEWALK	SDRSD G-07
7	CONCRETE DRIVEWAY	SDRSD G-14F
8	CONCRETE TIRE STOP	

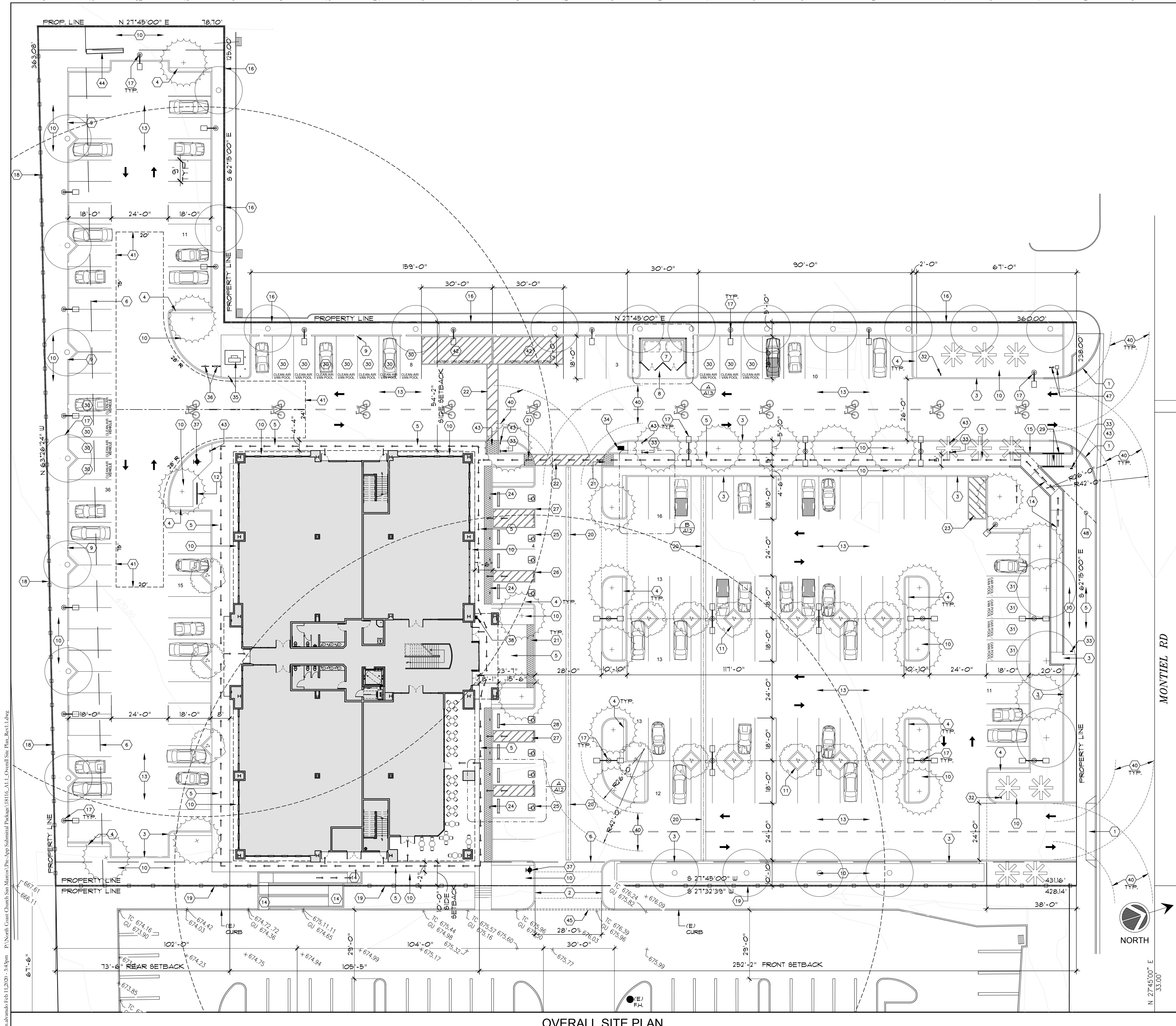
## NOTES:

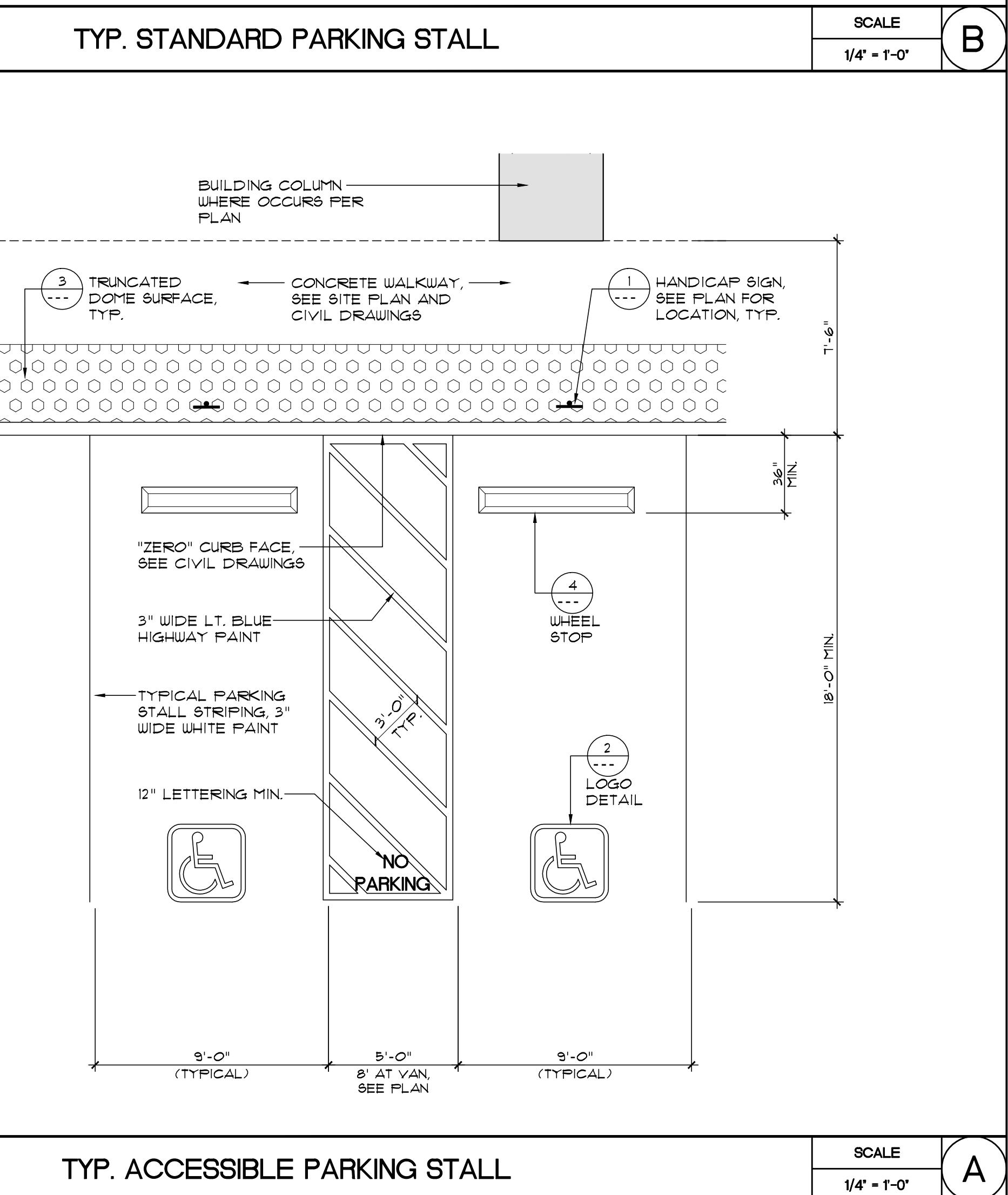
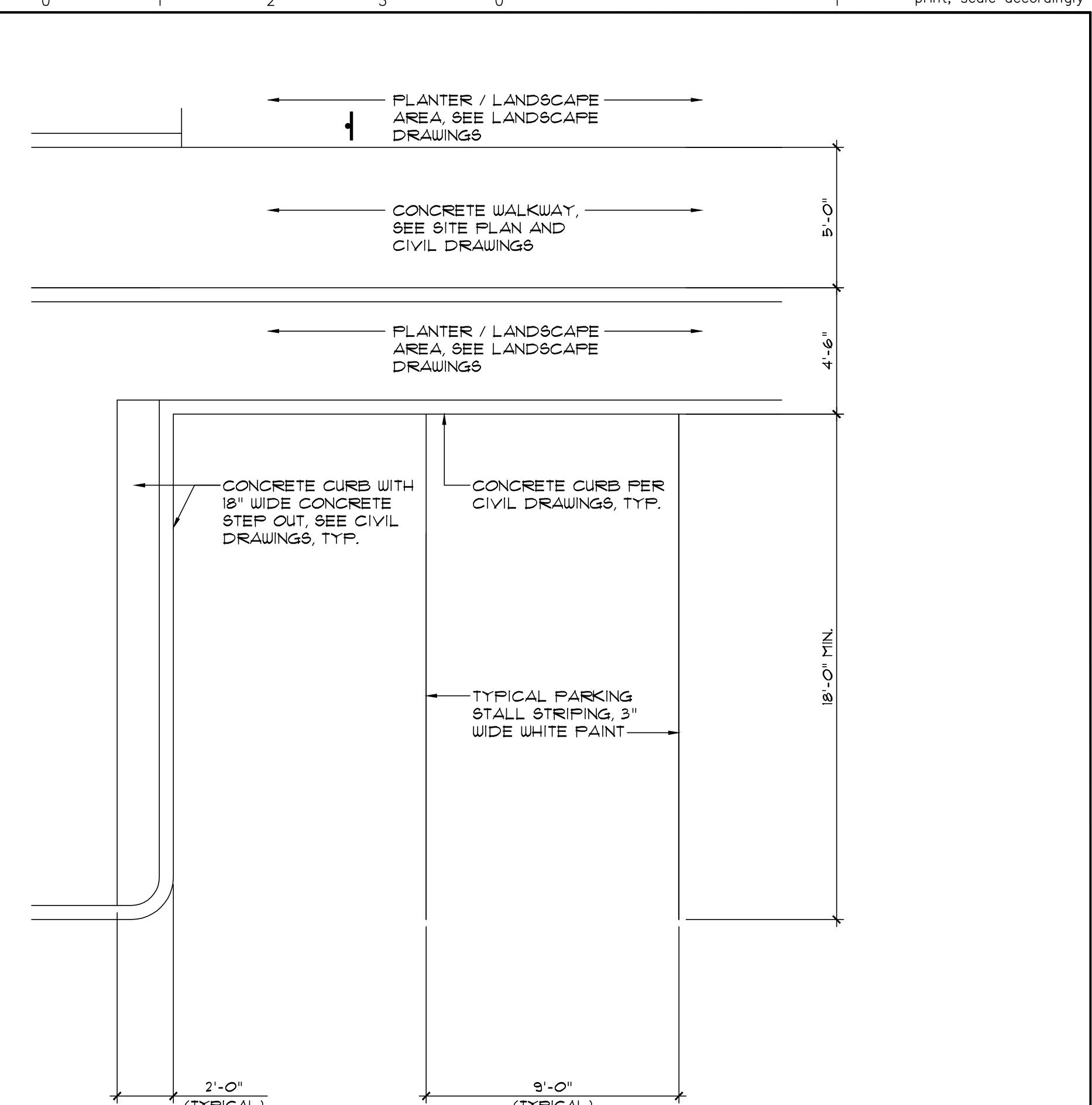
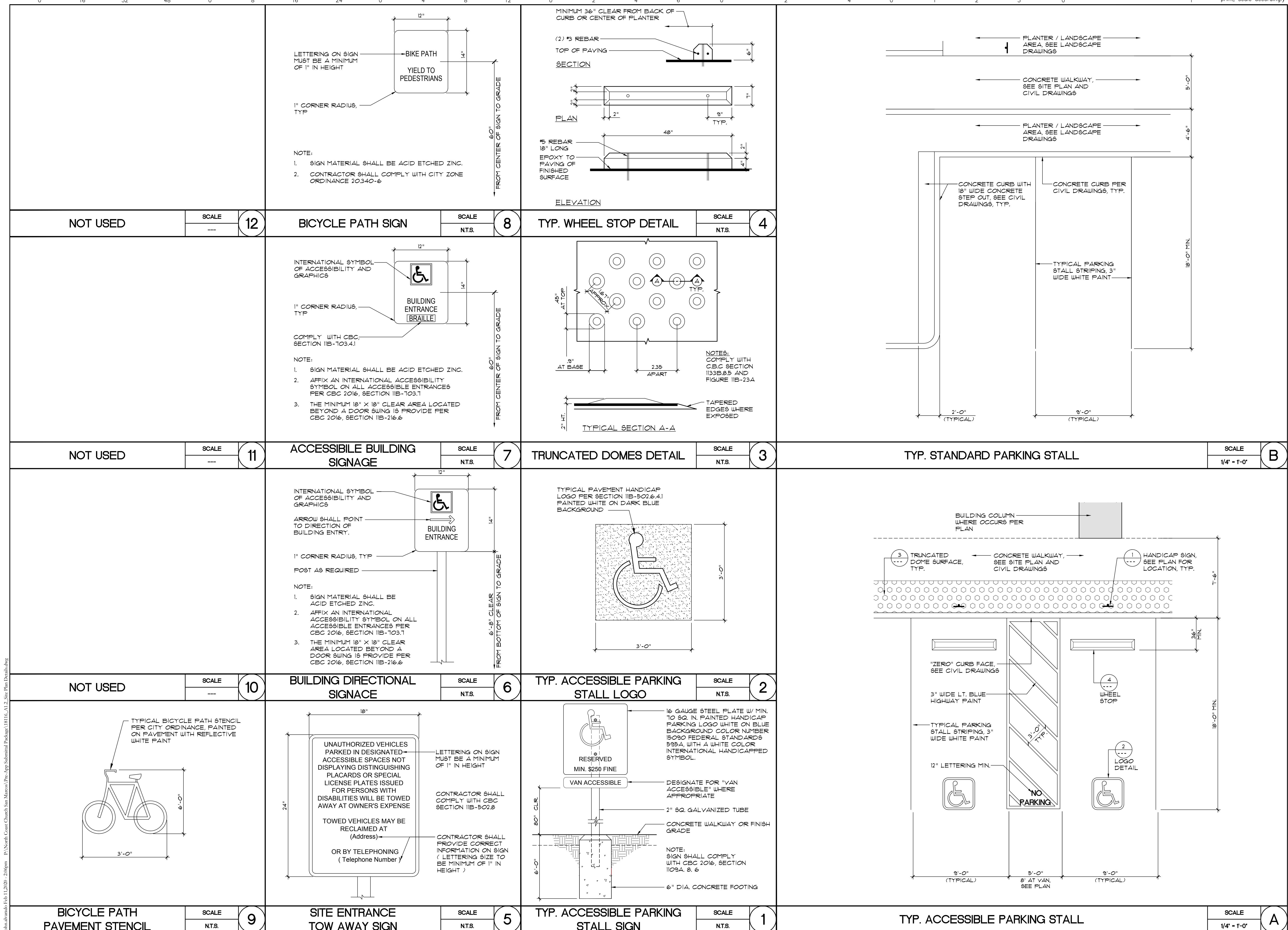
- 1. ALL EXISTING OVERHEAD UTILITY LINES TO BE MOVED UNDERGROUND.
- 2. PAVEMENT THICKNESS SHALL BE THE THICKER OF THE GEOTECHNICAL RECOMENDATIONS OR 1" GREATER THAN THE EXISTING PAVEMENT THICKNESS
- 3. SIDEWALK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED PER THE SDRSD G-07

File: R:\Solutions-West\Projects\18\18280592\_Montiel\_Road\_Improvement\_Plans\Sheets\18280592\_C-12\_Roadway\_Plan.dwg, ---> C - 12  
Copyright Partner Engineering and Science, Inc., 2020

1/16"=1' 0 16 32 48 1/8"=1' 0 8 16 24 1/4"=1' 0 4 8 12 3/4"=1' 0 2 4 6 1"=1' 0 1 2 4 3"=1' 0 1 2 3

If this sheet is not 30" by 42" it is a reduced print, scale accordingly





CONCEPTUAL  
PLANNING  
SUBMITTAL  
FOR  
CONTIEL OFFICE  
BUILDING

2375 and 2355 MONTIEL ROAD  
SAN MARCOS, CALIFORNIA 92069

## SITE DETAILS

## SITE DETAILS

# SHEET TITLE

Λ 1 2

A1.2

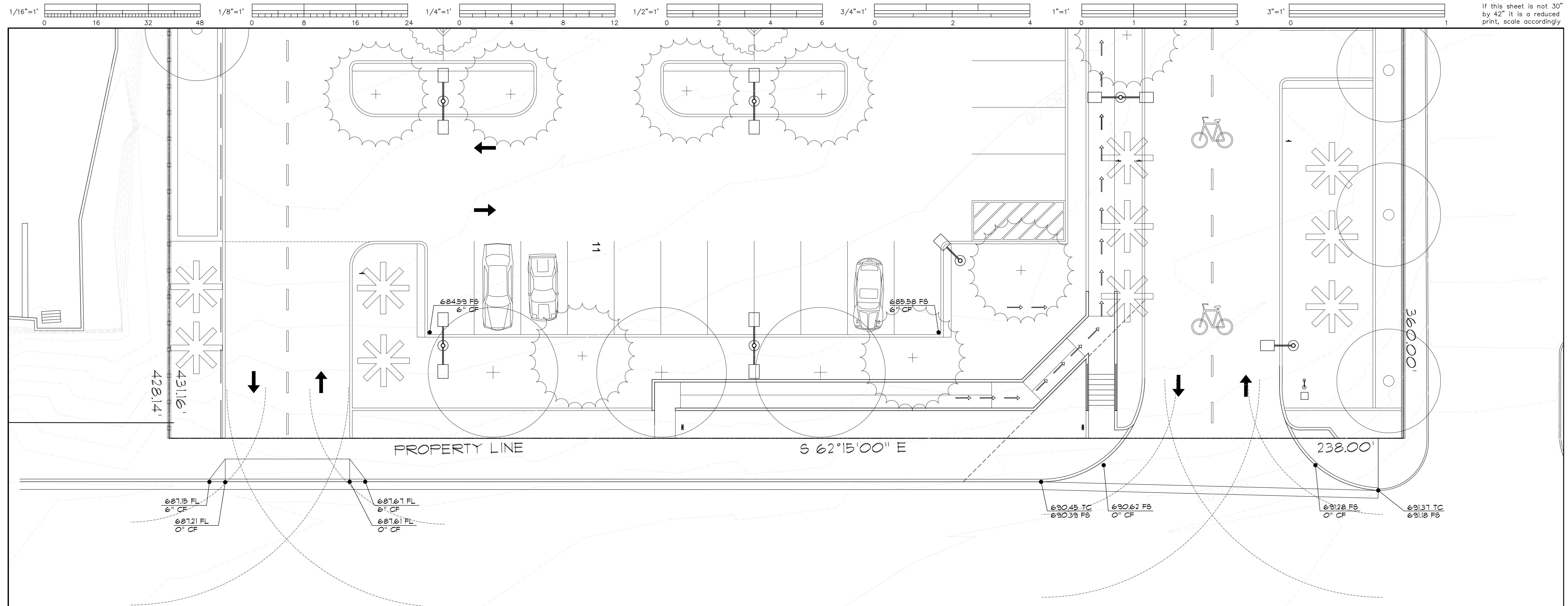
# SHEET NUMBER

S NOTED 12 FEBRUARY 2019

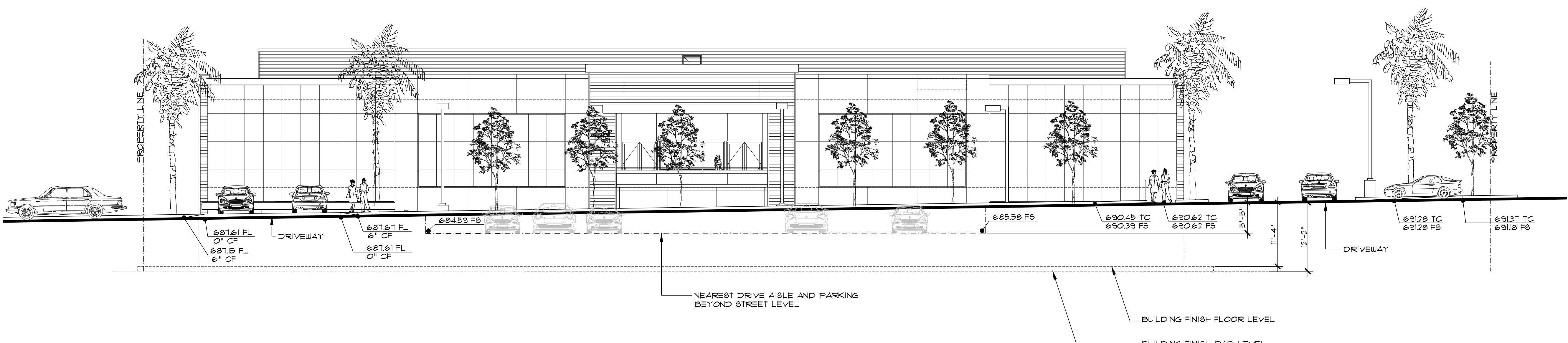
**CALE**  **DATE**







MONTIEL RD



MONTIEL ROAD SITE ELEVATION

**BDG**  
BURGHARD  
DESIGN GROUP  
ARCHITECTS, INC.

41951 REMINGTON AVE, SUITE 250  
TEMECULA, CALIFORNIA 92590

(TEL) 951-296-2828

[www.bdg-architects.com](http://www.bdg-architects.com)

● ARCHITECT OF RECORD

► PROFESSIONAL SEAL

● CONSULTANTS

► REVISIONS

● APPROVAL

► PROJECT PHASE

CONCEPTUAL  
PLANNING  
SUBMITTAL  
FOR  
MONTIEL OFFICE  
BUILDING

2375 and 2355 MONTIEL ROAD  
SAN MARCOS, CALIFORNIA 92069

● PROJECT NAME

18116

► PROJECT NUMBER

MONTIEL ROAD  
SITE ELEVATION

● SHEET TITLE

A1.5

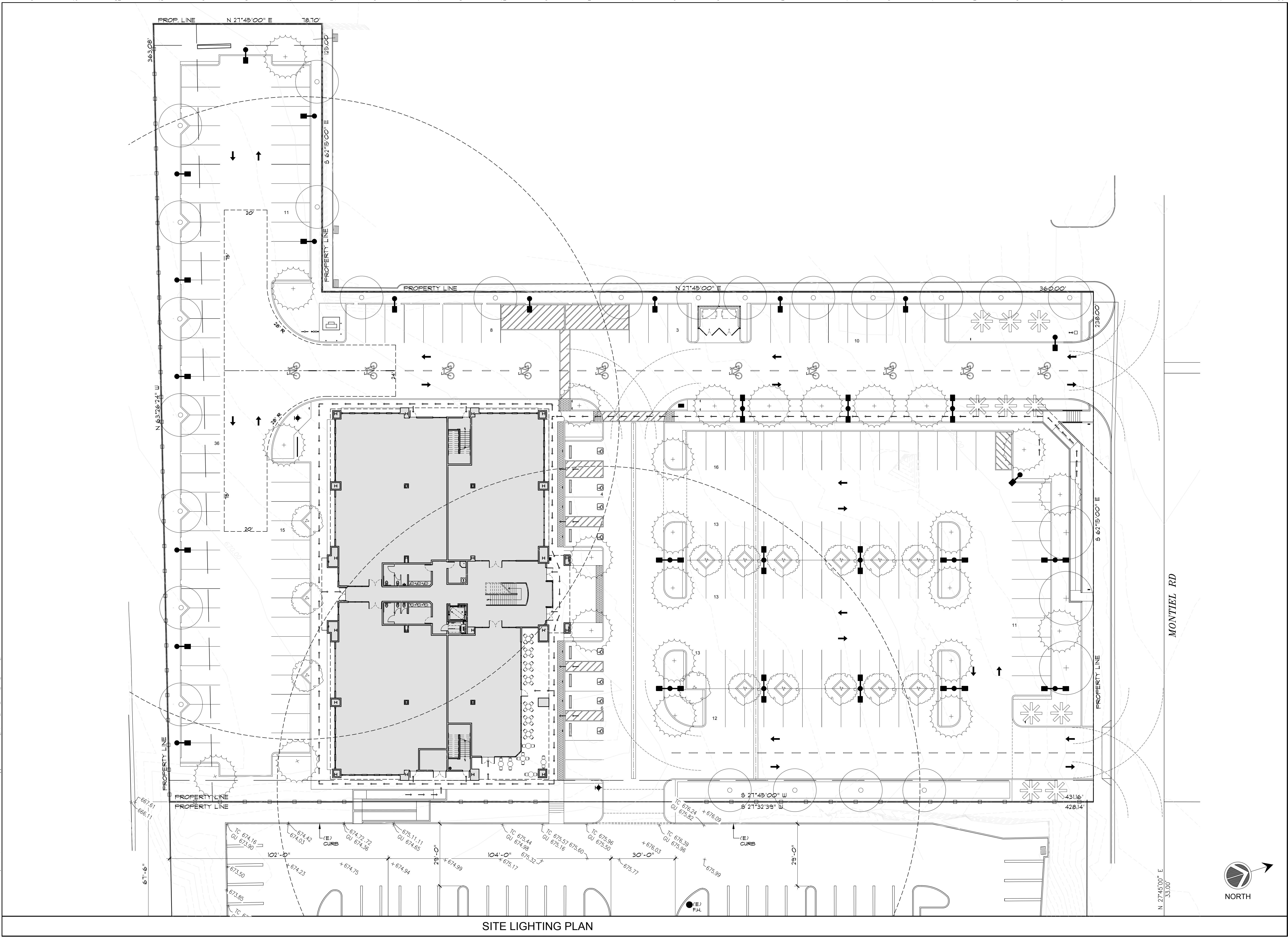
► SHEET NUMBER

12 FEBRUARY 2019

● SCALE

1"

DATE



john.alvarado Feb 11,2020 - 2:03pm P:\North Coast Church San Marcos\Pre-App Submittal Package\18116\_A1.6\_Site Lighting Plan.dwg

CONCEPTUAL  
PLANNING  
SUBMITTAL  
FOR  
MONTIEL OFFICE  
BUILDING

2375 and 2355 MONTIEL ROAD  
SAN MARCOS, CALIFORNIA 92069

**PROJECT NAME**

## SITE LIGHTING PLAN

## A1.6

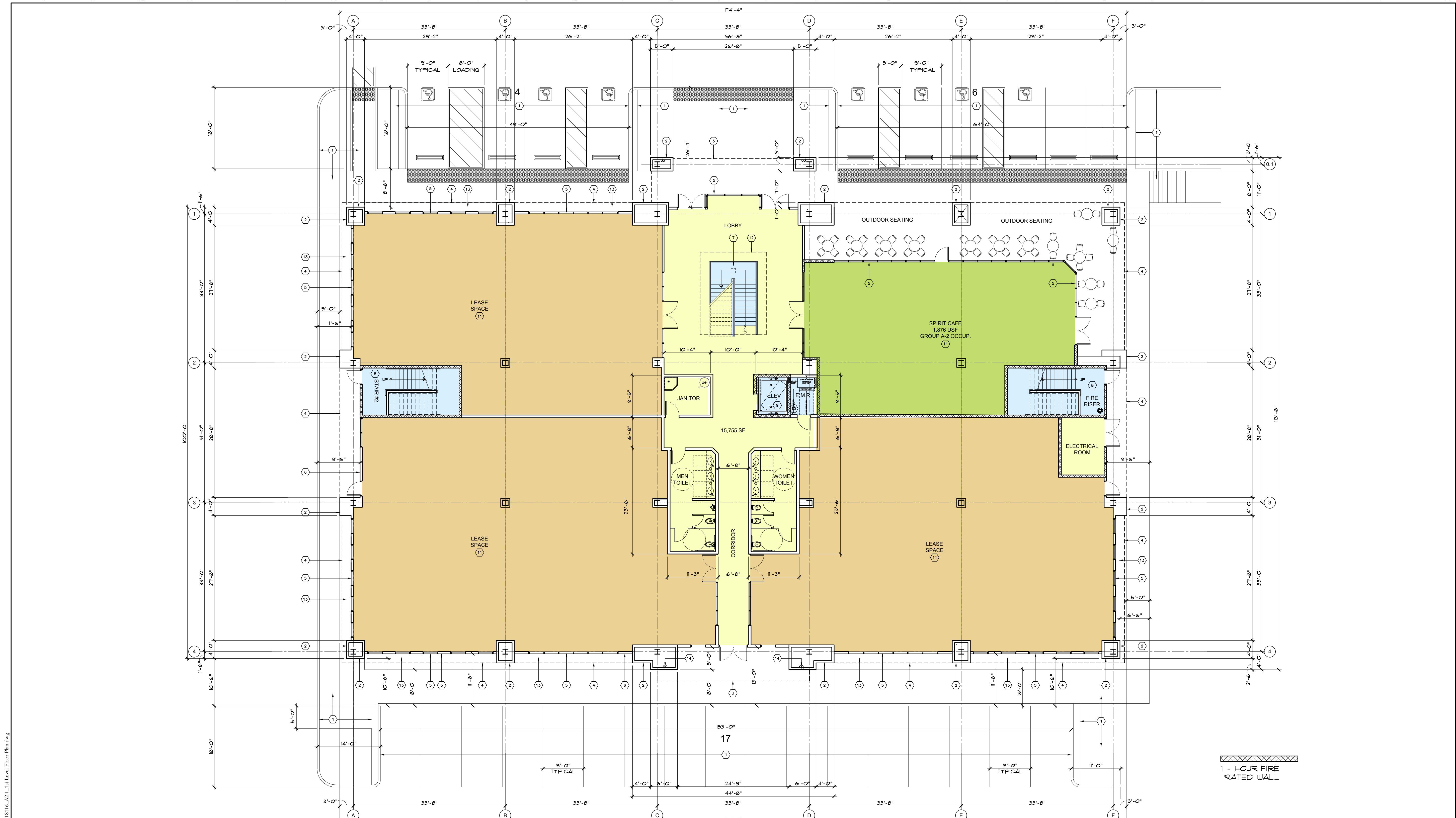
**SHEET NUMBER**

1" = 20'-0" 12 FEBRUARY 2019



1/16"=1' 1/8"=1' 1/4"=1' 1/2"=1' 3/4"=1' 1"=1' 3"=1'

If this sheet is not 30" by 42" it is a reduced print, scale accordingly



#### GENERAL NOTES

SEE CIVIL DRAWINGS AND ARCHITECTURAL SITE PLAN FOR INFORMATION NOT SHOWN ON THIS PLAN  
SEE LANDSCAPE DRAWINGS FOR INFORMATION NOT SHOWN ON THIS PLAN  
SEE EXTERIOR ELEVATIONS FOR BUILDING HEIGHT, DESCRIPTION AND COLOR OF ALL FINISH MATERIALS  
1. PRECISION STACK STONE VENEER FINISH, STYLE AND COLOR TBD (ALTERNATE)  
2. STUCCO SYSTEM FINISH, TEXTURE AND COLOR TBD  
3. STOREFRONT WINDOW AND DOOR SYSTEM, FRAME AND GLAZING COLOR TBD

#### FLOOR AREA TABULATIONS

OFFICE LEASE SPACE FLOOR AREA ("B" OCC.)	10,846 SQ. FT.	68.9%
CAFE FLOOR AREA ("A-2" OCC.)	1,876 SQ. FT.	11.9%
BUILDING CORE FLOOR AREA ("B" OCC.)	3,033 SQ. FT.	19.2%
<b>TOTAL:</b>	<b>15,755 SQ. FT.</b>	<b>100%</b>

#### KEY NOTES

- ① SITE IMPROVEMENTS, SEE CIVIL DRAWINGS AND ARCHITECTURAL SITE PLAN
- ② METAL PANEL CLAD COLUMN / PILASTER / BUILDING FINISH, SEE EXTERIOR ELEVATIONS
- ③ LINE OF FLOOR / BALCONY ABOVE, SEE EXTERIOR ELEVATIONS
- ④ LINE OF SOFFIT, SEE EXTERIOR ELEVATIONS
- ⑤ ANODIZED ALUMINUM STOREFRONT DOOR / WINDOW, SEE EXTERIOR ELEVATIONS
- ⑥ STUCCO FINISH, SEE EXTERIOR ELEVATIONS
- ⑦ DECORATIVE PRIMARY STAIR WITH STEEL AND GLASS GUARDRAIL
- ⑧ SECONDARY EXIT STAIR IN FIRE RATED ENCLOSURE
- ⑨ 2-STOP HANDICAP COMPLIANT ELEVATOR / ENCLOSURE
- ⑩ ELEVATOR MACHINE ROOM
- ⑪ FUTURE TENANT LEASE SPACE
- ⑫ LINE OF OPENING IN SECOND FLOOR
- ⑬ LANDSCAPE / PLANTER BED, SEE LANDSCAPE DRAWINGS
- ⑭ ROOF DRAIN LEADER AND OVERFLOW DRAIN

FIRST FLOOR PLAN

**BDG**  
BURGHARD  
DESIGN GROUP  
ARCHITECTS, INC.

41951 REMINGTON AVE, SUITE 250  
TEMECULA, CALIFORNIA 92590

(TEL) 951-296-2828

[www.bdg-architects.com](http://www.bdg-architects.com)

ARCHITECT OF RECORD

PROFESSIONAL SEAL

CONSULTANTS

REVISIONS

APPROVAL

PROJECT PHASE

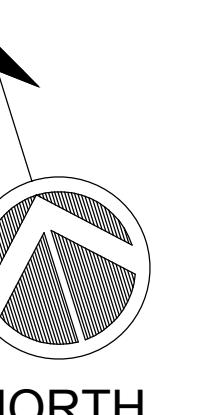
CONCEPTUAL  
PLANNING  
SUBMITTAL  
FOR  
MONTIEL OFFICE  
BUILDING

2375 and 2355 MONTIEL ROAD  
SAN MARCOS, CALIFORNIA 92069

PROJECT NAME

18116

PROJECT NUMBER



1ST LEVEL FLOOR PLAN

SHEET TITLE

A.2.1

SHEET NUMBER

3/32" = 1'-0"

12 FEBRUARY 2019

SCALE

DATE

1/16"=1'

1/8"=1'

1/4"=1'

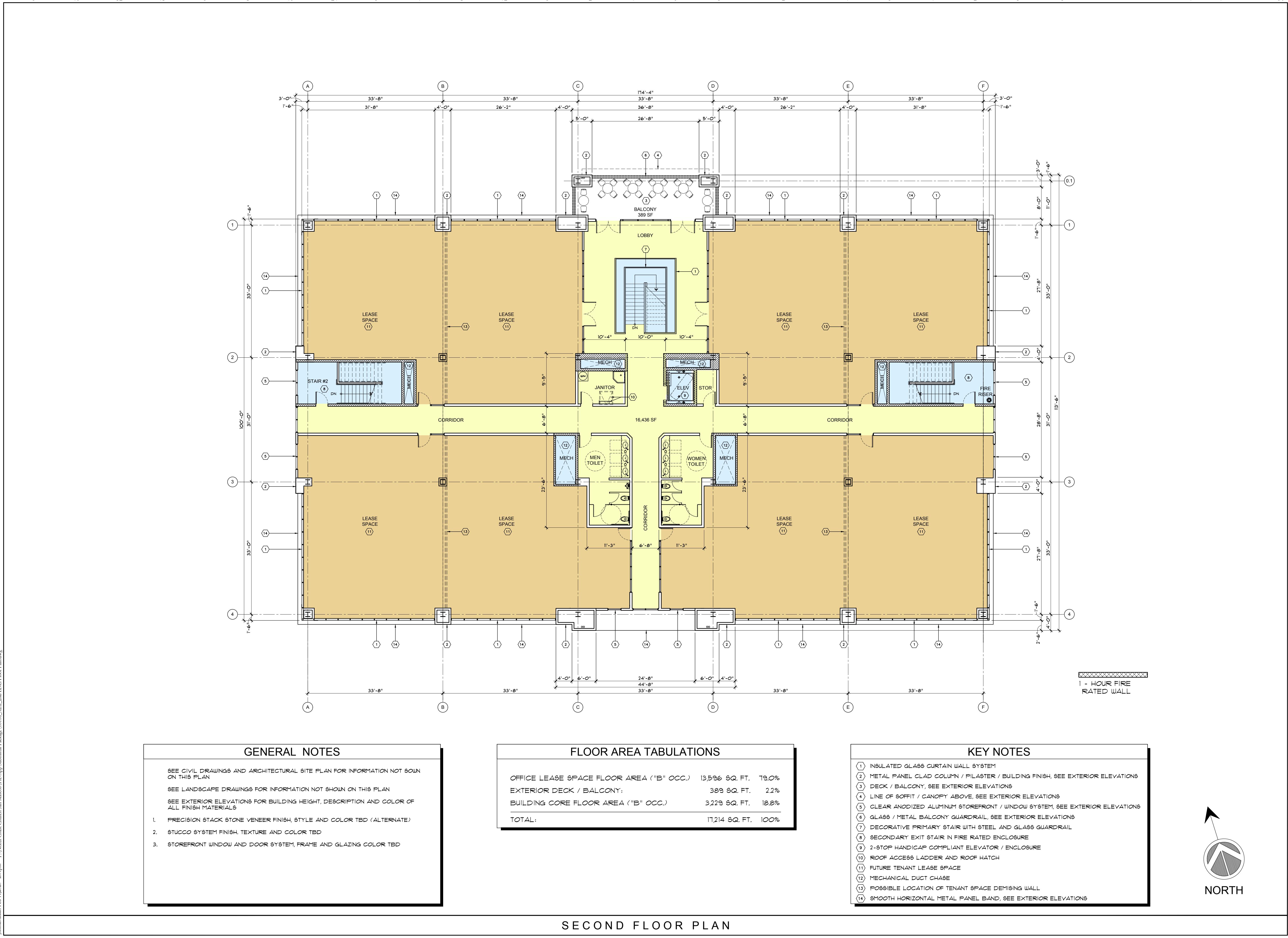
1/2"=1'

3/4"=1'

1"=1'

3"=1'

If this sheet is not 30" by 42" it is a reduced print, scale accordingly



**BDG**  
BURGHARD  
DESIGN GROUP  
ARCHITECTS, INC.

41951 REMINGTON AVE, SUITE 250  
TEMECULA, CALIFORNIA 92590

(TEL) 951-296-2828

[www.bdg-architects.com](http://www.bdg-architects.com)

● ARCHITECT OF RECORD

► PROFESSIONAL SEAL

● CONSULTANTS

► REVISIONS

● APPROVAL

► PROJECT PHASE

CONCEPTUAL  
PLANNING  
SUBMITTAL  
FOR

MONTIEL OFFICE  
BUILDING

2375 and 2355 MONTIEL ROAD  
SAN MARCOS, CALIFORNIA 92069

● PROJECT NAME

18116

► PROJECT NUMBER

2nd LEVEL FLOOR PLAN

● SHEET TITLE

A.2.2

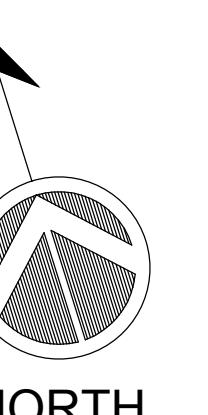
► SHEET NUMBER

3/32" = 1'-0"

12 FEBRUARY 2019

● SCALE

DATE



NORTH

1/16"=1'

1/8"=1'

1/4"=1'

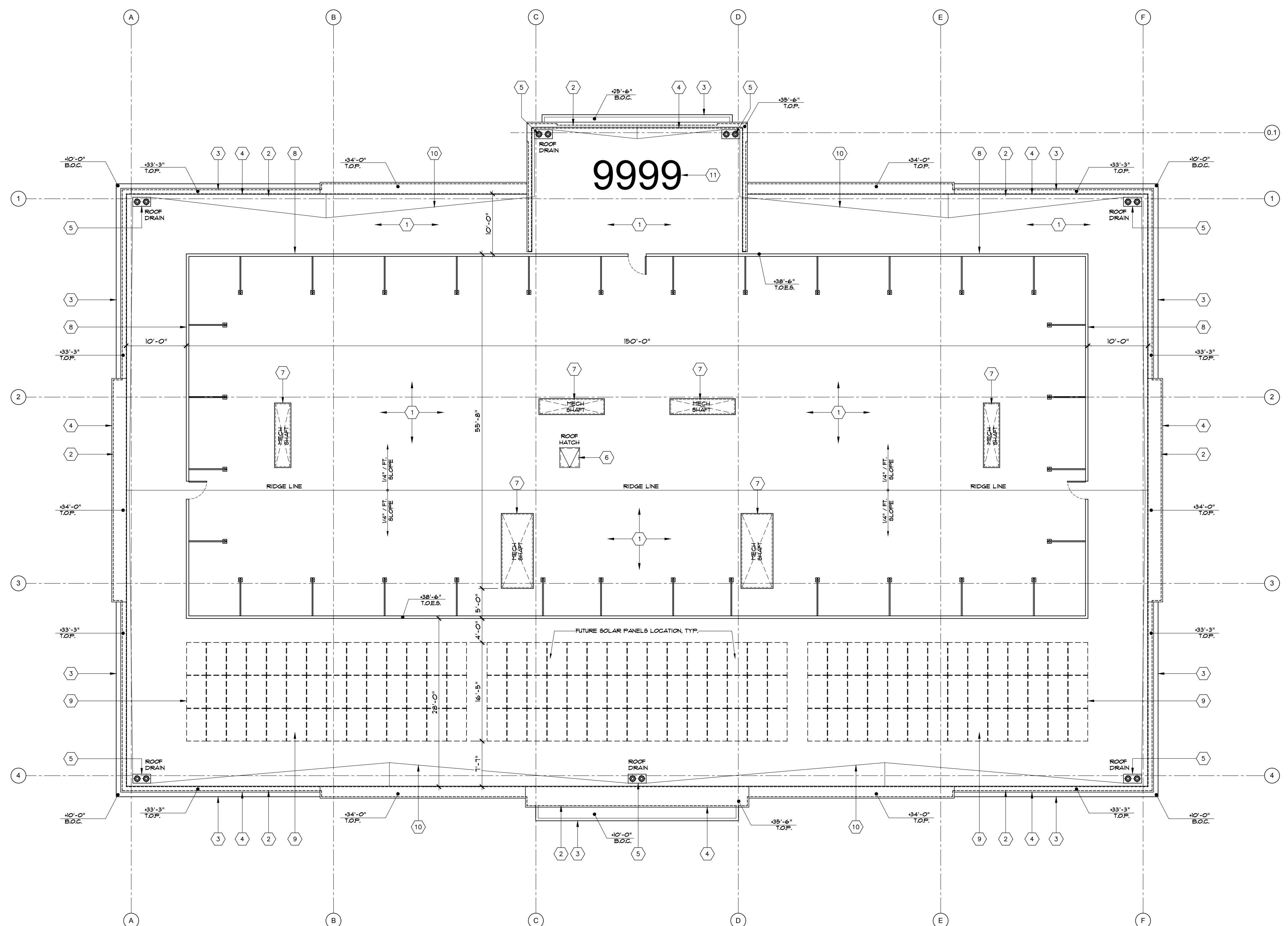
1/2"=1'

3/4"=1'

1"=1'

3"=1'

If this sheet is not 30" by 42" it is a reduced print, scale accordingly



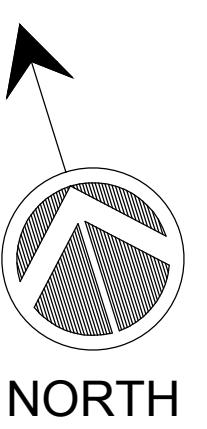
#### GENERAL NOTES

- THE LAYOUT, NUMBER AND LOCATION OF ROOF PENETRATIONS IS SCHEMATIC IS AT POINT. FINAL ENGINEERING WILL LIKELY CHANGE
- IT IS ANTICIPATED THAT THE EQUIPMENT SCREEN IS TALL ENOUGH TO HIDE ANY MECHANICAL EQUIPMENT; HOWEVER, IT IS CONCEIVABLE THAT THE SIZE OF THE ENCLOSURE COULD CHANGE
- THE INFRASTRUCTURE FOR SOLAR PANELS WILL BE PROVIDED DURING THE INITIAL SCOPE OF ENGINEERING/CONSTRUCTION. PANELS HOWEVER MAY NOT BE INSTALLED UNTIL A LATER DATE
- PARAPET WALLS WILL HAVE A MINIMUM HEIGHT OF 42" FOR SAFETY REASON
- SELECTION OF THE ACTUAL ROOFING MEMBRANE WILL BE BASED ON COMPLIANCE WITH TITLE-24 REQUIREMENTS

#### KEY NOTES

- ① ROOF TYPE: CLASS "A" 4-PLY BUILT-UP ROOF, LIGHT IN COLOR
- ② LINE OF WALL BELOW ROOF, SEE FLOOR PLAN AND EXTERIOR ELEVATIONS
- ③ METAL PANEL CANOPY, SEE EXTERIOR ELEVATIONS
- ④ PARAPET WALL WITH METAL FLASHING CAP, SEE EXTERIOR ELEVATIONS FOR SPECIFICATIONS
- ⑤ COMBINATION ROOF DRAIN/OVERFLOW DRAIN WITH DOME STRAINER
- ⑥ 36"x36" PRE-FINISHED ROOF HATCH
- ⑦ MECHANICAL EQUIPMENT SHAFT WITH SHEET METAL CAP
- ⑧ MECHANICAL EQUIPMENT SCREEN, SEE EXTERIOR ELEVATIONS
- ⑨ FUTURE ROOF MOUNTED SOLAR PANEL LOCATION SHOWN DASHED
- ⑩ WATER DIVERSION CRICKET
- ⑪ 60" TALL PAINTED BUILDING ADDRESS NUMBERS

ROOF PLAN



NORTH

**BDG**  
BURGHARD  
DESIGN GROUP  
ARCHITECTS, INC.

41951 REMINGTON AVE, SUITE 250  
TEMECULA, CALIFORNIA 92590

(TEL) 951-296-2828

www.bdg-architects.com

ARCHITECT OF RECORD

► PROFESSIONAL SEAL

● CONSULTANTS

► REVISIONS

● APPROVAL

► PROJECT PHASE

CONCEPTUAL  
PLANNING  
SUBMITTAL  
FOR

MONTIEL OFFICE  
BUILDING

2375 and 2355 MONTIEL ROAD  
SAN MARCOS, CALIFORNIA 92069

● PROJECT NAME

18116

► PROJECT NUMBER

ROOF PLAN

● SHEET TITLE

A2.3

► SHEET NUMBER

3/32" = 1'-0"

12 FEBRUARY 2019

● SCALE ► DATE

1/16"=1' 1/8"=1' 1/4"=1' 1/2"=1' 3/4"=1' 1"=1' 3"=1' 0 16 32 48 0 8 16 24 0 4 8 12 0 2 4 6 0 1 2 4 0 1 2 3

If this sheet is not 30" by 42" it is a reduced print, scale accordingly

**BDG**  
BURGHARD  
DESIGN GROUP  
ARCHITECTS, INC.

41951 REMINGTON AVE, SUITE 250  
TEMECULA, CALIFORNIA 92590

(TEL) 951-296-2828

[www.bdg-architects.com](http://www.bdg-architects.com)

● ARCHITECT OF RECORD

► PROFESSIONAL SEAL

● CONSULTANTS

► REVISIONS

● APPROVAL

► PROJECT PHASE

CONCEPTUAL  
PLANNING  
SUBMITTAL  
FOR

MONTIEL OFFICE  
BUILDING

2375 and 2355 MONTIEL ROAD  
SAN MARCOS, CALIFORNIA 92069

● PROJECT NAME

18116

► PROJECT NUMBER

EXTERIOR ELEVATIONS

● SHEET TITLE

A4.1

► SHEET NUMBER

3/32" = 1'-0"

12 FEBRUARY 2019

● SCALE

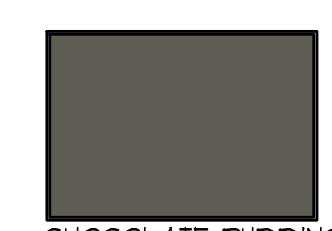
► DATE



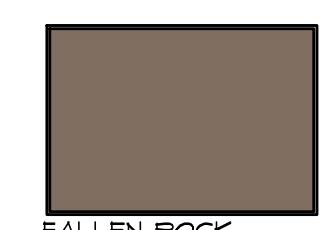
NORTH ELEVATION



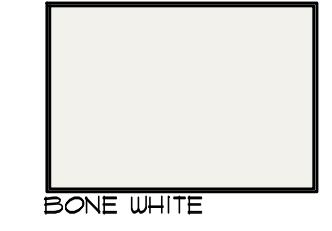
SOUTH ELEVATION



CHOCOLATE PUDDING



FALLEN ROCK

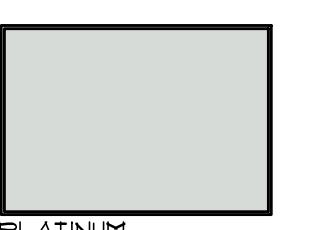


BONE WHITE

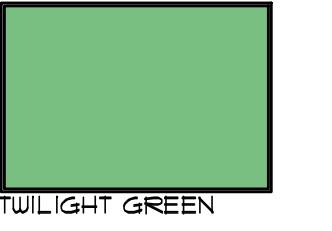
KEY NOTES	
①	CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM AND WINDOW FRAMES
②	CEMENT PLASTER "SAND/FLOAT" FINISH, COLOR MATCH DUNN EDWARDS #DE6380-FALLEN ROCK
③	WALL SCONCE LIGHT FIXTURE - STYLE TO BE SELECTED
④	SPARE
⑤	INSULATED GLASS CURTAIN WALL SYSTEM, GLAZING TO MATCH "OLDCASTLE SN-68 TWILIGHT GREEN"
⑥	RIBBED METAL PANEL SYSTEM, COLOR TO MATCH DUNN EDWARDS #DE6380-CHOCOLATE PUDDING
⑦	SMOOTH METAL PANEL WALL SYSTEM, REYNOBOND (ALCOA PRODUCT) COLOR: "BONE WHITE"
⑧	SMOOTH METAL PANEL WALL SYSTEM, REYNOBOND (ALCOA PRODUCT) COLOR: "PLATINUM"
⑨	SMOOTH METAL PANEL PARAPET CAP, REYNOBOND (ALCOA PRODUCT), COLOR: "PLATINUM"
⑩	RIBBED METAL PANEL EQUIPMENT SCREEN, MATCH DUNN EDWARDS #DE6380-CHOCOLATE PUDDING
⑪	ROOF LINE SHOWN DASHED
⑫	FUTURE ROOF MOUNTED SOLAR PANEL LOCATION
⑬	BUILDING IDENTIFICATION SIGNAGE LOCATION
⑭	BUILDING ADDRESS LOCATION



CLEAR ANODIZED



PLATINUM



TWILIGHT GREEN

EXTERIOR ELEVATIONS

1/16"=1'

1/8"=1'

1/4"=1'

1/2"=1'

3/4"=1'

1"=1'

3"=1'

0 16 32 48 0 8 16 24 0 4 8 12 0 2 4 6 0 1 2 4 0 1 2 3

If this sheet is not 30" by 42" it is a reduced print, scale accordingly

**BDG**  
 BURGHARD  
 DESIGN GROUP  
 ARCHITECTS, INC.

41951 REMINGTON AVE, SUITE 250  
 TEMECULA, CALIFORNIA 92590

(TEL) 951-296-2828

www.bdg-architects.com

● ARCHITECT OF RECORD

► PROFESSIONAL SEAL

● CONSULTANTS

► REVISIONS

● APPROVAL

► PROJECT PHASE

CONCEPTUAL  
 PLANNING  
 SUBMITTAL  
 FOR

MONTIEL OFFICE  
 BUILDING

2375 and 2355 MONTIEL ROAD  
 SAN MARCOS, CALIFORNIA 92069

● PROJECT NAME

18116

► PROJECT NUMBER

EXTERIOR ELEVATIONS

● SHEET TITLE

A4.2

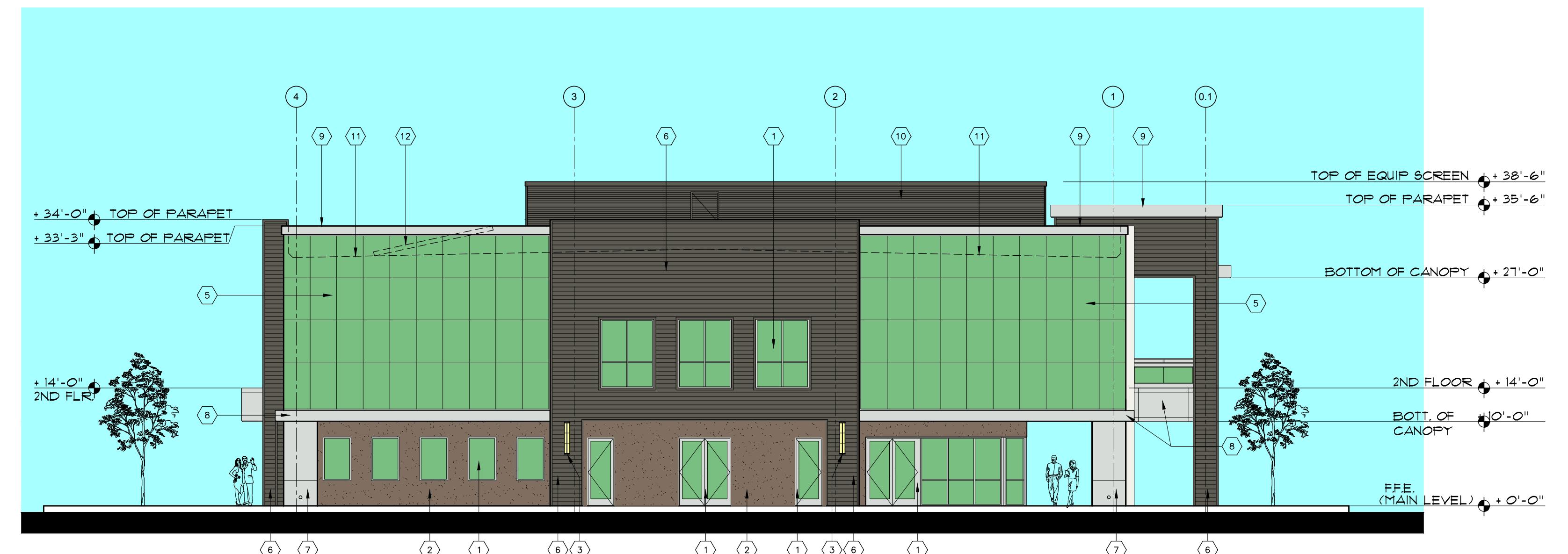
► SHEET NUMBER

3/32" = 1'-0"

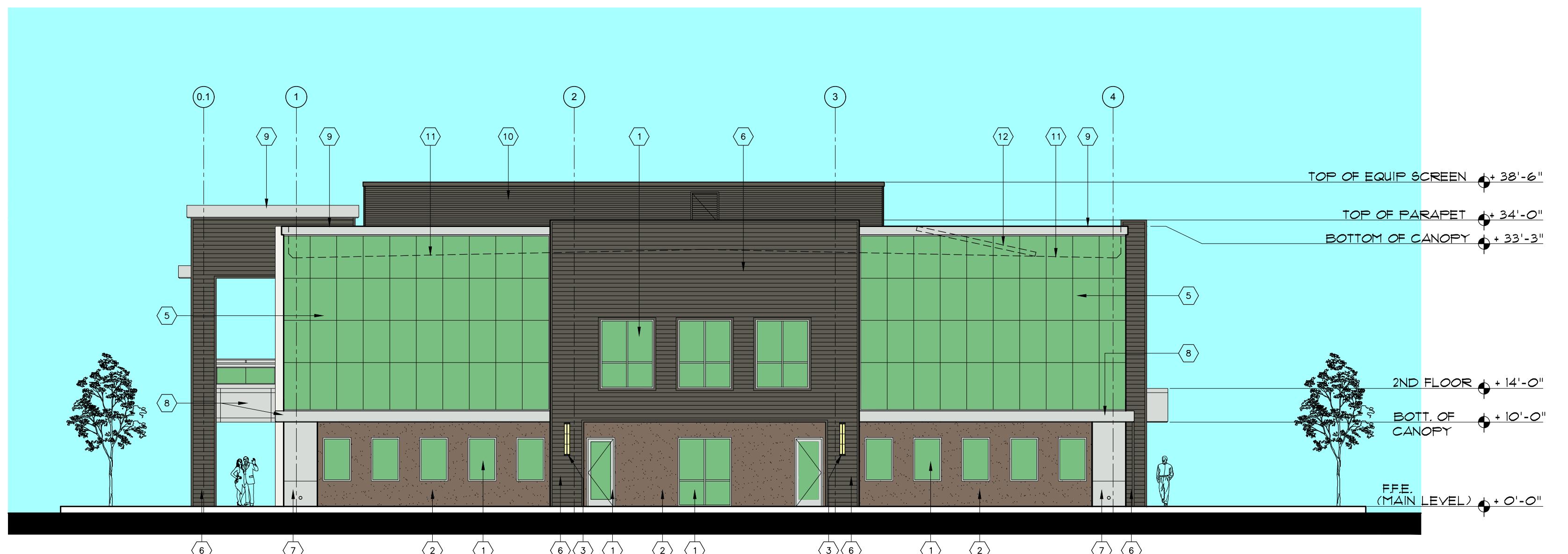
12 FEBRUARY 2019

● SCALE

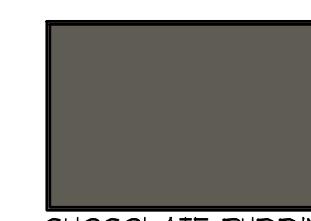
► DATE



EAST ELEVATION



WEST ELEVATION



CHOCOLATE PUDDING



FALLEN ROCK



BONE WHITE

KEY NOTES	
①	CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM AND WINDOW FRAMES
②	CEMENT PLASTER "SAND/FLOAT" FINISH, COLOR MATCH DUNN EDWARDS #DE6389-FALLEN ROCK
③	WALL SCONCE LIGHT FIXTURE - STYLE TO BE SELECTED
④	SPARE
⑤	INSULATED GLASS CURTAIN WALL SYSTEM, GLAZING TO MATCH "OLDCASTLE SN-68 TWILIGHT GREEN"
⑥	RIBBED METAL PANEL SYSTEM, COLOR TO MATCH DUNN EDWARDS #DE6390-CHOCOLATE PUDDING
⑦	SMOOTH METAL PANEL WALL SYSTEM, REYNOBOND (ALCOA PRODUCT) COLOR: "BONE WHITE"
⑧	SMOOTH METAL PANEL WALL SYSTEM, REYNOBOND (ALCOA PRODUCT) COLOR: "PLATINUM"
⑨	SMOOTH METAL PANEL PARAPET CAP, REYNOBOND (ALCOA PRODUCT), COLOR: "PLATINUM"
⑩	RIBBED METAL PANEL EQUIPMENT SCREEN, MATCH DUNN EDWARDS #DE6390-CHOCOLATE PUDDING
⑪	ROOF LINE SHOWN DASHED
⑫	FUTURE ROOF MOUNTED SOLAR PANEL LOCATION
⑬	BUILDING IDENTIFICATION SIGNAGE LOCATION
⑭	BUILDING ADDRESS LOCATION



CLEAR ANODIZED



PLATINUM



TWILIGHT GREEN

EXTERIOR ELEVATIONS



1/16"=1' 0 16 32 48

1/8"=1' 0 8 16 24

1/4"=1' 0 4 8 12

1/2"=1' 0 2 4 6

3/4"=1' 0 2 4

1"=1' 0 1 2 3

3"=1' 0 1

If this sheet is not 30" by 42" it is a reduced print, scale accordingly

**BDG**  
 BURGHARD  
 DESIGN GROUP  
 ARCHITECTS, INC.

41951 REMINGTON AVE, SUITE 250  
 TEMECULA, CALIFORNIA 92590

(TEL) 951-296-2828

www.bdg-architects.com

● ARCHITECT OF RECORD

► PROFESSIONAL SEAL

● CONSULTANTS

**HOWARD**  
 ASSOCIATES  
 landscape architecture  
 2442 second avenue  
 san diego ca 92101 619 718 9660

► REVISIONS

● APPROVAL

► PROJECT PHASE

CONCEPTUAL  
 PLANNING SUBMITTAL  
 FOR

MONTIEL OFFICE  
 BUILDING

2375 and 2355 MONTIEL ROAD  
 SAN MARCOS, CALIFORNIA 92069

● PROJECT NAME

18116

► PROJECT NUMBER

Administration Building  
 Water Conservation  
 Plan and Schematic  
 Irrigation Plan

● SHEET TITLE

L-2

► SHEET NUMBER

1" = 20'-0"

20 April 2020

● SCALE ► DATE

REV 27 July 2021

## WATER CONSERVATION NOTES

- ALL IRRIGATION SHALL INCLUDE EFFECTIVE AND EFFICIENT WATERING METHODS UTILIZING HUNTER MP ROTATOR LOW-FLOW IRRIGATION HEADS AND DRIP IRRIGATION.
- ALL IRRIGATION CONTROLLERS SHALL HAVE AUTOMATIC RAIN SHUT-OFF SENSORS.
- ALL PLANT MATERIAL UTILIZED IS CLASSIFIED AS 'LOW OR MODERATE WATER USE' BY NUCOLS (WATER USE CLASSIFICATION OF LANDSCAPE SPECIES).
- ALL PLANTING AREAS SHALL RECEIVE REGULAR MAINTENANCE AND MANAGEMENT DESIGNED TO MAXIMIZE HEALTHY GROWTH. THE PROJECT OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPED AREAS.
- ALL PLANTING AREAS SHALL RECEIVE COMPLETE AND APPROPRIATE SOIL PREPARATION.
- ONLY LOW VOLUME OR SUBSURFACE IRRIGATION SHALL BE USED TO IRRIGATE ANY VEGETATION WITHIN 24" OF AN IMPERMEABLE SURFACE.
- PLANTING AREAS SHADED BY BUILDINGS SHALL BE AMENDED TO IMPROVE DRAINAGE AND AVOID REMAINING WET BETWEEN IRRIGATION CYCLES.
- ALL LANDSCAPED AREAS EXCEPT BIOFILTRATION BASIN SHALL HAVE A 4" LAYER OF BARK MULCH.

## Water Conservation Plan Legend

ZONE	AREA	% OF TOTAL LANDSCAPE AREA
1. LOW WATER USE SHRUB AREAS IN-LINE DRIP IRRIGATION	(12,991 SQ. FT)	61%
2. MODERATE WATER USE SHRUB AREAS (902 SQ.FT) IN-LINE DRIP IRRIGATION		4%
3. LOW WATER USE TREE WELL / BASIN (4,773 SQ. FT) IN-LINE DRIP IRRIGATION		23%
4. MODERATE WATER USE TREE AREAS - (2,600 SQ. FT) NOT SHOWN (40 SQ FT./EA. TREE) ROOT WATERING DRIP IRRIGATION.		12%

## SCHEMATIC IRRIGATION LEGEND

— APPROXIMATE PROPOSED LOCATION FOR IRRIGATION MAINLINE

✓ APPROXIMATE PROPOSED LOCATION FOR IRRIGATION VALVES

P.O.C. APPROXIMATE PROPOSED LOCATION FOR POINT OF CONNECTION:  
 - POTABLE WATER METER  
 - BACKFLOW PREVENTER WITH LOCKING ENCLOSURE  
 - MASTER VALVE  
 - FLOW SENSOR  
 - GATE VALVE ASSEMBLY

— APPROXIMATE PROPOSED LOCATION FOR IRRIGATION AND CONTROL WIRE SLEEVING

C APPROXIMATE PROPOSED LOCATION FOR AUTOMATIC CONTROLLER IN SS LOCKING PEDESTAL

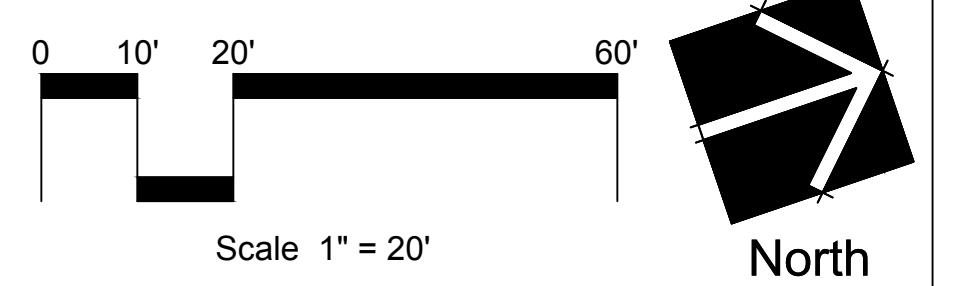
## IRRIGATION NOTE

ALL PLANTING AREAS SHALL HAVE SUBSURFACE DRIP IRRIGATION OR MP ROTATORS

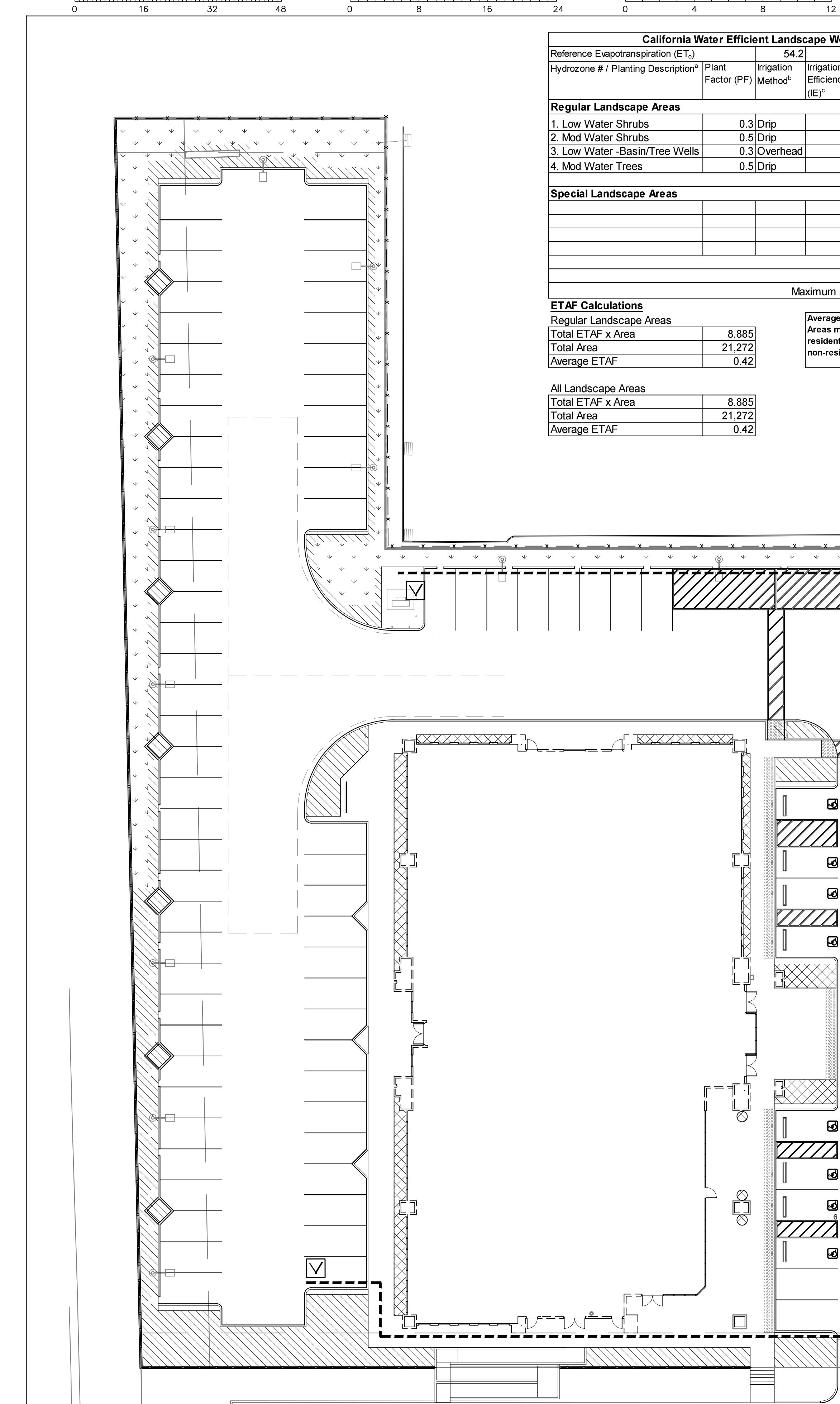
MONTIEL ROAD

I agree to comply with the requirements of the Water Efficient Landscape Regulations and submit a complete Landscape Documentation Package.

  
 Applicant / Owner Signature 03/31/2021



## HYDROZONE MAP



1/16"=1' 0 16 32 48

1/8"=1' 0 8 16 24

1/4"=1' 0 4 8 12

1/2"=1' 0 2 4 6

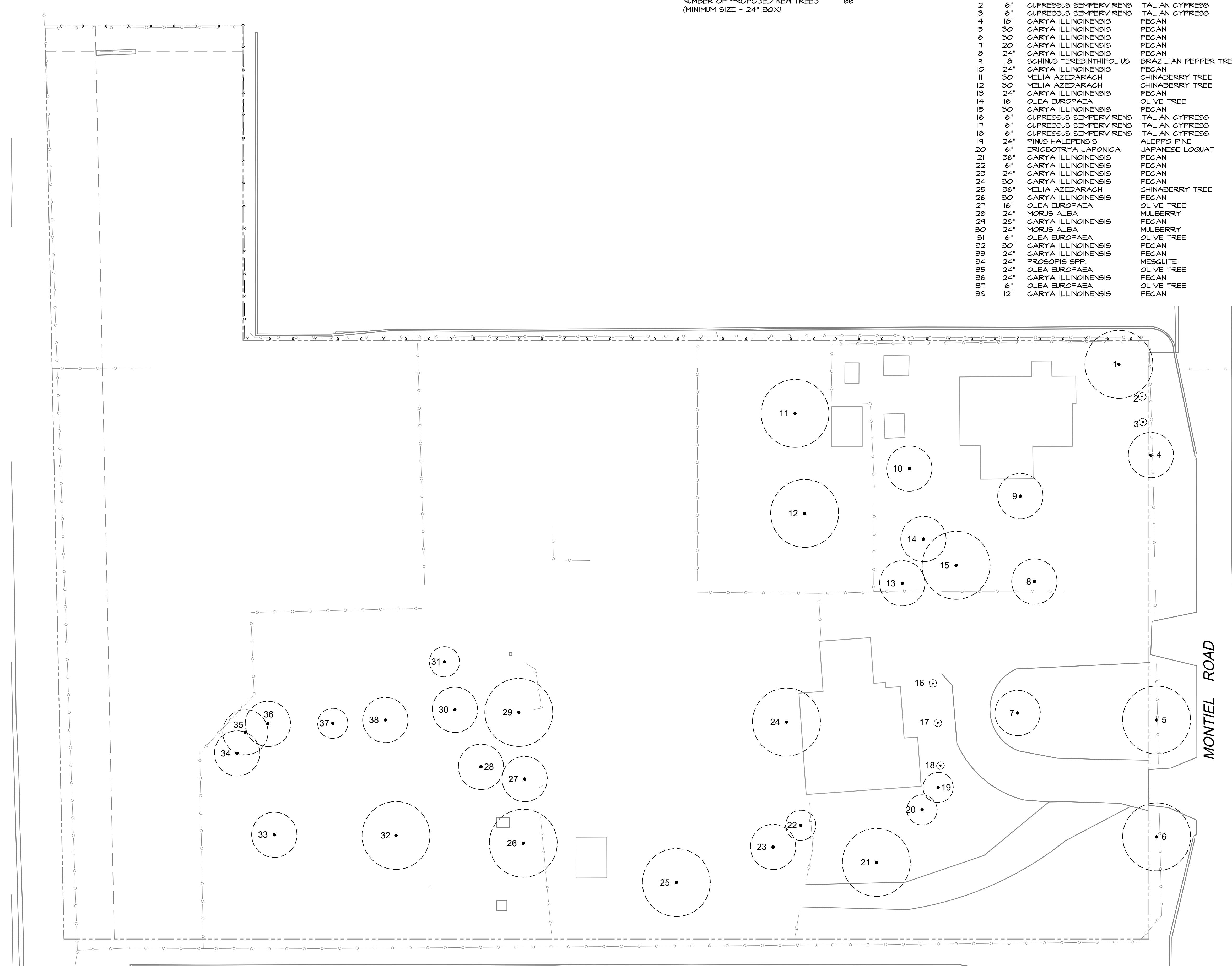
3/4"=1' 0 2 4

1"=1' 0 1 2 3

3"=1' 0 1 2 3

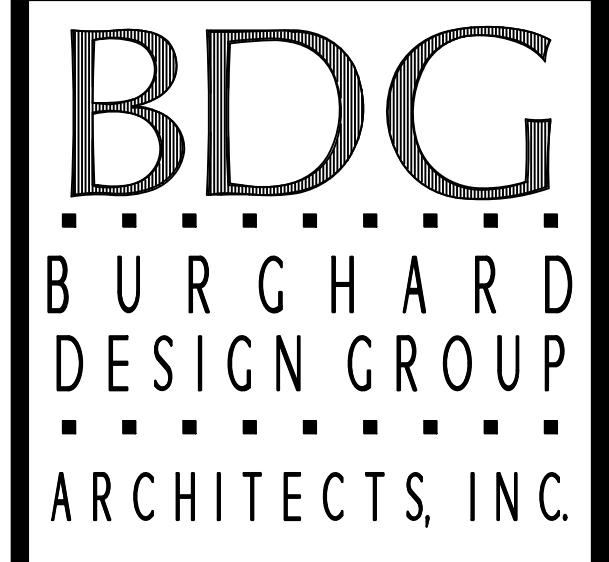
If this sheet is not 30" by 42" it is a reduced print, scale accordingly

## TREE MITIGATION TABLE

NUMBER OF TREES TO BE REMOVED 38  
NUMBER OF PROPOSED NEW TREES (MINIMUM SIZE - 24" BOX) 66

## EXISTING TREE SURVEY LEGEND

SYM.	CAL.	BOTANICAL NAME	COMMON NAME	CONDITION	STATUS
1	36"	SCHINUS MOLLE	CALIFORNIA PEPPER TREE	FAIR	REMOVE
2	6"	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	GOOD	REMOVE
3	6"	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	GOOD	REMOVE
4	18"	CARYA ILLINOENSIS	PECAN	FAIR	REMOVE
5	30"	CARYA ILLINOENSIS	PECAN	FAIR	REMOVE
6	30"	CARYA ILLINOENSIS	PECAN	FAIR	REMOVE
7	20"	CARYA ILLINOENSIS	PECAN	FAIR	REMOVE
8	24"	CARYA ILLINOENSIS	PECAN	FAIR	REMOVE
9	16"	SCHINUS TEREBINTHIFOLIUS	BRAZILIAN PEPPER TREE	POOR	REMOVE
10	24"	CARYA ILLINOENSIS	PECAN	POOR	REMOVE
11	30"	MELIA AZEDARACH	CHINABERRY TREE	FAIR	REMOVE
12	24"	CARYA ILLINOENSIS	PECAN	FAIR	REMOVE
13	16"	OLEA EUROPAEA	OLIVE TREE	FAIR	REMOVE
14	30"	CARYA ILLINOENSIS	PECAN	POOR	REMOVE
15	6"	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	GOOD	REMOVE
16	6"	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	GOOD	REMOVE
17	6"	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	GOOD	REMOVE
18	6"	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	GOOD	REMOVE
19	24"	PINUS HALEPENSIS	ALEppo PINE	FAIR	REMOVE
20	6"	ERIOBOTRYA JAPONICA	JAPANESE LOQUAT	GOOD	REMOVE
21	36"	CARYA ILLINOENSIS	PECAN	FAIR	REMOVE
22	6"	CARYA ILLINOENSIS	PECAN	FAIR	REMOVE
23	24"	CARYA ILLINOENSIS	PECAN	FAIR	REMOVE
24	30"	CARYA ILLINOENSIS	PECAN	GOOD	REMOVE
25	16"	MELIA AZEDARACH	CHINABERRY TREE	GOOD	REMOVE
26	30"	CARYA ILLINOENSIS	PECAN	FAIR	REMOVE
27	16"	OLEA EUROPAEA	OLIVE TREE	FAIR	REMOVE
28	24"	MORUS ALBA	MULBERRY	GOOD	REMOVE
29	28"	MORUS ALBA	MULBERRY	GOOD	REMOVE
30	6"	OLEA EUROPAEA	OLIVE TREE	FAIR	REMOVE
31	30"	CARYA ILLINOENSIS	PECAN	FAIR	REMOVE
32	24"	CARYA ILLINOENSIS	PECAN	DEAD	REMOVE
33	24"	PROSOPIS SPP.	MESQUITE	POOR	REMOVE
34	24"	OLEA EUROPAEA	OLIVE TREE	FAIR	REMOVE
35	24"	CARYA ILLINOENSIS	PECAN	POOR	REMOVE
36	6"	OLEA EUROPAEA	OLIVE TREE	POOR	REMOVE
37	12"	CARYA ILLINOENSIS	PECAN	POOR	REMOVE

41951 REMINGTON AVE, SUITE 250  
TEMECULA, CALIFORNIA 92590  
(TEL) 951-296-2828  
www.bdg-architects.com

● ARCHITECT OF RECORD

► PROFESSIONAL SEAL

● CONSULTANTS

HOWARD ASSOCIATES  
landscape architecture  
2442 second avenue  
san diego ca 92101 619 718 9660

► REVISIONS

● APPROVAL

► PROJECT PHASE

CONCEPTUAL  
PLANNING SUBMITTAL  
FORMONTIEL OFFICE  
BUILDING2375 and 2355 MONTIEL ROAD  
SAN MARCOS, CALIFORNIA 92069

● PROJECT NAME

18116

► PROJECT NUMBER

Administration Building  
Tree Survey

● SHEET TITLE

L-3

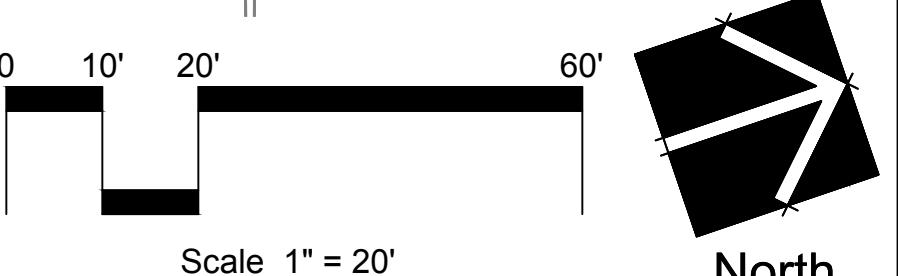
► SHEET NUMBER

1" = 20'-0"

20 April 2020

● SCALE ► DATE

REV 27 July 2021



Scale 1" = 20'

North